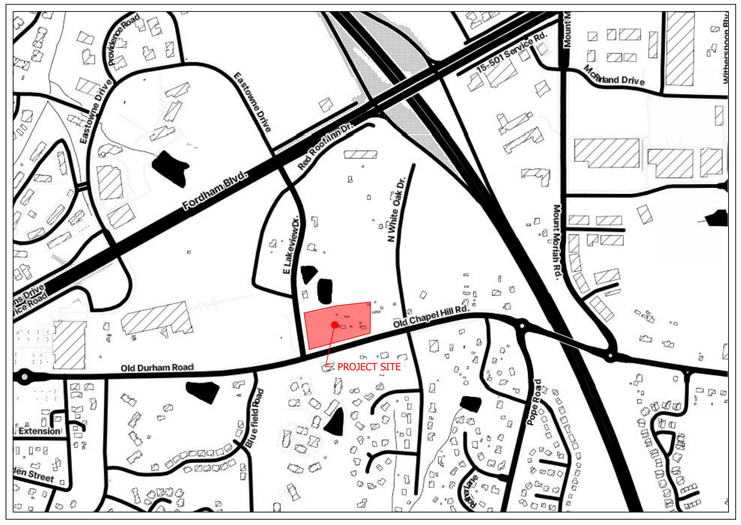
CONDITIONAL ZONING PERMIT PLANS

FOR

East Lakeview Townhomes

5640 Old Chapel Hill Road
PIN: 9799995053, 9799985902, 9799997097



DRAWING INDEX	
SHEET NO.	SHEET TITLE
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C0.1	AREA MAP
C0.2	EXISTING CONDITIONS PLAN
C0.3	STEEP SLOPE PLAN
C1.0	SITE LAYOUT PLAN
C1.1	SOLID WASTE PLAN
C2.0	GRADING PLAN
C2.1	STORMWATER MANAGEMENT PLAN
C3.0	FIRE SAFETY PLAN
A1.0	BUILDING ELEVATIONS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE PLAN
L3.0	LANDSCAPE PLAN

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Prepared For:
EB Capital Partners
11/01/24

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No.	Revision	Date

East Lakeview Townhomes
5640 Old Chapel Hill Road
Chapel Hill, NC
EB Capital Partners

SHEET TITLE:
SHEET TITLE

DRAWN BY: WCW
CHECKED BY: BLH
DATE: 11/01/24
PROJECT NUMBER: 24142
SCALE:
SHEET NUMBER: T0.1

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No.	Revision	Date

East Lakeview Townhomes

5640 Old Chapel Hill Road
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SHEET TITLE:
AREA MAP

DRAWN BY: WCW
CHECKED BY: BLH
DATE: 11/01/24
PROJECT NUMBER: 24142
SCALE: 1" = 120'
SHEET NUMBER: C0.1

ENCROACHMENTS

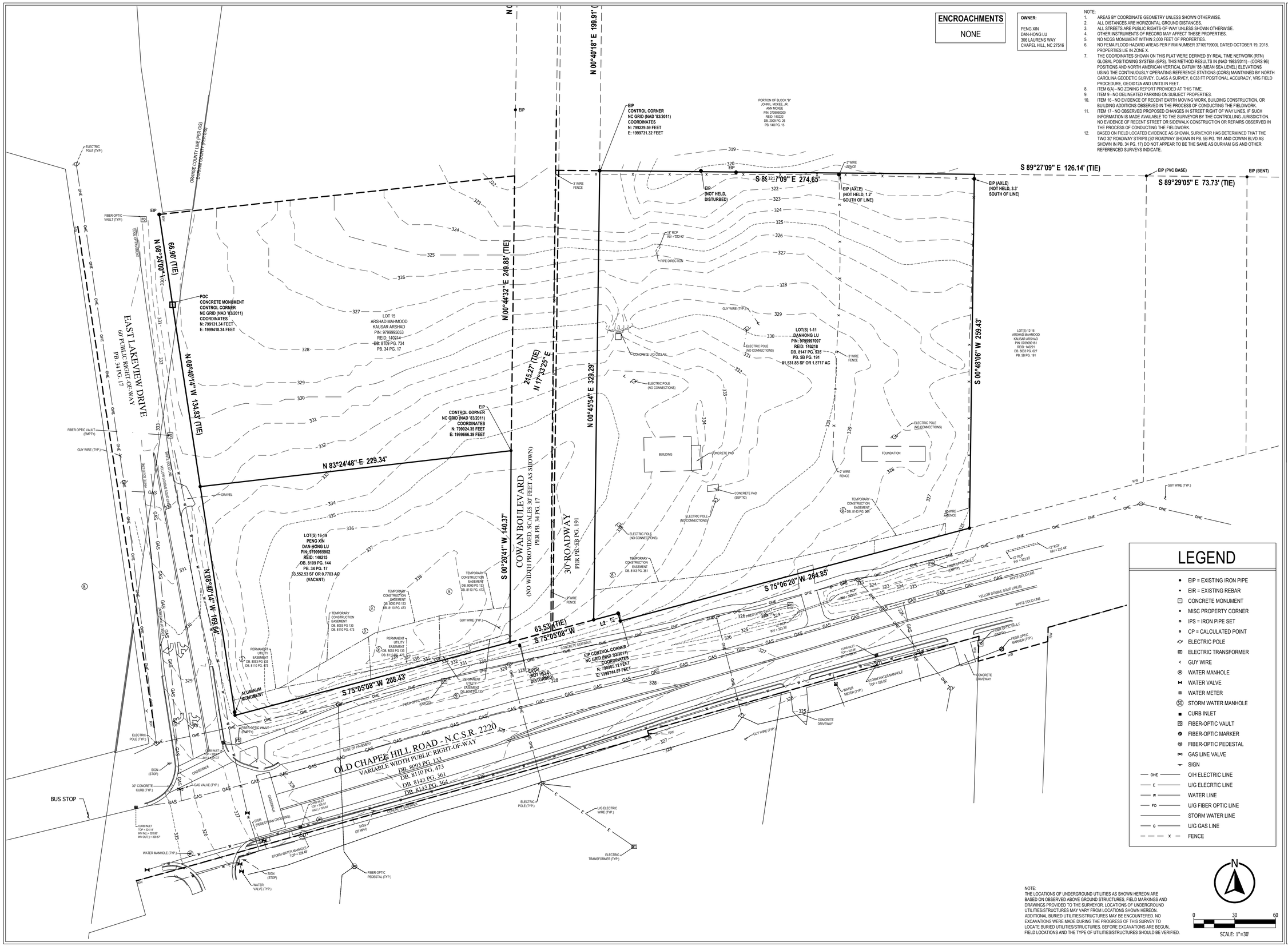
NONE

OWNER:

PENG XIN
DAN-HONG LU
306 LAURENS WAY
CHAPEL HILL, NC 27516

NOTE:

1. AREAS BY COORDINATE GEOMETRY UNLESS SHOWN OTHERWISE.
2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
3. ALL STREETS ARE PUBLIC RIGHTS-OF-WAY UNLESS SHOWN OTHERWISE.
4. OTHER INSTRUMENTS OF RECORD MAY AFFECT THESE PROPERTIES.
5. NO NCGS MONUMENT WITHIN 2,000 FEET OF PROPERTIES.
6. NO FEMA FLOOD HAZARD AREAS PER FIRM NUMBER 3710970900L DATED OCTOBER 19, 2018. PROPERTIES LIE IN ZONE X.
7. THE COORDINATES SHOWN ON THIS PLAT WERE DERIVED BY REAL TIME NETWORK (RTN) GLOBAL POSITIONING SYSTEM (GPS). THIS METHOD RESULTS IN (NAD 1983/2011) - (CORS 96) POSITIONS AND NORTH AMERICAN VERTICAL DATUM '88 (MEAN SEA LEVEL) ELEVATIONS USING THE CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) MAINTAINED BY NORTH CAROLINA GEODETIC SURVEY. CLASS A SURVEY, 0.033 FT POSITIONAL ACCURACY, VRS FIELD PROCEDURE, GEOID12A AND UNITS IN FEET.
8. ITEM 6(A) - NO ZONING REPORT PROVIDED AT THIS TIME.
9. ITEM 9 - NO DELINEATED PARKING ON SUBJECT PROPERTIES.
10. ITEM 16 - NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
11. ITEM 17 - NO OBSERVED PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, IF SUCH INFORMATION IS MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
12. BASED ON FIELD LOCATED EVIDENCE AS SHOWN, SURVEYOR HAS DETERMINED THAT THE TWO 30' ROADWAY STRIPS (30' ROADWAY SHOWN IN PB. 58 PG. 191 AND COWAN BLVD AS SHOWN IN PB. 34 PG. 17) DO NOT APPEAR TO BE THE SAME AS DURHAM GIS AND OTHER REFERENCED SURVEYS INDICATE.



LEGEND

- EIP = EXISTING IRON PIPE
- EIR = EXISTING REBAR
- CONCRETE MONUMENT
- MISC PROPERTY CORNER
- IPS = IRON PIPE SET
- CP = CALCULATED POINT
- ELECTRIC POLE
- ELECTRIC TRANSFORMER
- GUY WIRE
- WATER MANHOLE
- WATER VALVE
- WATER METER
- STORM WATER MANHOLE
- CURB INLET
- FIBER-OPTIC VAULT
- FIBER-OPTIC MARKER
- FIBER-OPTIC PEDESTAL
- GAS LINE VALVE
- SIGN
- OHE — O/H ELECTRIC LINE
- E — U/G ELECRTIC LINE
- W — WATER LINE
- FO — U/G FIBER OPTIC LINE
- STORM WATER LINE
- G — U/G GAS LINE
- X — FENCE

NOTE:
THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND STRUCTURES, FIELD MARKINGS AND DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, FIELD LOCATIONS AND THE TYPE OF UTILITIES/STRUCTURES SHOULD BE VERIFIED.

N

0 30 60

SCALE: 1"=30'

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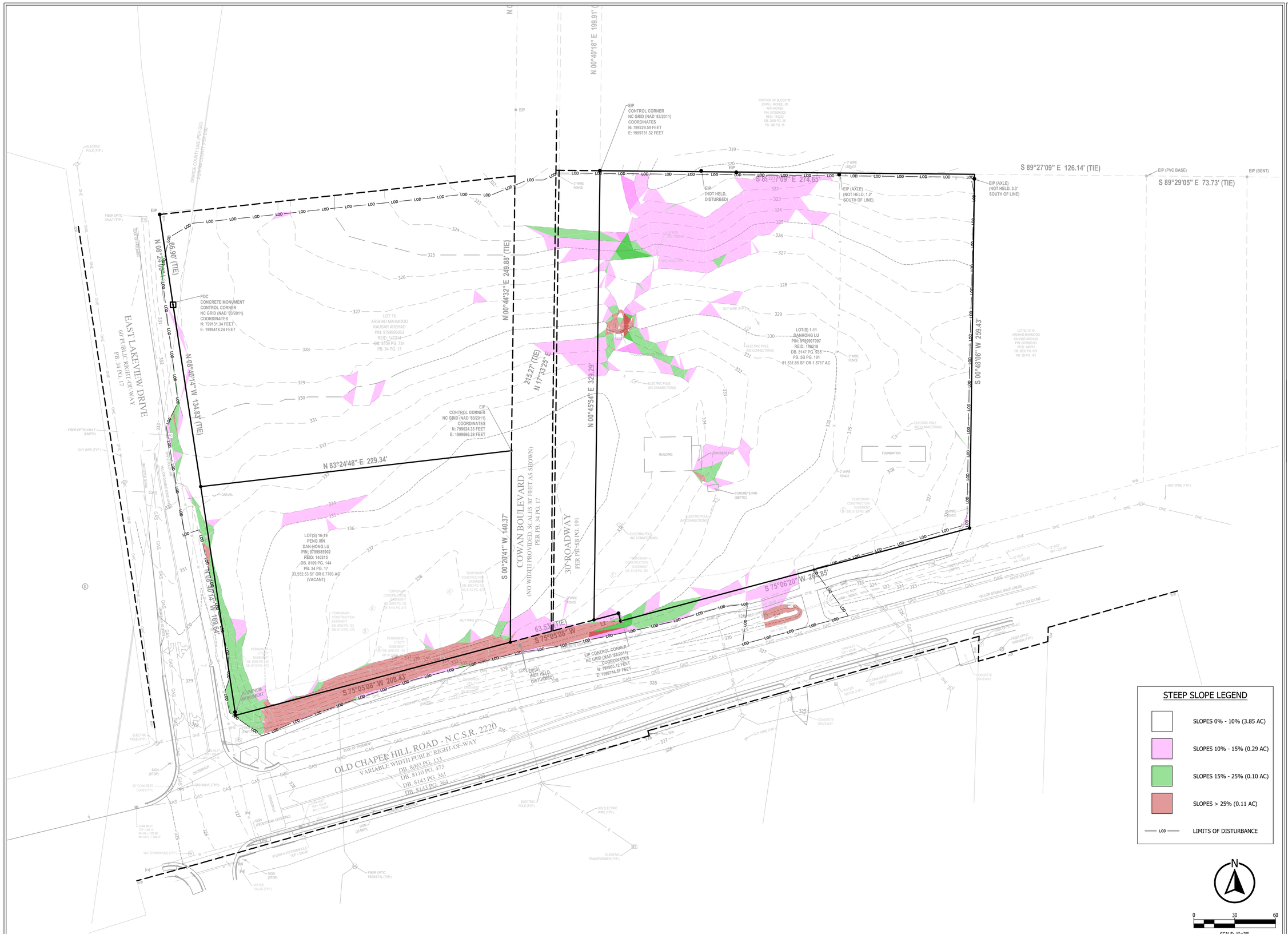
No.	Revision	Date

East Lakeview Townhomes

5640 Old Chapel Hill Road
Chapel Hill, NC
EB Capital Partners

SHEET TITLE:
EXISTING CONDITIONS PLAN

DRAWN BY: WCW
CHECKED BY: BLH
DATE: 11/01/24
PROJECT NUMBER: 24142
SCALE: 1" = 30'
SHEET NUMBER: C0.2



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East Lakeview Townhomes

5640 Old Chapel Hill Road
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SHEET TITLE:
STEEP SLOPE PLAN

DRAWN BY: WCW
CHECKED BY: BLH
DATE: 11/01/24
PROJECT NUMBER: 24142
SCALE: 1" = 30'
SHEET NUMBER: C0.3

SITE LAYOUT LEGEND

- ASPHALT PAVING
- CONCRETE SIDEWALK
- BRICK PAVERS
- REINFORCED TURF FIRE LANE
- (#) PARKING COUNT

ZONING: R-1
SETBACKS:
STREET = 28'
INTERIOR = 14'
SOLAR = 17'

LANDSCAPE BUFFER: 10'

N

0 30 60

SCALE: 1"=30'

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East Lakeview Townhomes

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SHEET TITLE:
SITE LAYOUT PLAN

DRAWN BY: WCW
CHECKED BY: BLH
DATE: 11/01/24
PROJECT NUMBER: 24142
SCALE: 1" = 30'
SHEET NUMBER: C1.0

NOTE:
1. EACH UNIT WILL BE RESPONSIBLE FOR BRINGING A TRASH CART TO THE CURB TO BE PICKED UP BY CHAPEL HILL SOLID WASTE DEPT.

N

0 30 60

SCALE: 1"=30'

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SHEET TITLE:
SOLID WASTE PLAN

DRAWN BY: WCW
CHECKED BY: BLH
DATE: 11/01/24
PROJECT NUMBER: 24142
SCALE: 1" = 30'
SHEET NUMBER: C1.1

LIMITS OF DISTURBANCE
4.38 ACRES

SITE IMPERVIOUS SURFACES
EXISTING = 0.10 AC (4,466 SF)
PROPOSED = 2.72 AC (118,482 SF)

N

0 30 60
SCALE: 1"=30'

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East Lakeview Townhomes
5640 Old Chapel Hill Road
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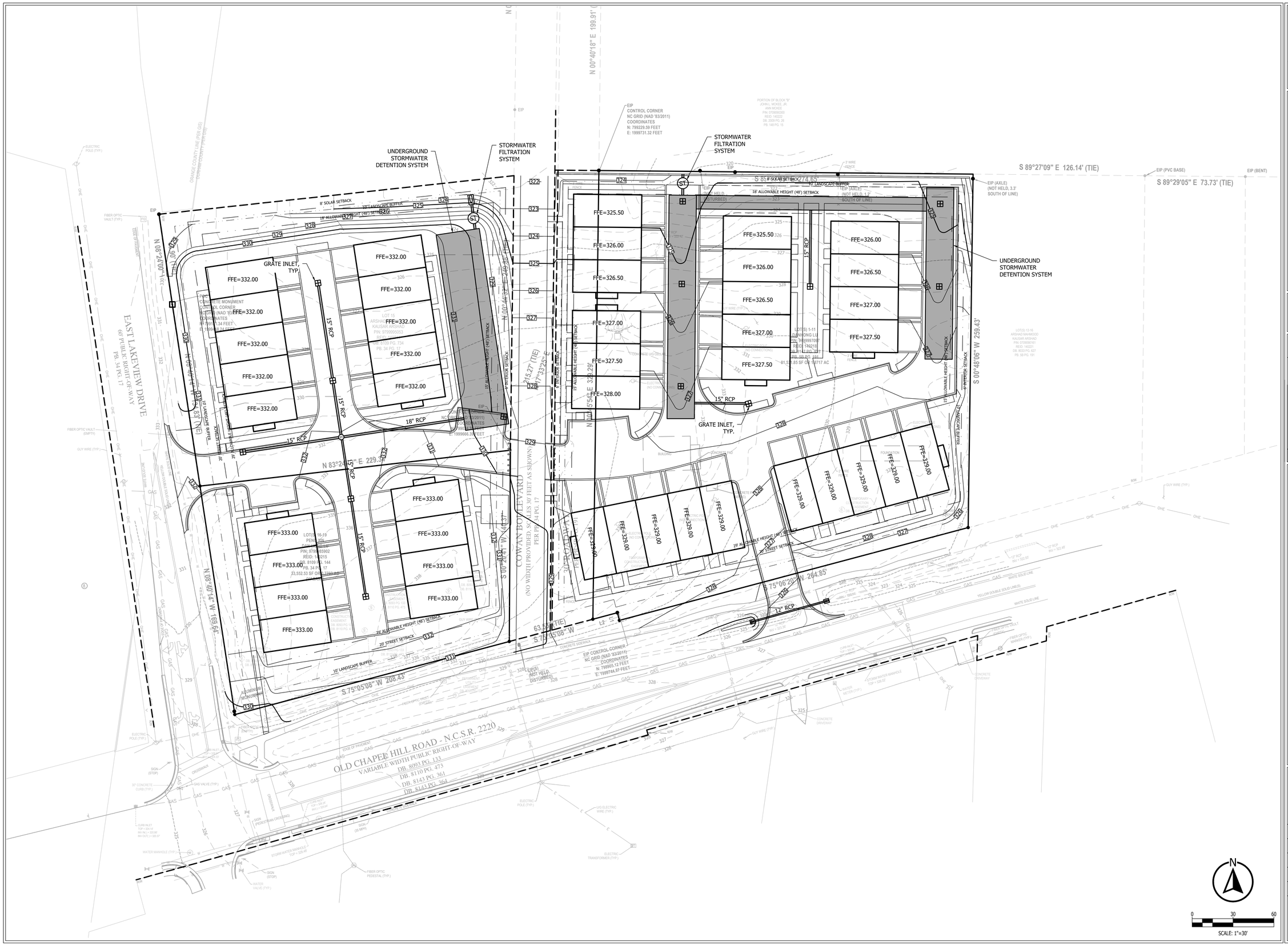
SHEET TITLE:
GRADING PLAN

DRAWN BY: WCW
CHECKED BY: BLH
DATE: 11/01/24
PROJECT NUMBER: 24142
SCALE: 1" = 30'
SHEET NUMBER: C2.0



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East Lakeview Townhomes

5640 Old Chapel Hill Road
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SHEET TITLE:
STORMWATER MANAGEMENT PLAN

DRAWN BY: WCW
CHECKED BY: BLH
DATE: 11/01/24
PROJECT NUMBER: 24142
SCALE: 1" = 30'
SHEET NUMBER: C2.1

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East Lakeview Townhomes

5640 Old Chapel Hill Road
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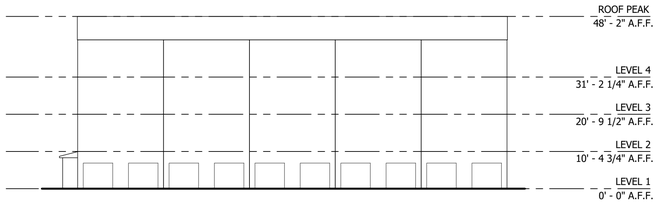
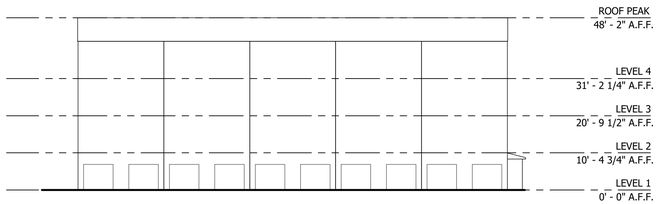
EB Capital Partners

SHEET TITLE:
FIRE SAFETY PLAN

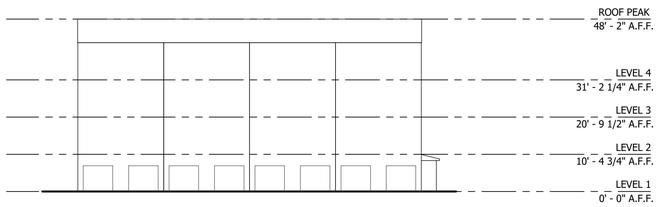
DRAWN BY:	WCW
CHECKED BY:	BLH
DATE:	11/01/24
PROJECT NUMBER:	24142
SCALE:	1" = 30'
SHEET NUMBER:	C3.1



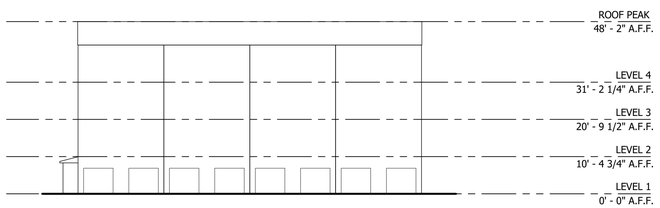
BUILDING 1- EAST ELEVATION / BUILDING 10 NORTH ELEVATION
SCALE: 1" = 20'



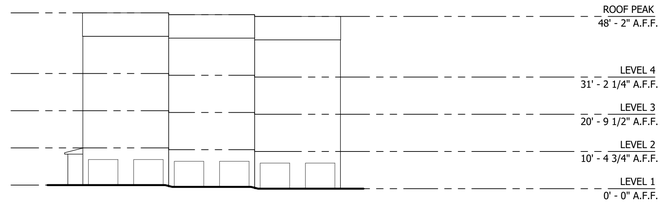
BUILDING 2 - WEST ELEVATION / BUILDING 9 - NORTH ELEVATION
SCALE: 1" = 20'



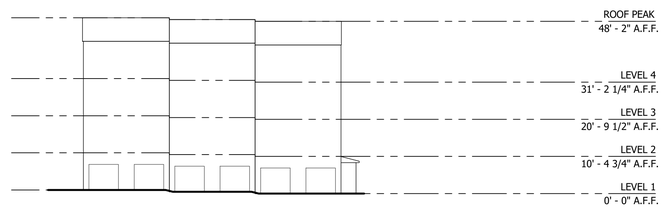
BUILDING 3 - EAST ELEVATION
SCALE: 1" = 20'



BUILDING 4 - WEST ELEVATION
SCALE: 1" = 20'

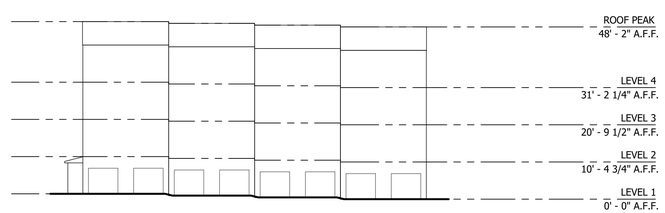


BUILDING 5 - EAST ELEVATION
SCALE: 1" = 20'

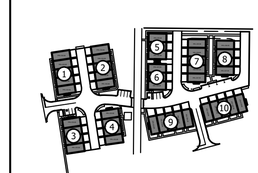


BUILDING 6 - EAST ELEVATION
SCALE: 1" = 20'

BUILDING 7 - WEST ELEVATION
SCALE: 1" = 20'



BUILDING 8 - EAST ELEVATION
SCALE: 1" = 20'



KEY PLAN
SCALE: 1" = 200'

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No.	Revision	Date

East Lakeview Townhomes

5640 Old Chapel Hill Road
Chapel Hill, NC
EB Capital Partners

SHEET TITLE:
BUILDING ELEVATIONS

DRAWN BY: WCW
CHECKED BY: BLH
DATE: 11/01/24
PROJECT NUMBER: 24142
SCALE: 1" = 20'
SHEET NUMBER:
A1.0

GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS.
2. THE LOCATION OF ALL SURFACE AND UNDERGROUND STRUCTURES AND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AT GROUND BREAK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND UTILITIES TO REMAIN FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE OWNER/OR DAMAGED PARTY.
3. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES PRIOR TO CONSTRUCTION.
4. ALL PLANTING AREAS SHALL BE FREE OF OBSTRUCTIONS LARGER THAN 1 1/2" IN SIZE.
5. ALL TREES AND SPECIMEN PLANT MATERIAL SHALL BE LOCATED BY THE CONTRACTOR AT APPROVED NURSERIES OR THEIR EQUAL APPROVED PRIOR TO BIDDING.
6. ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE LANDSCAPE ARCHITECT AT THE JOB SITE.
7. THE LOCATION OF ALL TREES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THE DIGGING OF PITS. PLANTING SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
8. THE LOCATION OF ALL PLANTING BEDS SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE THE PREPARATION OF BEDS PLANTING SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.A MINIMUM 72 HOUR NOTICE SHOULD BE GIVEN AND ANTICIPATED BY THE CONTRACTOR FOR THIS REVIEW.
9. MINIMIZE ALL ROOT DISTURBANCE WITHIN THE DRIP LINE OF ALL EXISTING TREES.
10. CONTRACTOR SHALL SUPPLY AND SPREAD 6" TOP-SOIL IN SHRUB BEDS AND ALL AREAS TO BE SEEDED UNLESS OTHERWISE NOTED IN SPECIFICATIONS.
11. THE LANDSCAPE CONTRACTOR SHALL PROVIDE APPROVED TOPSOIL TO PERFORM INCIDENTAL GRADING WORK.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE IN ALL PLANT AREAS.
13. PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT ISSUE OF NURSERY "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC.
14. ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
15. ALL SHRUBS, TREES AND GROUND COVERS SHALL BE PLANTED WITH A SOIL MIXTURE CONSISTING OF 50% TOPSOIL AND ORGANIC MATERIAL AND PER SPECIFICATIONS.
16. FRONT ROW OF SHRUBS SHALL BE PLANTED MINIMUM 24" BEHIND BED LINE @ LAWNS OR WALKS AND MINIMUM 36" BACK OF CURB @ PARKING SPACES.
17. BACK ROW OF SHRUB PLANTING SHALL BE PLANTED @ 36" OFF FACE OF BUILDING WALL. GROUND COVERS SHALL BE 12" OUT FROM BUILDING AS REQUIRED BY PLANT SPECIFICATIONS.
18. EXCAVATE EDGE OF ALL PLANTING BEDS TO 4" DEPTH TO FORM A NEAT CRISP DEFINITION.
19. ALL PLANTING BEDS AND TREE PITS SHALL BE MULCHED WITH A 3" SETTLED LAYER OF PINESTRAW.
20. MULCH ALL AREAS OF ANNUALS AND SPREADING GROUND COVER MASS PLANTING WITH 3 INCHES OF DOUBLE HAMMERED BROWN MULCH.
21. GRASS: ALL AREAS TO BE GRASSED SHALL BE TILLED AND GRADED TO A DEPTH OF 6". SLAG OF LIME SHALL BE APPLIED AT A RATE OF 100 POUNDS PER 1000 SQ. FT. ADD TURF GREEN OR EQUAL (12-5-8 SLOW RATE) AT A RATE OF 50 POUNDS PER 1000 SQ. FT. SEEDED AREAS SHALL BE COVERED WITH A THIN LAYER OF WHEAT STRAW.
22. ALL DISTURBED AREAS NOT PLANTED WITH SHRUBS, TREES, OR SOD SHALL BE SEEDED.
23. GRADE ALL AREAS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE SODDING.
24. SEASONAL COLOR SHALL BE PLANTED IN FLOWERING STATE.
25. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS FOR ONE FULL YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
26. REMOVE ALL GUY WIRES AND STAKES AT END OF GUARANTEE PERIOD.
27. WHEN TREES ARE PLANTED THE MONTHS OF MARCH THRU OCTOBER, THE LANDSCAPE CONTRACTOR SHALL AMEND THE SOIL MIX WITH A MOISTURE RETENTION AGENT AS "TERRA-SORB" OR EQUAL FOR EACH TREE INSTALLATION.

NOTE: ALL TREES AND SHRUBS NOT COVERED BY IRRIGATION TO BE AMENDED WITH TERRA SORB WATER RETAINING AGENT AS PER MANUFACTURERS RECOMMENDATIONS.

LAYOUT NOTES:

1. THE LOCATION OF ALL SURFACE AND UNDERGROUND STRUCTURES AND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AT GROUND BREAK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND UTILITIES TO REMAIN FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE OWNER/OR DAMAGED PARTY.
2. THE FINISHED GRADES SHALL BE FREELY DRAINING.
3. ALL SITE ELEMENT LOCATIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO EXCAVATION/INSTALLATION.
4. IF APPLICABLE, THE LOCATION OF ALL FOOTINGS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION. FOOTINGS SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
5. THE LOCATION OF ALL PAVED AREAS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION. PAVED AREAS SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
6. MINIMIZE ALL ROOT DISTURBANCE WITHIN THE DRIP LINE OF ALL EXISTING TREES.
7. COORDINATE SLEEVE LOCATION/INSTALLATION WITH LANDSCAPE CONTRACTOR. INSTALLATION IS THE RESPONSIBILITY OF GENERAL CONTRACTOR.
8. IRRIGATION SLEEVES ARE TO BE SCHEDULE 40 PVC PIPE, PER SPECIFICATIONS, EXTENDED 18" MINIMUM BEYOND CURB OR PAVEMENT EDGE.
9. IRRIGATION SLEEVES ARE TO BE MARKED (EACH END) WITH A 2" X 4" STAKE FOR EASE OF LOCATION BY THE LANDSCAPE CONTRACTOR. SECURE OR CAP EACH END OF SLEEVE DURING INSTALLATION TO PREVENT CLOGGING.

PLANT SCHEDULE

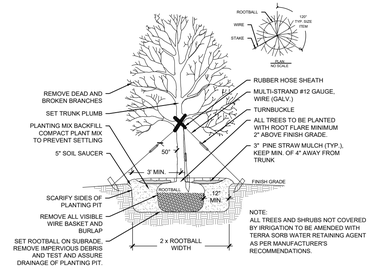
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CAL	HT	SPREAD	SPACING	REMARKS
TREES								
	8	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CAL	14'-16' MIN.	5'-6'	AS SHOWN	FULL, STRONG CENTRAL LEADER, HEALTHY
	20	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLANCE SERVICEBERRY	B & B	8'-10'	4'-5'	AS SHOWN	MIN. 3 TRUNKS
	13	CORNUS KOUSA 'MILKY WAY'	KOUSA DOGWOOD	B & B	6'-8' MIN.	5' - 6' MIN.	AS SHOWN	FULL, HEALTHY PLANT
	5	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	3" CAL	14'-16'	4' - 5' MIN.	AS SHOWN	FULL, STRONG CENTRAL LEADER, HEALTHY
	4	LIRIODENDRON TULIPIFERA 'JFS-OZ'	EMERALD CITY® TULIP POPLAR	3" CAL	14'-16'	4' - 5' MIN.	AS SHOWN	FULL, STRONG CENTRAL LEADER, HEALTHY
	5	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM SOUTHERN MAGNOLIA	30 GAL	8' - 9' MIN.	4' - 5' MIN.	AS SHOWN	FULL TO GROUND, HEALTHY.
	10	NYSSA SYLVATICA 'WILDFIRE'	BLACK GUM	3" CAL	14'-15'	6'-7'	AS SHOWN	FULL, STRONG CENTRAL LEADER, HEALTHY
	17	PISTACIA CHINENSIS	CHINESE PISTACHE	3" CAL	10'-12' MIN.	5'-6' MIN.	AS SHOWN	STANDARD TRUNK, HEALTHY
	5	QUERCUS NUTTALLII	NUTTALL OAK	3" CAL	14'-16' MIN.	5' - 6' MIN.	AS SHOWN	FULL, STRONG CENTRAL LEADER, HEALTHY
	10	QUERCUS PHELLOS 'HIGHTOWER'	WILLOW OAK	3" CAL	14'-16' MIN.	3' - 5' MIN.	AS SHOWN	FULL, STRONG CENTRAL LEADER, HEALTHY
	11	TAXODIUM DISTICHUM	BALD CYPRESS	4" CAL.	12'-14' MIN.	6'-7' MIN.	AS SHOWN	FULL, STRONG CENTRAL LEADER, HEALTHY
	11	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	3" CAL	14'-16' MIN.	5' - 6' MIN.	AS SHOWN	FULL, STRONG CENTRAL LEADER, HEALTHY
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HT.	SPREAD	SPACING	REMARKS
SHRUBS								
	215	ABELIA X 'ROSE CREEK'	ROSE CREEK ABELIA	3 GAL.	12"-15" MIN.	12"-16" MIN.	36" O.C.	FULL, HEALTHY PLANT
	29	COTONEASTER FRANCHETI	COTONEASTER FRANCHETI	3 GAL	18"-24" MIN.	15" - 18" MIN.	60" O.C.	FULL, HEALTHY PLANT
	41	DISTYLIUM X 'VINTAGE JADE'	VINTAGE JADE DISTYLIUM	3 GAL	12"-15" MIN.	12"-16" MIN.	48" O.C.	FULL, HEALTHY PLANT
	20	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	3 GAL	18"-24" MIN.	18"-24" MIN.	48" O.C.	FULL, HEALTHY PLANT
	21	ILEX CORNUTA 'BURFORDI NANA'	DWARF BURFORD HOLLY	7 GAL	20"-24" MIN.	18"-24" MIN.	60" O.C.	FULL, HEALTHY PLANT
	37	ILEX CORNUTA 'CARISSA'	CARISSA CHINESE HOLLY	5 GAL	12" - 24" MIN.	15" - 18" MIN.	48" O.C.	
	54	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	7 GAL	15" - 18" MIN.	10"-14" MIN.	36" O.C.	FULL, HEALTHY PLANT
	66	ILEX VERTICILLATA	WINTERBERRY	3 GAL	12" - 24" MIN.	12" - 24" MIN.	60" O.C.	FULL, HEALTHY PLANT
	12	ITEA VIRGINICA 'HENRY'S GARNET'	SWEETSPIRE	3 GAL	18" - 24" MIN.	15" - 18" MIN.	60" O.C.	FULL, HEALTHY PLANT
	84	LOROPETALUM CHINENSE RUBRUM 'PIILC-I' TM	CRIMSON FIRE LOROPETALUM	3 GAL.	18" - 24" MIN.	15" - 18" MIN.	36" O.C.	FULL, HEALTHY PLANT
	69	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO GRASS	3 GAL			36" O.C.	FULL, HEALTHY PLANT
	95	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM	PINK MUHLYGRASS	3 GAL			36" O.C.	FULL, HEALTHY PLANT
	77	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL			48" O.C.	
	72	SPIRAEA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIRAEA	3 GAL	18" - 24" MIN.	15" - 18" MIN.	36" O.C.	FULL TO GROUND, HEALTHY
	50	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	3 GAL.	3'-4'	4'-5'	54" O.C.	FULL, HEALTHY PLANT
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT.	SPREAD	SPACING	REMARKS
GROUND COVERS								
	118	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LIRIOPE	1 GAL	10" - 12" MIN.	10" - 12" MIN.		FULL, HEALTHY PLANT
	2,198	OPHIOPOGON JAPONICUS 'DWARF'	DWARF MONDO GRASS	4"POT	3" - 4" MIN.		10" O.C.	FULL, HEALTHY PLANT
	596	TRACHELOSPERMUM ASIATICUM	ASIATIC JASMINE	4"POT			15" O.C.	FULL, HEALTHY PLANT
SOD/SEED								
	33,876 SF	CYNODON DACTYLON	BERMUDA GRASS	SOD				HEALTHY, NO YELLOWING OR PESTS. CUT NO MORE THAN 24 HRS. BEFORE LAYING.

TREE PROTECTION REQUIREMENTS	
REQUIRED MINIMUM CANOPY COVERAGE: 30%	
LOT SIZE: 175,078 SQ.FT.	REPLACEMENT TREES PROVIDED:
EXISTING CANOPY PROTECTED: 0 SQ.FT	(11) 4" CALIPER TREES
CANOPY DEFICIT: 175,078 SQ.FT	(70) 3" CALIPER TREES
REPLACEMENT TREES REQUIRED: 105	**REPLACEMENT TREES PROVIDED SUM: 92**

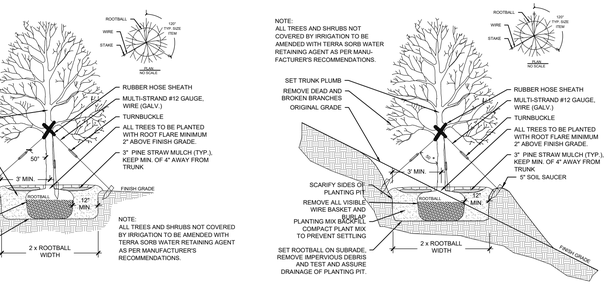
Landscape Buffer	Required Type	Proposed Type
North (R-1 Zoning)	Type B — 10' Internal	Type B 10' Buffer & Modified Type B 5' Buffer
South (Old Chapel Hill Rd)	Type C — 20' External	Modified Type C 15' Buffer & Modified Type C 10' Buffer
East (R-1 Zoning)	Type B — 10' Internal	Modified Type B 5' Buffer
West (E Lakeview Dr)	Type C — 20' External	Modified Type C 10' Buffer

PARKING LOT SHADING CALCULATION
REQUIRED: One large canopy tree per 2,000SF of paved surface area planted within 10' of the parking lot
TOTAL PAVED SURFACE: 34,021 SQ.FT
REQUIRED: 17 LARGE CANOPY TREES
PROVIDED: 17 LARGE CANOPY TREES

RECREATION SPACE CALCULATION
RECREATION SPACE RATIO: .218
GROSS LAND AREA: 175,078 SQ.FT
REQUIRED RECREATION SPACE: 38,167 SQ.FT
FUTURE GREENWAY EASEMENT: 12,897 SQ.FT
RECREATION SPACE DEFICIT: 25,270 SQ.FT



1 L1.0 DETAIL TYPICAL TREE PLANTING AND GUYING
NOT TO SCALE



2 L1.0 DETAIL TYPICAL SLOPE PLANTING
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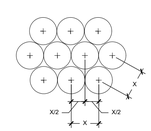
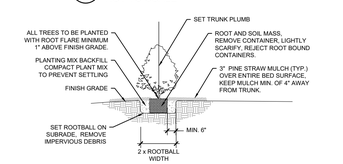
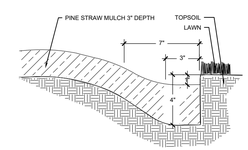


1. SEE PLANTING PLANS FOR SHRUB & GROUNDCOVER BED AREAS.
2. ROWS SHALL BE STRAIGHT & PARALLEL.
3. SPACING SHOWN ON PLANT SCHEDULE (X).

3 L1.0 DETAIL TYPICAL STAGGERED ROW SPACING
NOT TO SCALE



4 L1.0 DETAIL TYPICAL CONTAINERIZED SHRUB PLANTING
NOT TO SCALE



NOTE: TRENCH EDGE TO BE LOCATED BETWEEN PLANTING BEDS AND ALL LAWN AREAS AND AROUND TREE PITS LOCATED IN LAWN AREAS.

5 L1.0 TRENCH EDGE DETAIL FOR ALL PLANT BEDS
NOT TO SCALE

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FOR REVIEW

EAST LAKEVIEW TOWNHOUSES
OLD CHAPEL HILL RD
CHAPEL HILL, NC

REVISIONS		
NO	DATE	DESCRIPTION

LANDSCAPE PLAN

JOB NO:	KADR-2412
DATE:	11/01/2024
DRAWN BY:	TJC
CHECKED BY:	AJR
SHEET NUMBER:	L1.0

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PLANT KEY L2.0

SYMBOL	BOTANICAL NAME	COMMON NAME
TREES		
	AMELANCHIER X GRANDIFLORA `AUTUMN BRILLIANCE`	AUTUMN BRILLANCE SERVICEBERRY
	CORNUS KOUSA `MILKY WAY`	KOUSA DOGWOOD
	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE
	LIRIODENDRON TULIPIFERA 'JFS-OZ'	EMERALD CITY® TULIP POPLAR
	MAGNOLIA GRANDIFLORA `LITTLE GEM`	LITTLE GEM SOUTHERN MAGNOLIA
	NYSSA SYLVATICA 'WILDFIRE'	BLACK GUM
	PISTACIA CHINENSIS	CHINESE PISTACHE
	TAXODIUM DISTICHUM	BALD CYPRESS
	ULMUS AMERICANA `PRINCETON`	PRINCETON AMERICAN ELM
SHRUBS		
	ABELIA X `ROSE CREEK`	ROSE CREEK ABELIA
	COTONEASTER FRANCHETII	COTONEASTER FRANCHETII
	DISTYLIUM X `VINTAGE JADE`	VINTAGE JADE DISTYLIUM
	HYDRANGEA PANICULATA `LITTLE LIME`	LITTLE LIME HYDRANGEA
	ILEX CORNUTA `BURFORDII NANA`	DWARF BURFORD HOLLY
	ILEX VERTICILLATA	WINTERBERRY
	ITEA VIRGINICA `HENRY`S GARNET`	SWEETSPIRE
	LOROPETALUM CHINENSE RUBRUM 'PIILC-I' TM	CRIMSON FIRE LOROPETALUM
	MISCANTHUS SINENSIS `ADAGIO`	ADAGIO GRASS
	MUHLENBERGIA CAPILLARIS "REGAL MIST" TM	PINK MUHLYGRASS
	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC
	SPIRAEA X BUMALDA `ANTHONY WATERER`	ANTHONY WATERER SPIRAEA
	TAXUS X MEDIA `DENSIFORMIS`	DENSE YEW
GROUND COVERS		
	OPHIOPOGON JAPONICUS `DWARF`	DWARF MONDO GRASS
SOD/SEED		
	CYNODON DACTYLON	BERMUDA GRASS

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PLANT KEY L3.0		
SYMBOL	BOTANICAL NAME	COMMON NAME
TREES		
	ACER RUBRUM `OCTOBER GLORY`	OCTOBER GLORY RED MAPLE
	AMELANCHIER X GRANDIFLORA `AUTUMN BRILLIANCE`	AUTUMN BRILLANCE SERVICEBERRY
	CORNUS KOUSA `MILKY WAY`	KOUSA DOGWOOD
	LIRIODENDRON TULIPIFERA 'JFS-OZ'	EMERALD CITY® TULIP POPLAR
	PISTACIA CHINENSIS	CHINESE PISTACHE
	QUERCUS NUTTALLII	NUTTALL OAK
	QUERCUS PHELLOS `HIGHTOWER`	WILLOW OAK
	TAXODIUM DISTICHUM	BALD CYPRESS
SHRUBS		
	ABELIA X `ROSE CREEK`	ROSE CREEK ABELIA
	COTONEASTER FRANCHETII	COTONEASTER FRANCHETII
	DISTYLIUM X `VINTAGE JADE`	VINTAGE JADE DISTYLIUM
	HYDRANGEA PANICULATA `LITTLE LIME`	LITTLE LIME HYDRANGEA
	ILEX CORNUTA 'CARISSA'	CARISSA CHINESE HOLLY
	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY
	ILEX VERTICILLATA	WINTERBERRY
	ITEA VIRGINICA `HENRY`S GARNET`	SWEETSPIRE
	LOROPETALUM CHINENSE RUBRUM 'PIILC-I' TM	CRIMSON FIRE LOROPETALUM
	MISCANTHUS SINENSIS `ADAGIO`	ADAGIO GRASS
	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC
	SPIRAEA X BUMALDA `ANTHONY WATERER`	ANTHONY WATERER SPIRAEA
	TAXUS X MEDIA `DENSIFORMIS`	DENSE YEW
GROUND COVERS		
	LIRIOPE MUSCARI ``VARIEGATA`	VARIEGATED LIRIOPE
	OPHIOPOGON JAPONICUS `DWARF`	DWARF MONDO GRASS
	TRACHELOSPERMUM ASIATICUM	ASIATIC JASMINE
SOD/SEED		
	CYNODON DACTYLON	BERMUDA GRASS

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