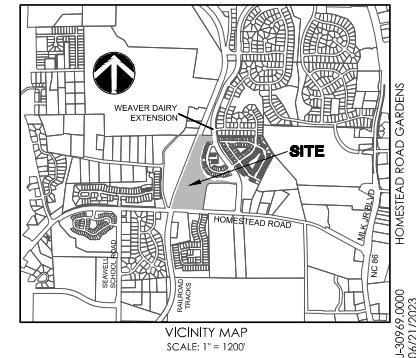




CONDITIONAL ZONING OF HOMESTEAD ROAD GARDENS



PREPARED FOR:
SELF-HELP CREDIT UNION

PIN# 9870-91-2947

JUNE 21, 2023

J-30969.0000

PREPARED BY

A circular red stamp with a decorative border containing the text "NORTH CAROLINA" at the top and "PROFESSIONAL" and "ENGINEER" in the center. The bottom half of the border contains the text "PRELIMINARY NOT FOR CONSTRUCTION". In the center, it says "10-001" above "ROLSTET". The entire stamp is in red ink.

**THOMAS
&
HUTTON**



ABBREVIATIONS

DBL. DOUBLE	FM	FORCE MAIN (SANITARY SEWER)	PC	POINT OF CURVE	TC	TOP OF CURB	
BOT. BOTTOM	FP	FINISH PAD	PH	POST HYDRANT	TH	THROAT ELEVATION	
CB	FR	FRAME	PT	POINT OF TANGENT	TG	TOP OF GUTTER	
CI	GI	GRATE INLET	PVC	POLYVINYL CHLORIDE	TP	TOP OF PAVEMENT	
CO	CLEAN OUT	GV	GATE VALVE	RCP	REINFORCED CONCRETE PIPE	TW	TOP OF WALK
CPP	CORRUGATED PLASTIC PIPE	HDP	HIGH DENSITY POLYETHYLENE	RC	ROLL CURB INLET	TYP	TYPICAL
DBL. DOUBLE	HI	HOODED INLET	RCP	REINFORCED CONCRETE PIPE	VI	VALLEY INLET	
DI	DITCH INLET	INV	INVERT ELEVATION	RI	ROOF INLET	W	WATER
DIP	DUCTILE IRON PIPE	JB	JUNCTION BOX	RJP	RESTRAINED JOINT PIPE	W/	WITH
EL.	ELEVATION	LF	LINEAR FEET	R/W	RIGHT-OF-WAY	WV	WATER VALVE
ES	END SECTION	MAX	MAXIMUM	SD	STORM DRAINAGE	YI	YARD INLET
FES	FLARED END SECTION	MIN	MINIMUM	SDMH	STORM DRAINAGE MANHOLE	YI	YARD INLET
FG	FINISH GRATE	MH	MANHOLE	SF	SQUARE FEET		
FH	PIPE HYDRANT	OC	ON CENTER	SS	SANITARY SEWER		

DRAINAGE LEGEND

DESCRIPTION	EXISTING	PROPOSED
PIPE	—	—
DITCH	—	—
CURB INLET (C) OR CATCH BASIN (CB)	□ OR ○	□ OR ○
CURB INLET - RIGHT (C) OR CATCH BASIN - RIGHT (CB)	□ OR ○	□ OR ○
CURB INLET - LEFT (C) OR CATCH BASIN - LEFT (CB)	□ OR ○	□ OR ○
CURB INLET - BOTH (C) OR CATCH BASIN - LEFT (CB)	□ OR ○	□ OR ○
CONTROL STRUCTURE (CS)	□	■
DITCH INLET (DI)	□	□
GRATE INLET (GI)	□	□
HOODED INLET (HI)	□ OR □	□ OR □
JUNCTION BOX (JB)	□	□
MANHOLE (SDMH)	○	○
ROLL CURB INLET (RC)	□	□
ROOF INLET (RI)	○	○
YARD INLET (YI)	○	○
FLARED END SECTION (FES)	—	—

SEWER LEGEND

DESCRIPTION	EXISTING	PROPOSED
GRAVITY PIPE	—	—
SINGLE SERVICE LATERAL	—	—
DOUBLE SERVICE LATERAL	—	—
MANHOLE	○	●
CLEANOUT	○	●
FORCemain	—	—
VALVE AND BOX	○	●
FLUSH HYDRANT	○	●
REDUCER	□	■
BACKFLOW PREVENTOR	□	□
CROSS	—	—
TEE	—	—
90° BEND - HORIZONTAL	—	—
45° BEND - HORIZONTAL	—	—
22-1/2° BEND - HORIZONTAL	—	—
11-1/4° BEND - HORIZONTAL	—	—
BEND - VERTICAL	—	—
PLUG \ CAP	—	—

WATER LEGEND

DESCRIPTION	EXISTING	PROPOSED
WATER MAIN	—	—
SINGLE SERVICE LATERAL	—	—
DOUBLE SERVICE LATERAL	—	—
VALVE AND BOX	○	●
FIRE HYDRANT W/ VALVE & BOX	○	●
POST HYDRANT	○	●
REDUCER	□	■
BACKFLOW PREVENTOR	□	□
CROSS	—	—
TEE	—	—
90° BEND - HORIZONTAL	—	—
45° BEND - HORIZONTAL	—	—
22-1/2° BEND - HORIZONTAL	—	—
11-1/4° BEND - HORIZONTAL	—	—
BEND - VERTICAL	—	—
CAP	—	—

SCOPE CHANGES REQUESTED IN CZ MODIFICATION APPLICATION

RESIDENTIAL DENSITY:
REDUCE THE TOTAL UNITS FROM 126 TO A RANGE OF 73-103 UNITS

PARKING:
REQUEST ADDITION OF MODIFICATION TO ALLOW UP TO A 10% REDUCTION IN LUMO REQUIRED PARKING

BUILT SQUARE FOOTAGE:
REDUCE THE TOTAL BUILDING SQUARE FOOTAGE FROM A MAXIMUM OF 181,575 SF TO A MAXIMUM OF 130,285 SF

Sheet List Table

Sheet Number	Sheet Title
C0	COVER SHEET
G0.1	GENERAL NOTE INDEX & LEGEND
D1.1	EXISTING CONDITIONS & DEMOLITION PLAN
C1.1	SITE PLAN - OVERALL
C1.2	SITE PLAN - SOUTH
C1.3	SITE PLAN - CENTER
C1.4	SITE PLAN - NORTH
C1.5	SITE DETAILS
C1.6	SITE DETAILS
C1.7	SITE DETAILS - FENCES AND WALLS
C1.8	SITE DETAILS - TRAIL
C2.1	WATER & SEWER PLAN - OVERALL
C2.2	WATER & SEWER PLAN - SOUTH
C2.3	WATER & SEWER PLAN - CENTER
C2.4	WATER & SEWER PLAN - NORTH
C2.5	SEWER DETAILS
C2.6	SEWER DETAILS
C2.7	WATER DETAILS
C2.8	WATER DETAILS
C3.1	PAVING GRADING & DRAINAGE - OVERALL
C3.2	PAVING GRADING & DRAINAGE - SOUTH
C3.3	PAVING GRADING & DRAINAGE - CENTER
C3.4	PAVING GRADING & DRAINAGE - NORTH
C3.5	DRAINAGE DETAILS
L1.1	LANDSCAPE PLAN - OVERALL
L1.2	LANDSCAPE PLAN - SOUTH
L1.3	LANDSCAPE PLAN - CENTER
L1.4	LANDSCAPE PLAN - NORTH
L1.5	LANDSCAPE CALCULATIONS
L1.6	LANDSCAPE DETAILS

OTHER UTILITIES LEGEND

DESCRIPTION	EXISTING
NATURAL GAS	UGG
TELEPHONE	OHT
UNDERGROUND TELEPHONE	UTL
ELECTRICITY	OHP
UNDERGROUND ELECTRICITY	UGP

SITE DATA

PIN: 9870-91-2947
OWNER: TOWN OF CHAPEL HILL
ENVIRONMENTAL CONSTRAINTS: JORDAN BUTTER RESOURCE CONSERVATION DISTRICT

TOTAL PARCEL LAND AREA: 540.336 SF / 12.41 AC (NET)
HOMESTEAD FRONTAGE: 586.43 LF, RIGHT OF WAY WIDTH 75'
WEAVER DAIRY EXT FRONTAGE: 12.20 LF (NORTH) + 25.15 LF (SOUTH), RATIO OF WIDTHS 47.5% / 50%
GROSS LAND AREA: 569,445.16 SF / 13.07 AC

EXISTING ZONING: R-SS-CZD

PROPOSED LAND DISTURBANCE: 373,270 sf / 8.6 AC

EXISTING IMPERVIOUS ON-SITE: 18,442 SF / 0.34 AC
PROPOSED IMPERVIOUS ON-SITE: 166,918 SF / 3.0 AC

PROPOSED USE TOWNHOMES: 0-8 UNITS X 3 BEDROOM, 1-21 UNITS X 2 BEDROOM, 0-1 UNITS X 1 BEDROOM (POTENTIAL FOR UP TO 8X3 BEDROOM UNITS TO BE CONVERTED TO 2 BEDROOM + ADU)

APARTMENTS: 22 X 1 BEDROOM, 22 X 2 BEDROOM, 0-5 BEDROOMS
DUPLEXES: 8 UNITS X 3 BEDROOM, 4 UNITS X 4 BEDROOM, 89 UNITS

TOTAL SQUARE FOOTAGE PROPOSED: 130,385 sf

FLOOR AREA RATIO
DISTRICT AREA FAR: 1.0 X 428,317 SF = 471,148 SF
RCD STREAMSIDE: 0.01 X (89,098x1.1) ON THIS SITE = 980 SF
RCD MANAGED: 0.019 X (16,875x1.1) SF ON THIS SITE = 353 SF
RCD UPLAND: 1.10 X (22,325x1.1) SF IN THIS AREA = 27,013 SF

TOTAL ALLOWED FLOOR AREA: 499,494 SF
TOTAL PROPOSED FLOOR AREA: 130,385 SF

PARKING

MINIMUM REQUIRED: 1 SPACE PER 1 BDRM = 22x1 = 22
1.4 / 2 BDRM = 41x1.4 = 57
1.75 / 3 BDRM = 22x1.75 = 39
2 / 4 BDRM = 42x2 = 8

MINIMUM REQUIRED SPACES

MAXIMUM ALLOWED: 1.25 / 1 BDRM = 22 x 1.25 = 28
1.75 / 2 BDRM = 41x1.75 = 72
2.25 / 3 BDRM = 22x2.25 = 50
2.75 / 4 BDRM = 42x2.75 = 10

MAXIMUM 160 SPACES

PROVIDED: 114 STANDARD SPACES
1 MOTORCYCLE SPACE
3 LARGE VEHICLE/VAN SPACES
+ 9 ADU SPACES (ALL VAN ACCESSIBLE)
127 SPACES TOTAL

SPACES SERVED BY EV CHARGING STATIONS:
REQUERED: 36 UNITS X 3 SPACES

PROVIDED: 47 UNITS X 6 SPACES

NOTE: 25 SPACES MUST BE EV-READY - READY WITH CONDUIT INSTALLED DURING SITE CONSTRUCTION

BICYCLE PARKING

REQUIRED: 89 UNITS
Residential: 10% short term = 2 (OUTSIDE)
90% long term = 21 (PROTECTED)

PROVIDED: 4 SPACES (2 LOOPS) OUTSIDE -
1 loop at basketball court
1 loop at common shelter area

22 PROTECTED SPACES IN OUTDOOR PROTECTED AREAS AND WITHIN BUILDINGS

3 loops / 6 spaces at common shelter
18 4x6' lockable porch closets at townhomes

PRELIMINARY
NOT FOR
CONSTRUCTION

THOMAS
HUTTON

111 W. MAIN STREET
DURHAM, NC 27701
www.thomas-hutton.com

GENERAL NOTES, INDEX, & LEGEND

HOMESTEAD ROAD
GARDENS

PROJECT LOCATION:

2200 Homestead Road

Chapel Hill, NC

CLIENT/OWNER:

Self-Help Credit Union

301 West Main Street

Durham, NC 27701

Attn: Tucker Barrett

DATUM: HORIZ. NAV3 VERT.: NAV3

GRAPHIC SCALE: 1 INCH = 100 FEET

GO.1

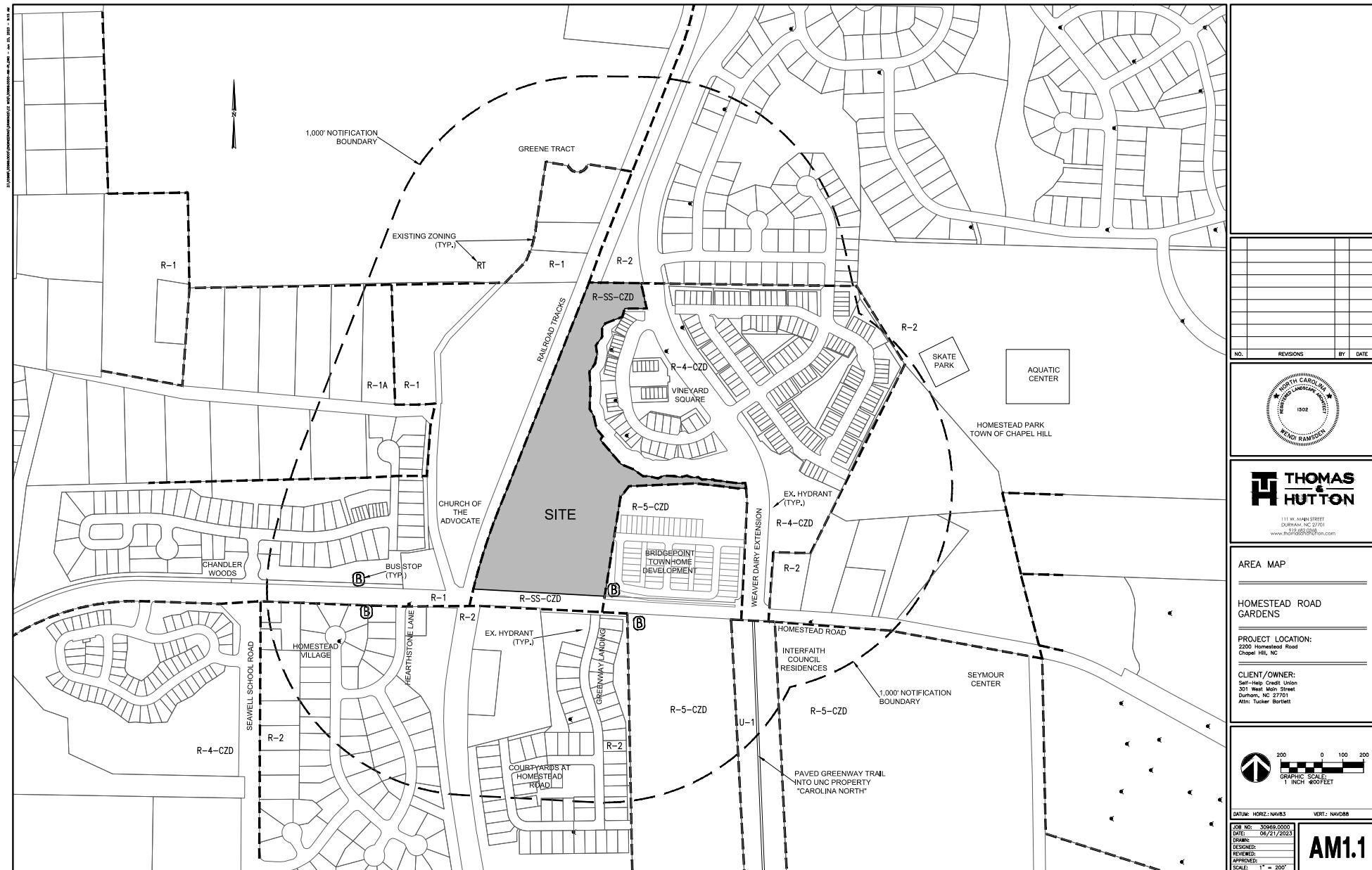
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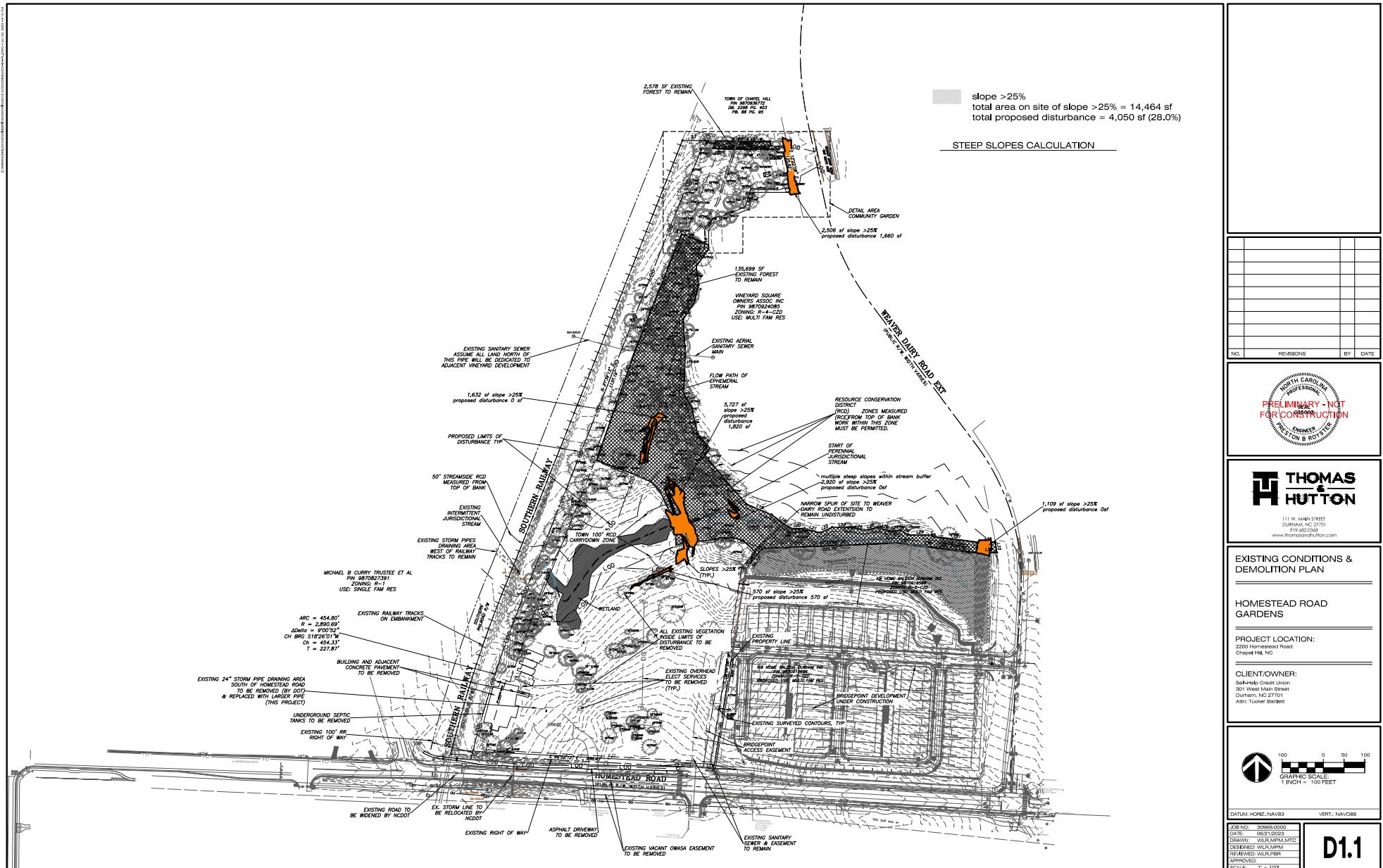
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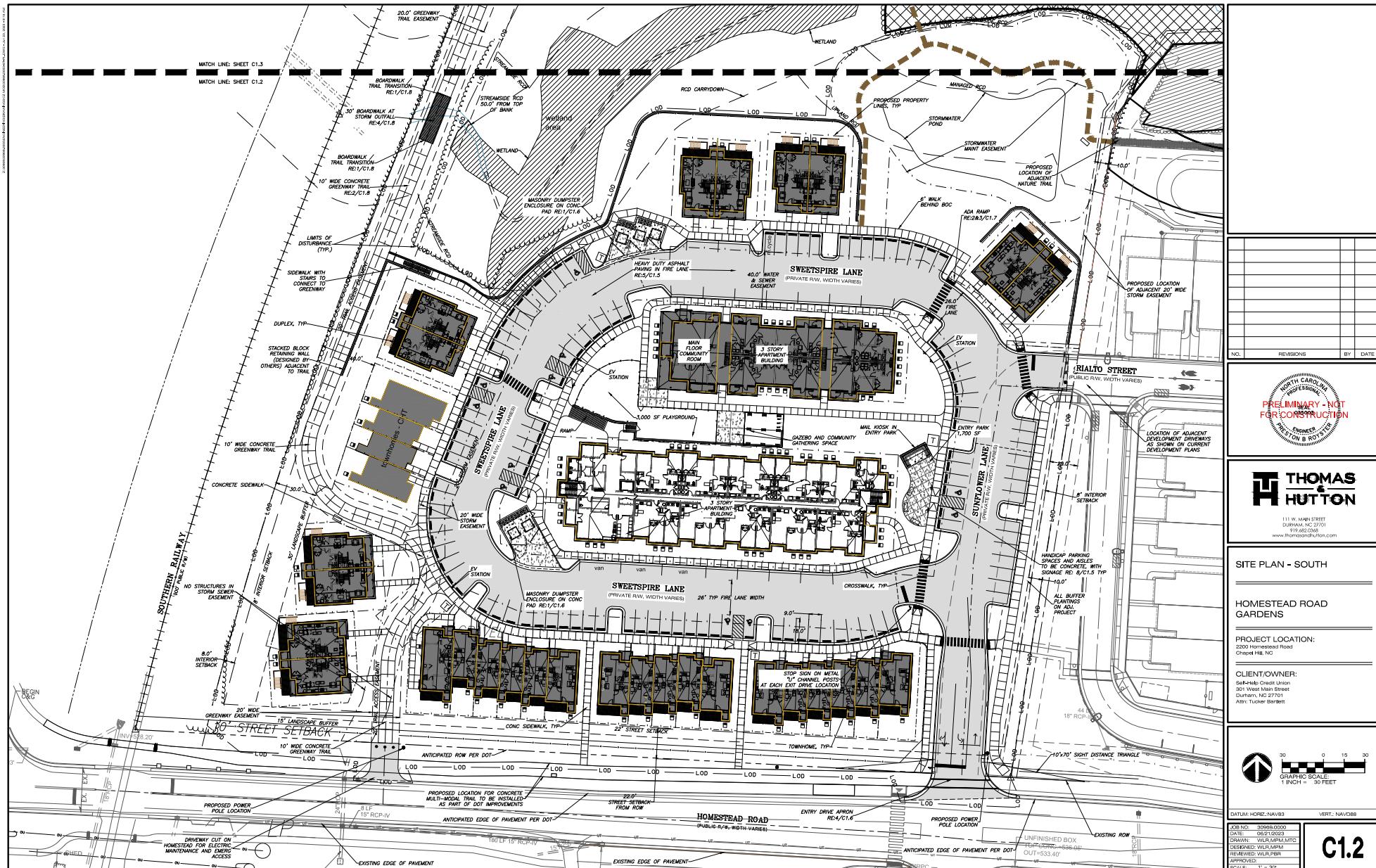
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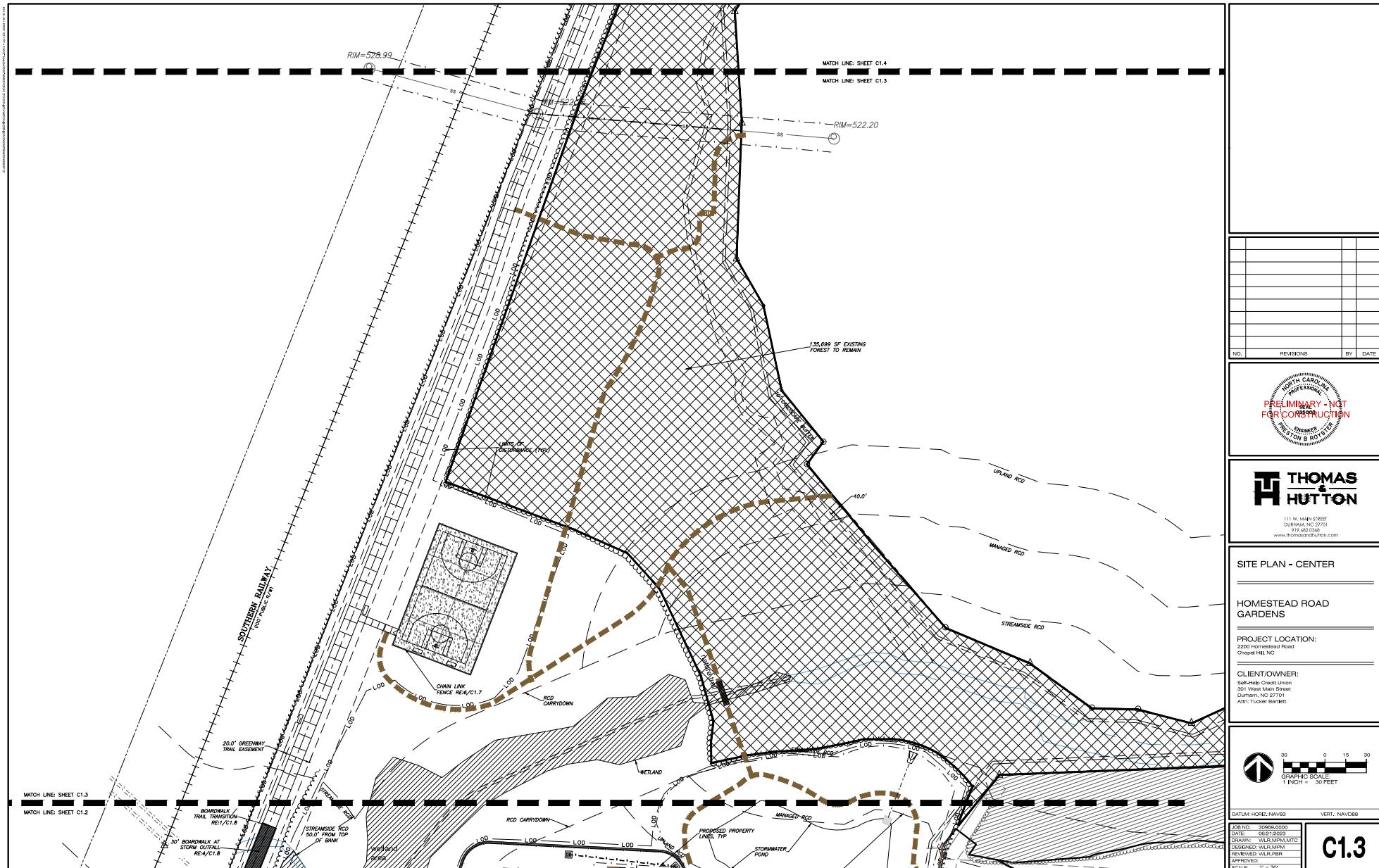
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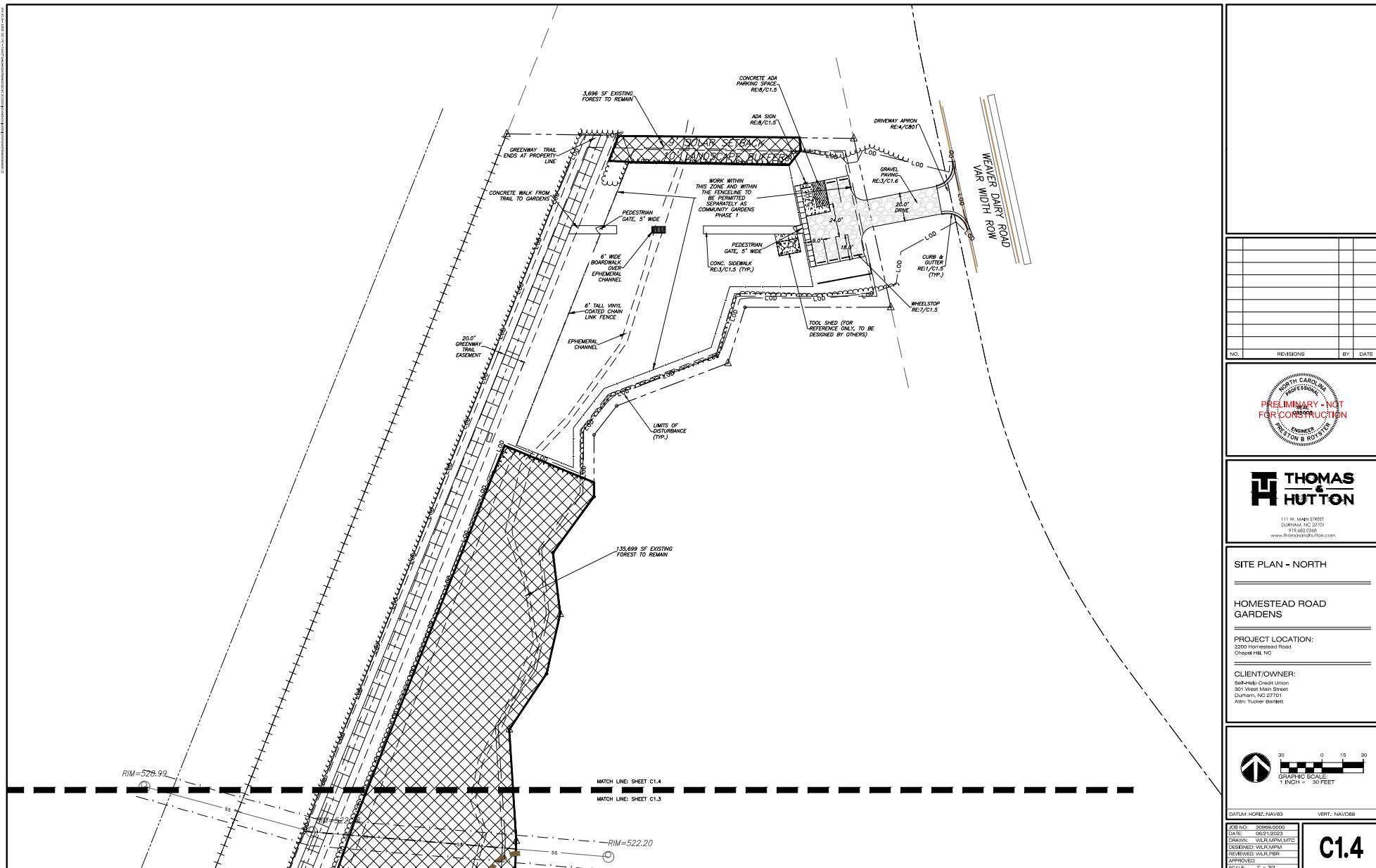
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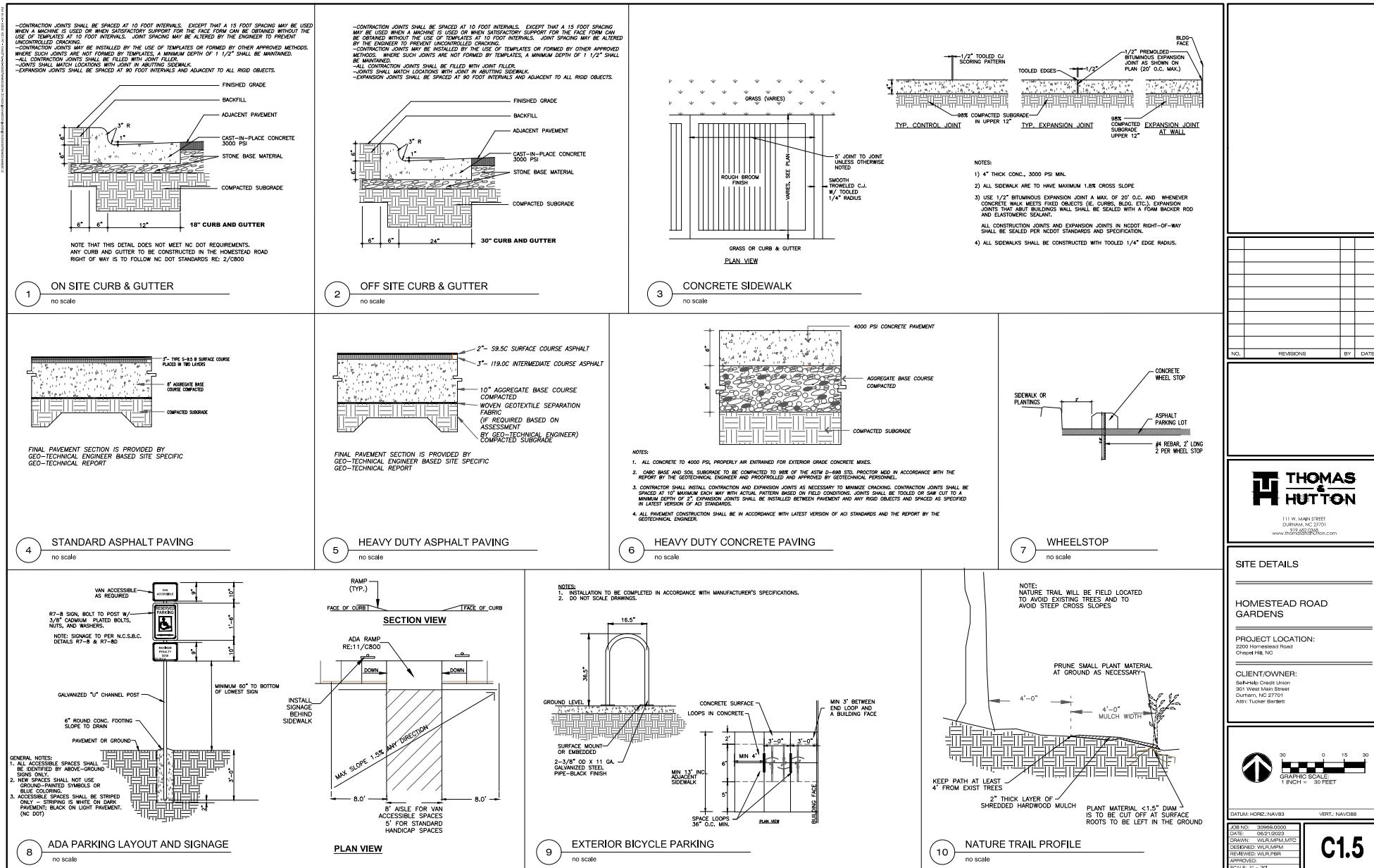




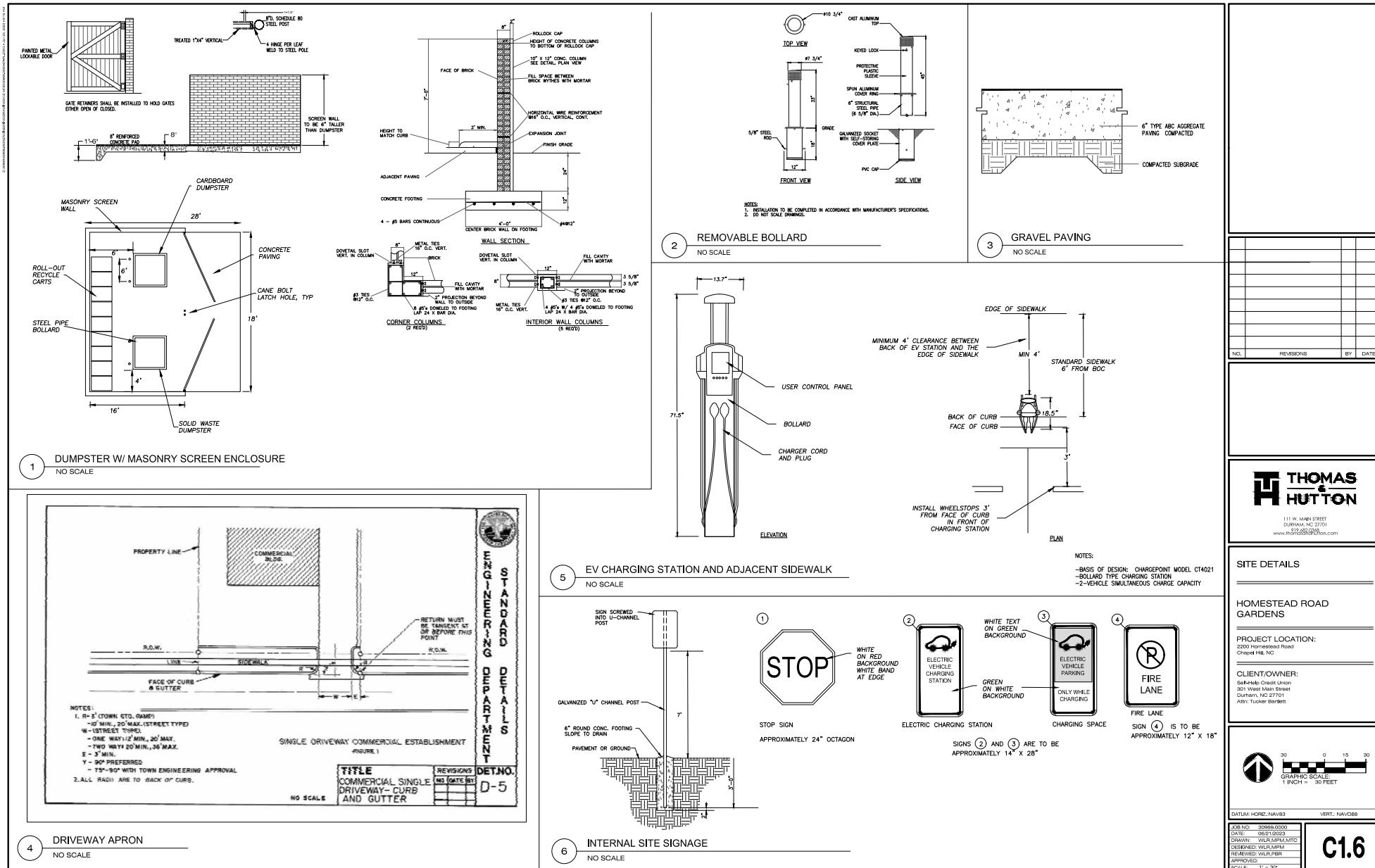


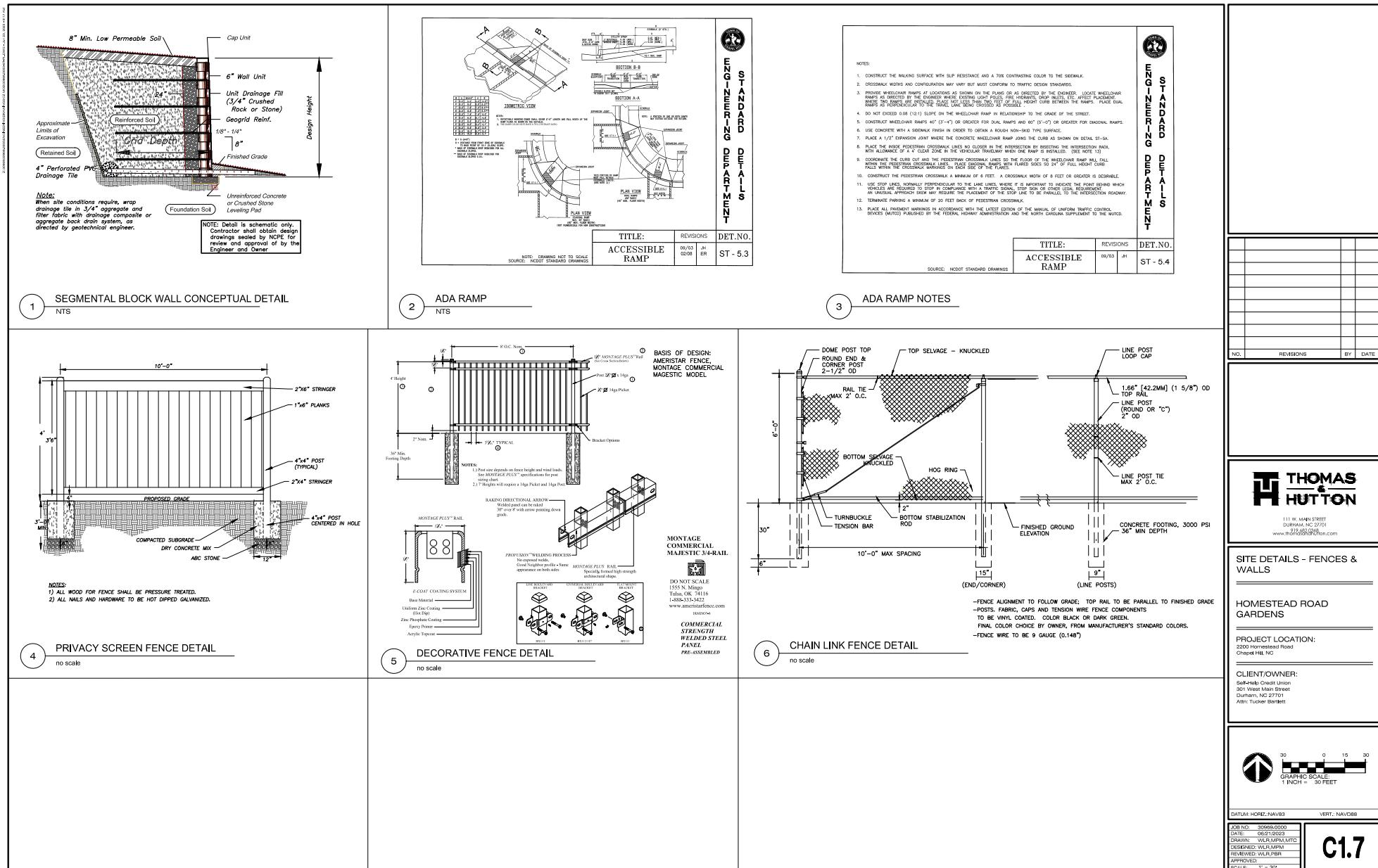


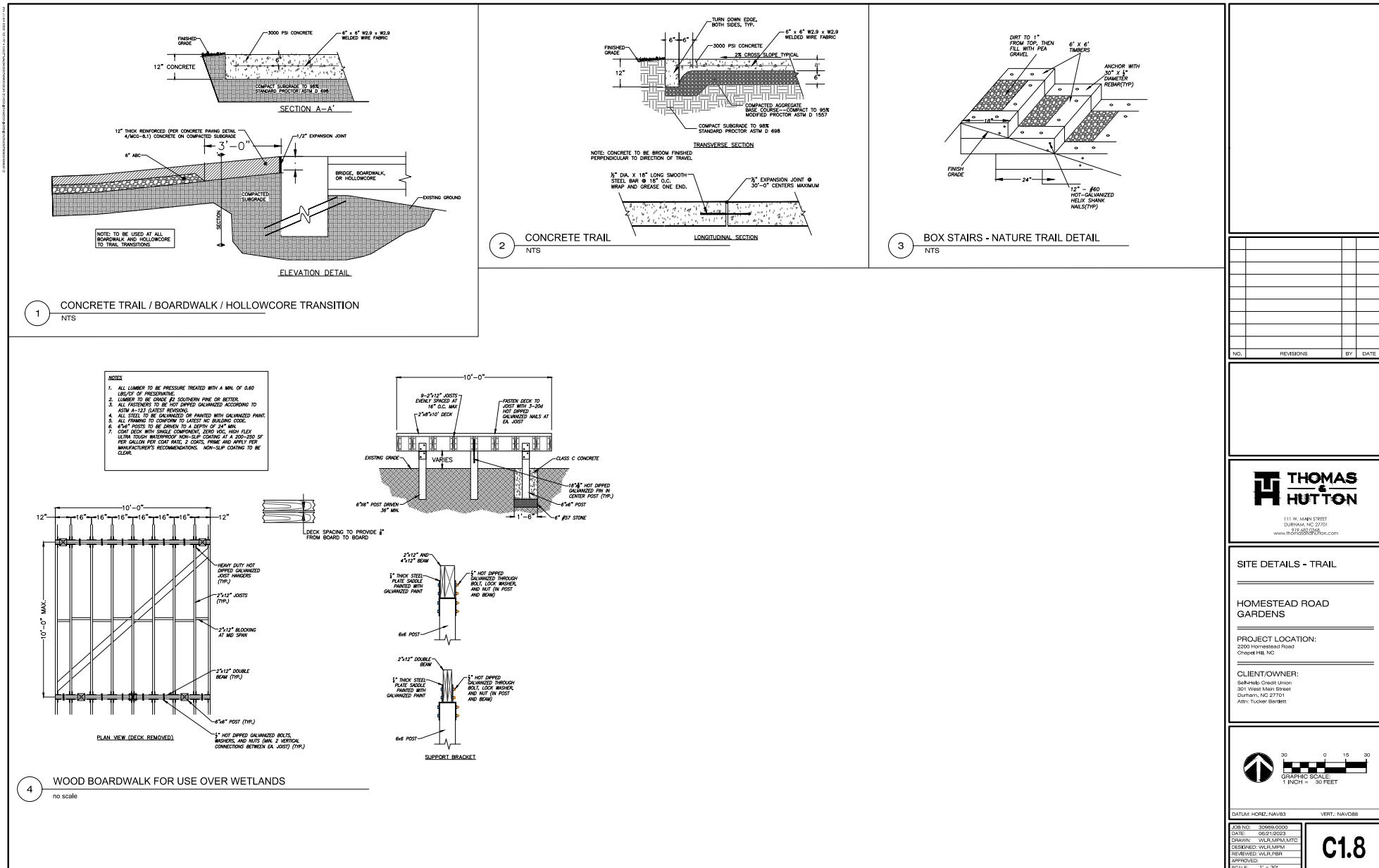




C1.5







1. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING WORK TO NOTIFY LOCAL UTILITY OWNERSHIP TO HAVE THEM CONTACT THE CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".

2. ALL WATER AND SEWER MANS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE OWASA STANDARDS AND SPECIFICATIONS.

4. ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.

5. BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE EXISTING SERVICES SHOULD BE UNDERSTOOD. TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES, TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).

6. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY CHANGES IN DIMENSIONS OR GRADES SHALL BE MADE BY THE CONTRACTOR FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

7. POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.

8. RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).

9. PROVIDE 10-FT OF HORIZONTAL SEPARATION BETWEEN PROPOSED NEW WATER AND SEWER MAINS

SANITARY SEWER:

1. BACKWATER VALVES SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.

2. MINIMUM COVER OF 3 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. DUCTILE IRON PIPE SHALL BE REQUIRED FOR ALL PIPE WITH LESS THAN 5 FEET OF COVER.

3. MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

4. MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:

1. LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PROVIDED IN A SEPARATE TRENCH. LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.

2. WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.

3. WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.

4. MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.

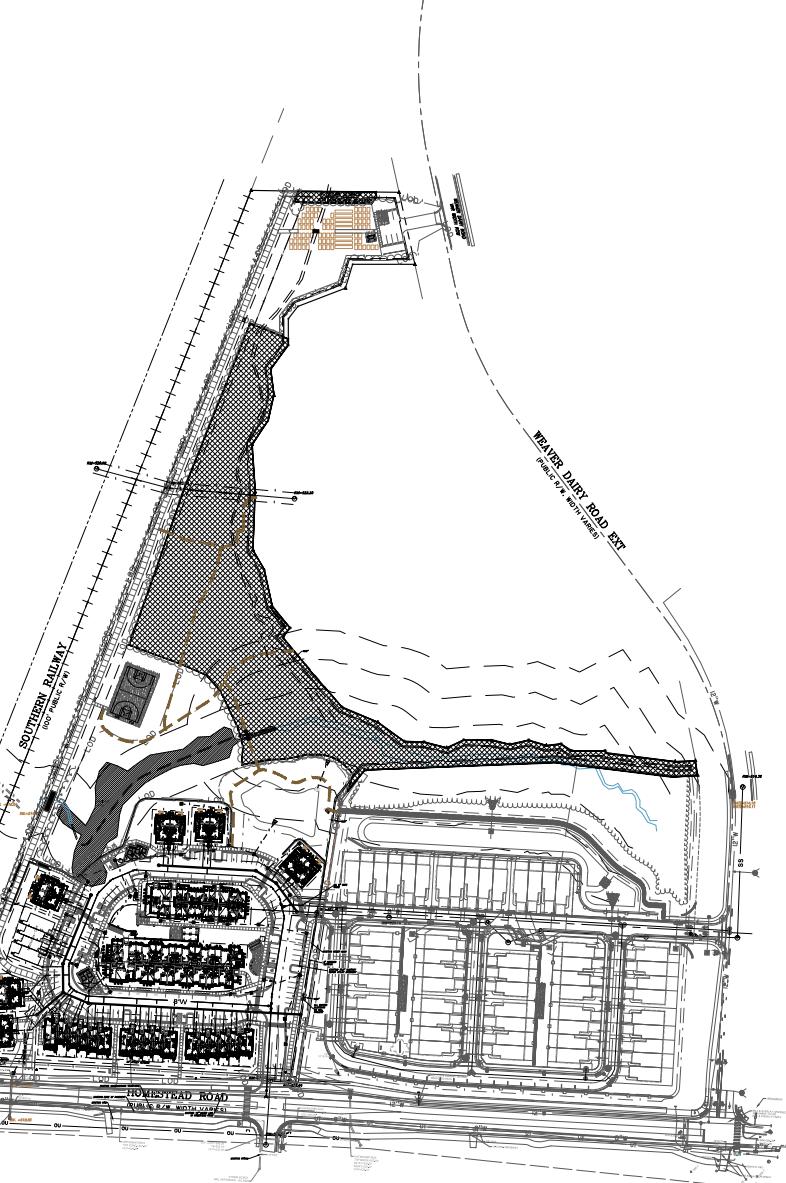
5. ALL FDC(S) AND HYDRANT(S) SHALL BE SIAMESE CONNECTIONS AND MEET TOWN OF CHAPEL HILL AND OWASA STANDARDS.

6. A FIRE HYDRANT IS REQUIRED WITHIN 100' OF THE FIRE DEPARTMENT CONNECTION (FDC).

7. WATER LINES WILL CONNECT TO THE WATER MAIN ON THE NORTH SIDE OF HOMESTEAD ROAD. CONSTRUCTION METHOD WILL BE OPEN CUT THE SHORT DISTANCE TO THE MAIN. ANY UTILITY CONNECTIONS REQUIRED TO THE SOUTH SIDE OF HOMESTEAD WILL BE BORED.

UTILITY NOTES

(2500)



111 W. Main Street
Durham, NC 27701
www.thomasandhutton.com

UTILITY PLAN - OVERALL

HOMESTEAD ROAD GARDENS

PROJECT LOCATION:
5000 Homestead Road
Chapel Hill, NC

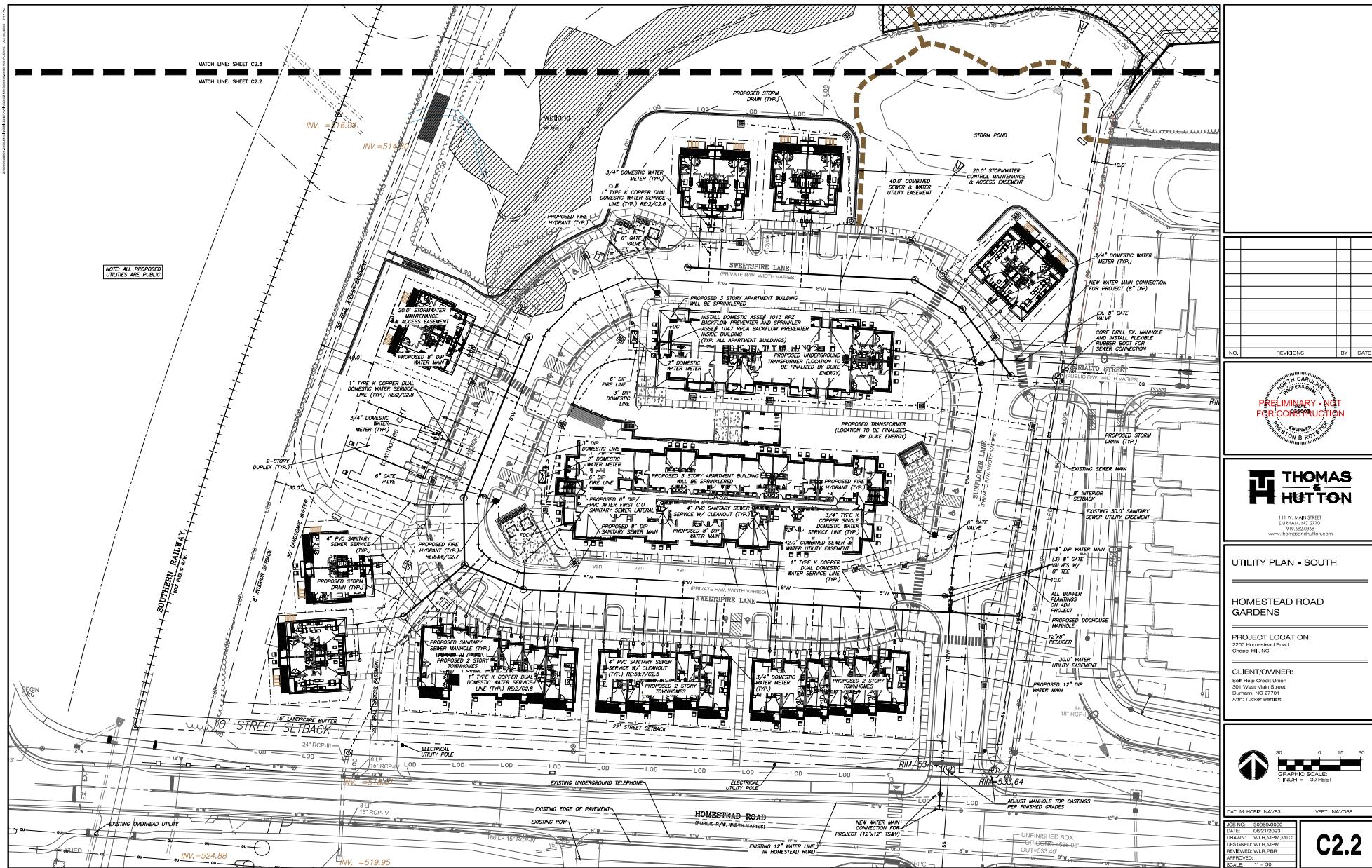
CLIENT/OWNER:
Sert-Help Credit Union
301 West Main Street
Durham, NC 27701
Attn: Tucker Berlent

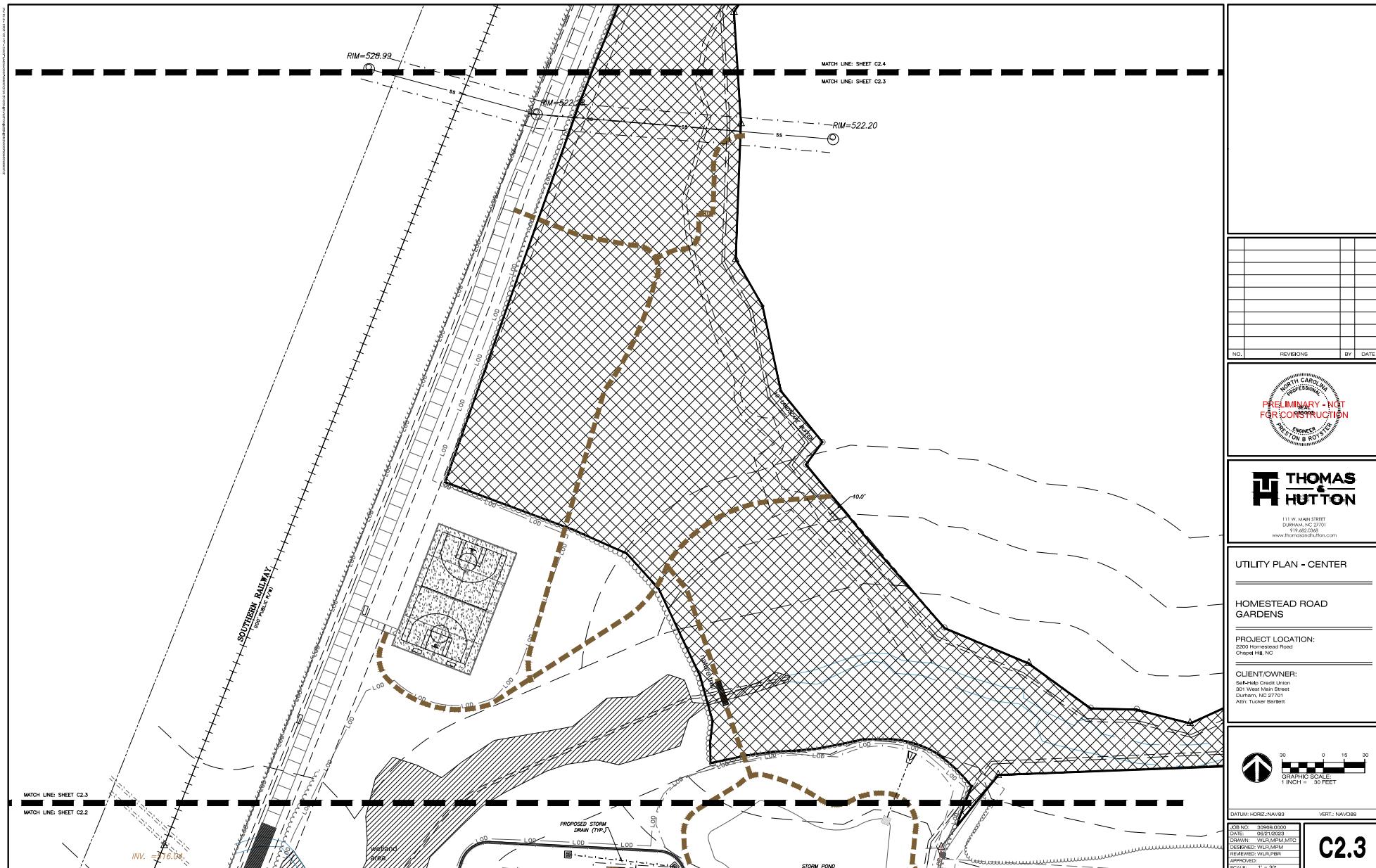


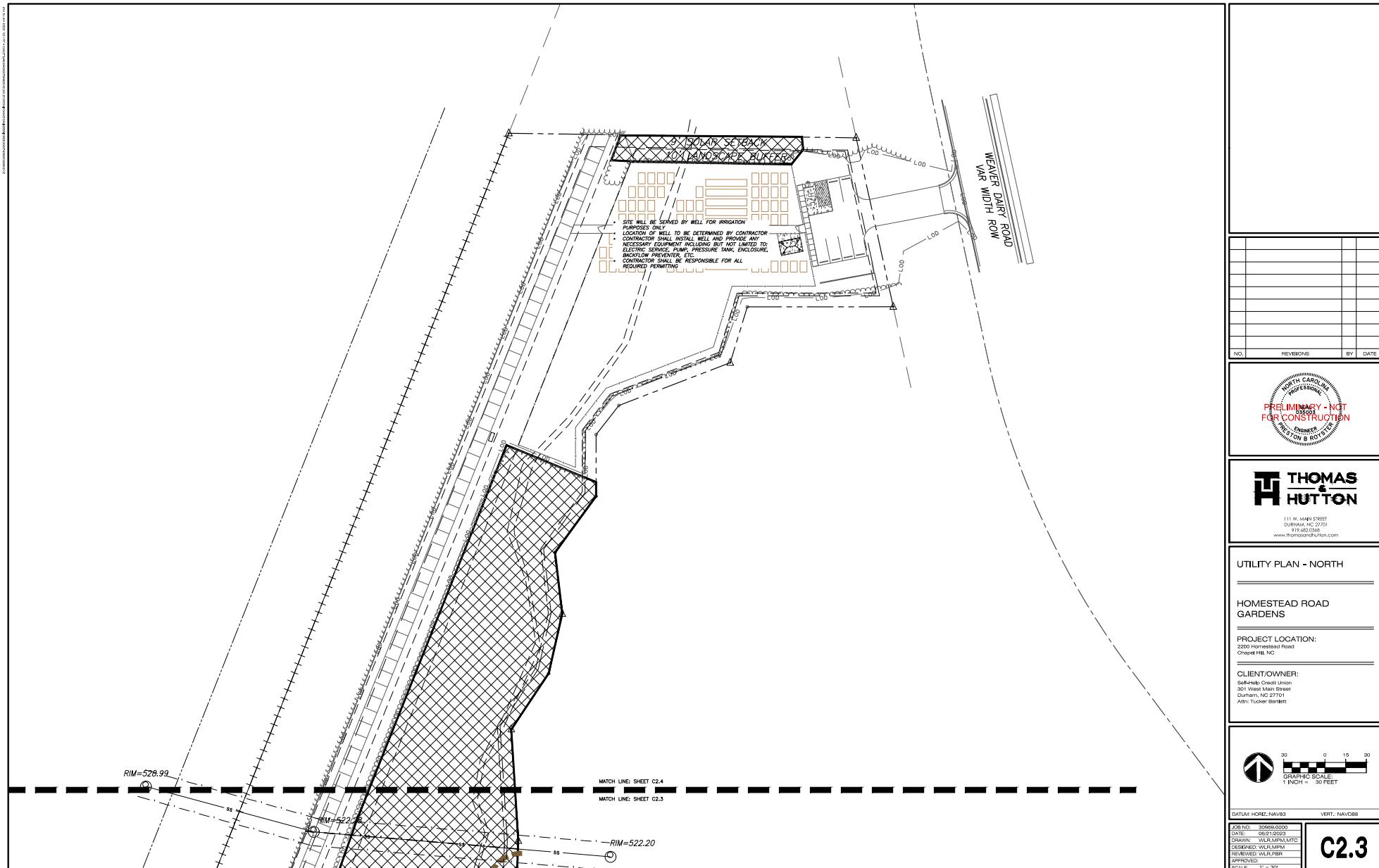
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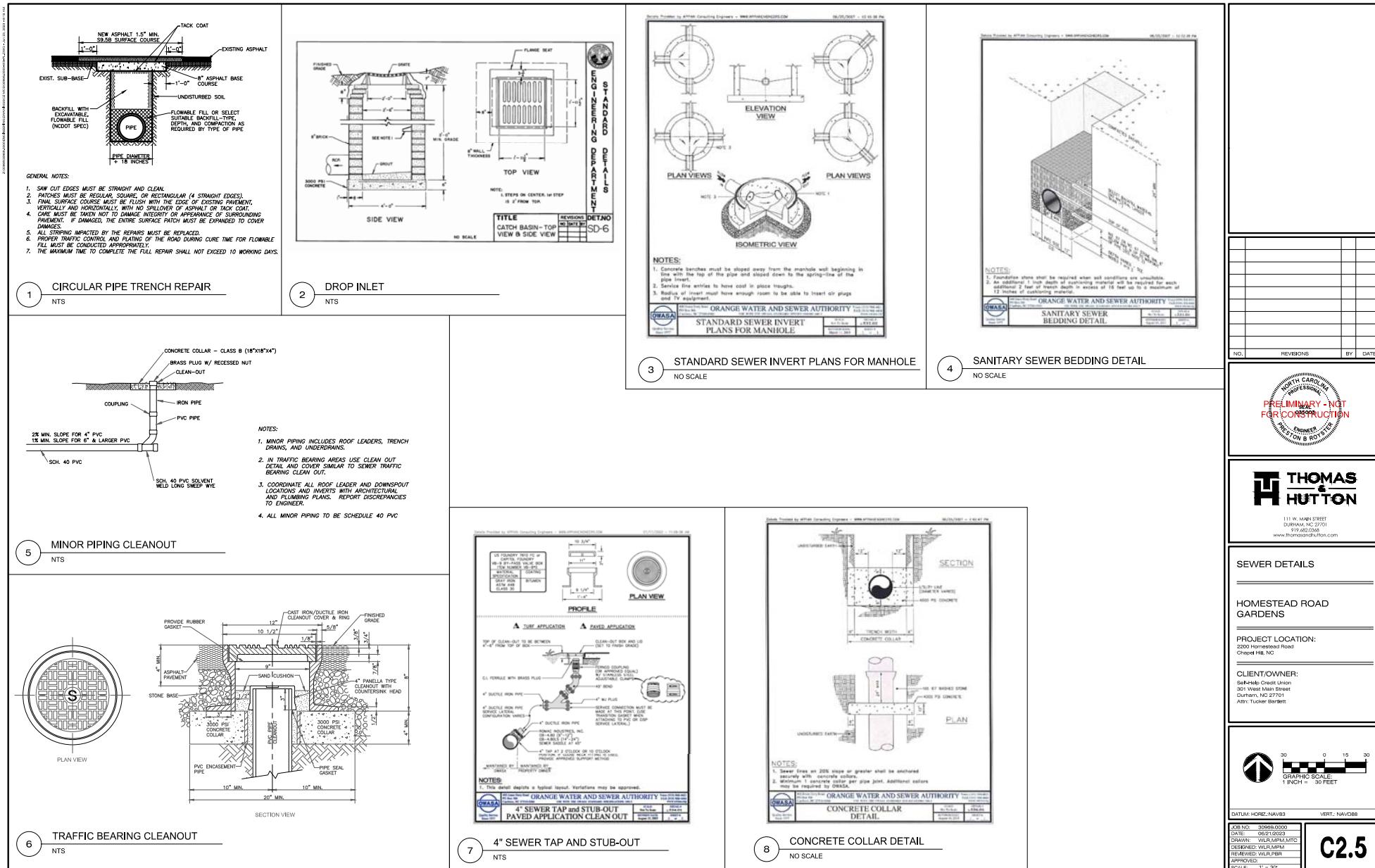
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DATE: 08/20/2010
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DESENDED: WLR/MPM
REVIEWED: WLR/MPM
APPROVED: WLR/MPM
SCALE: 1" = 100'

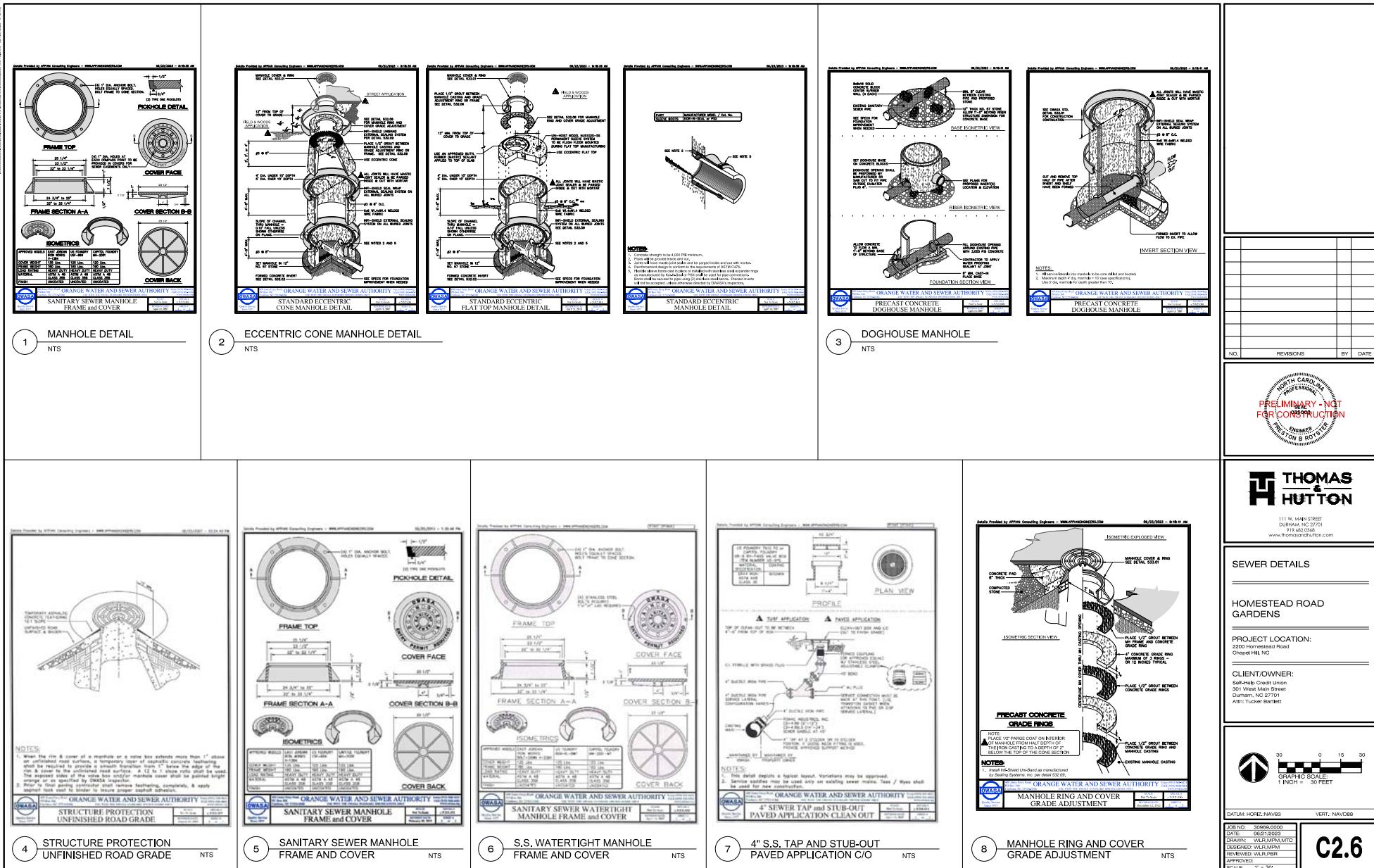
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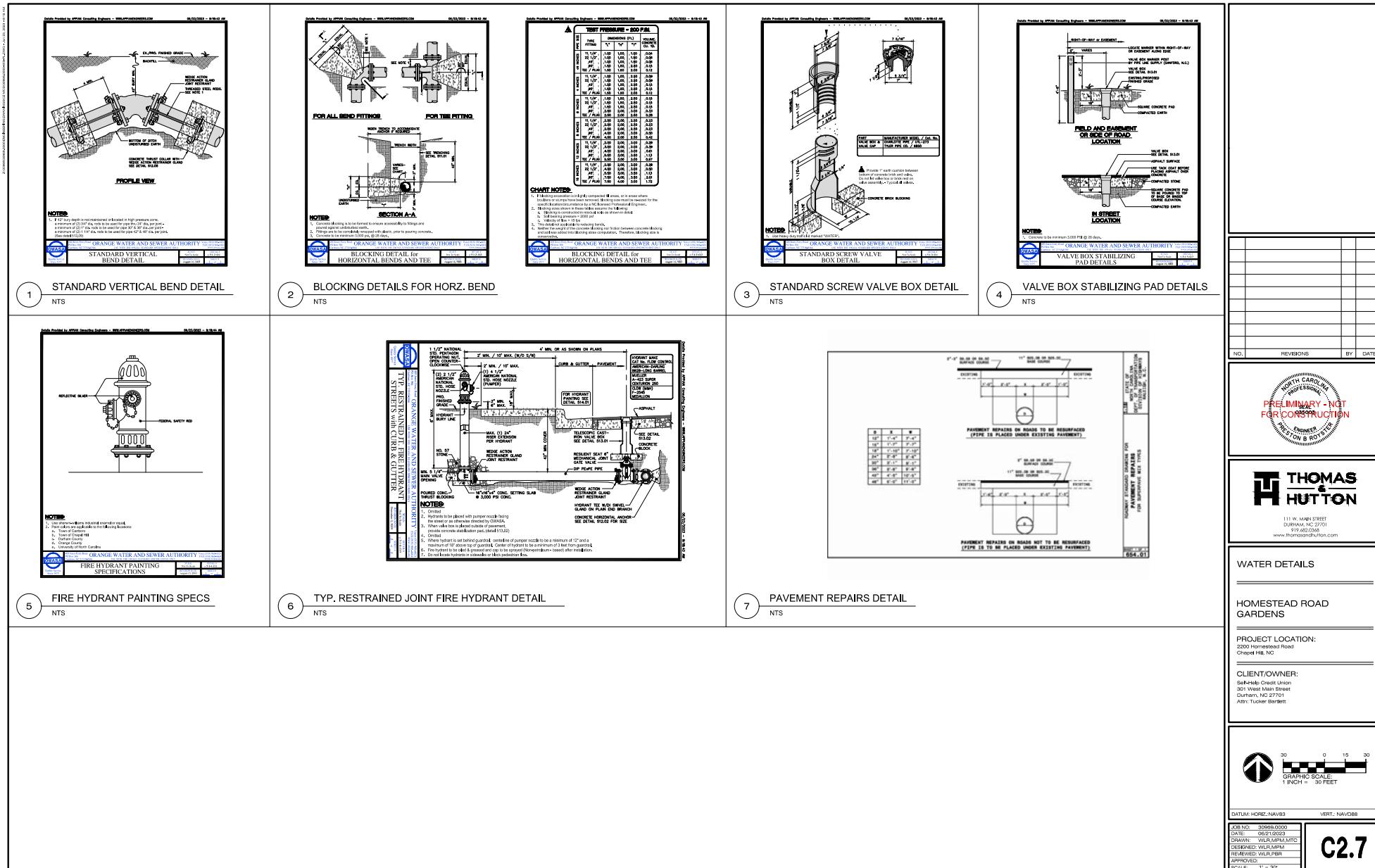


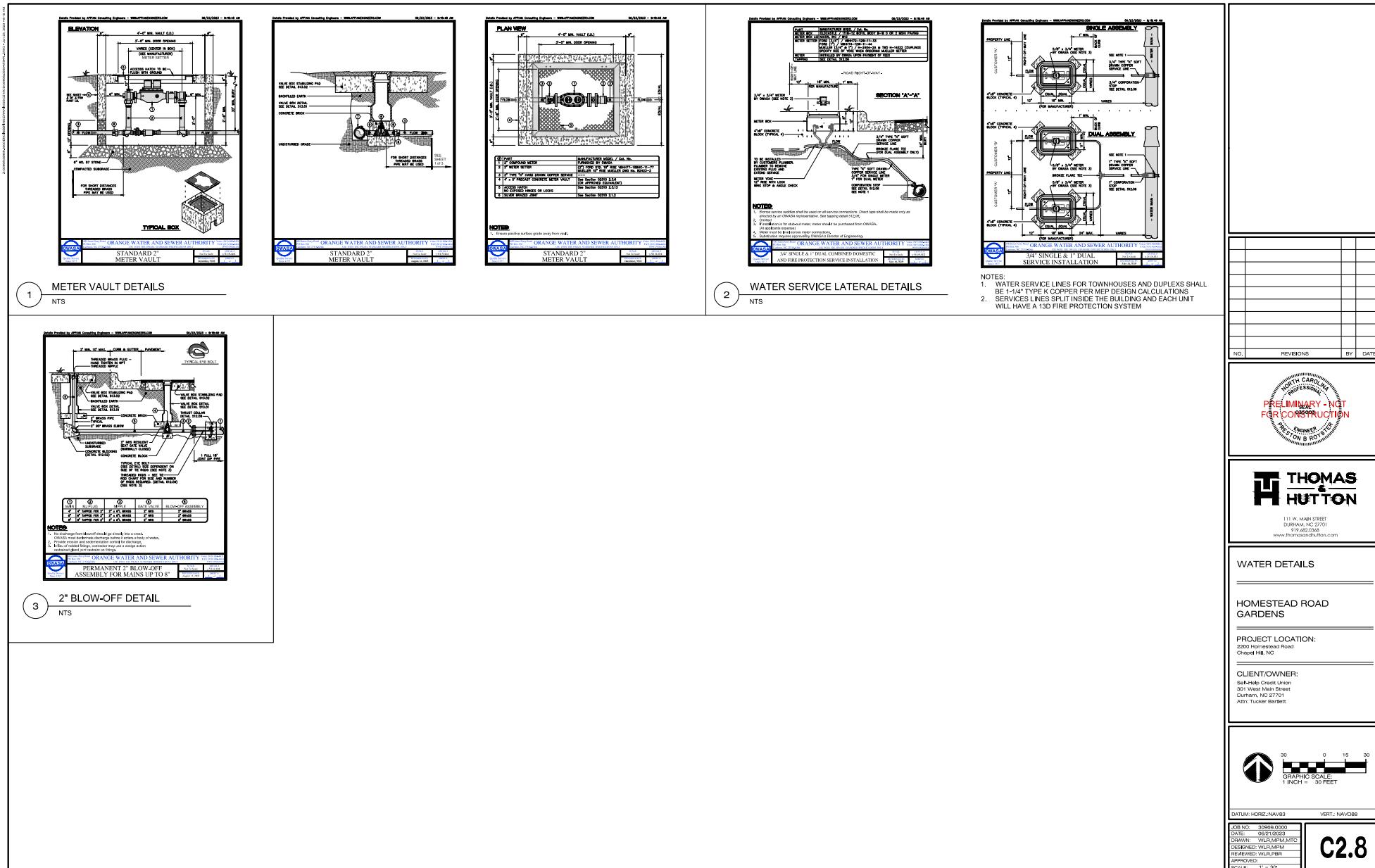


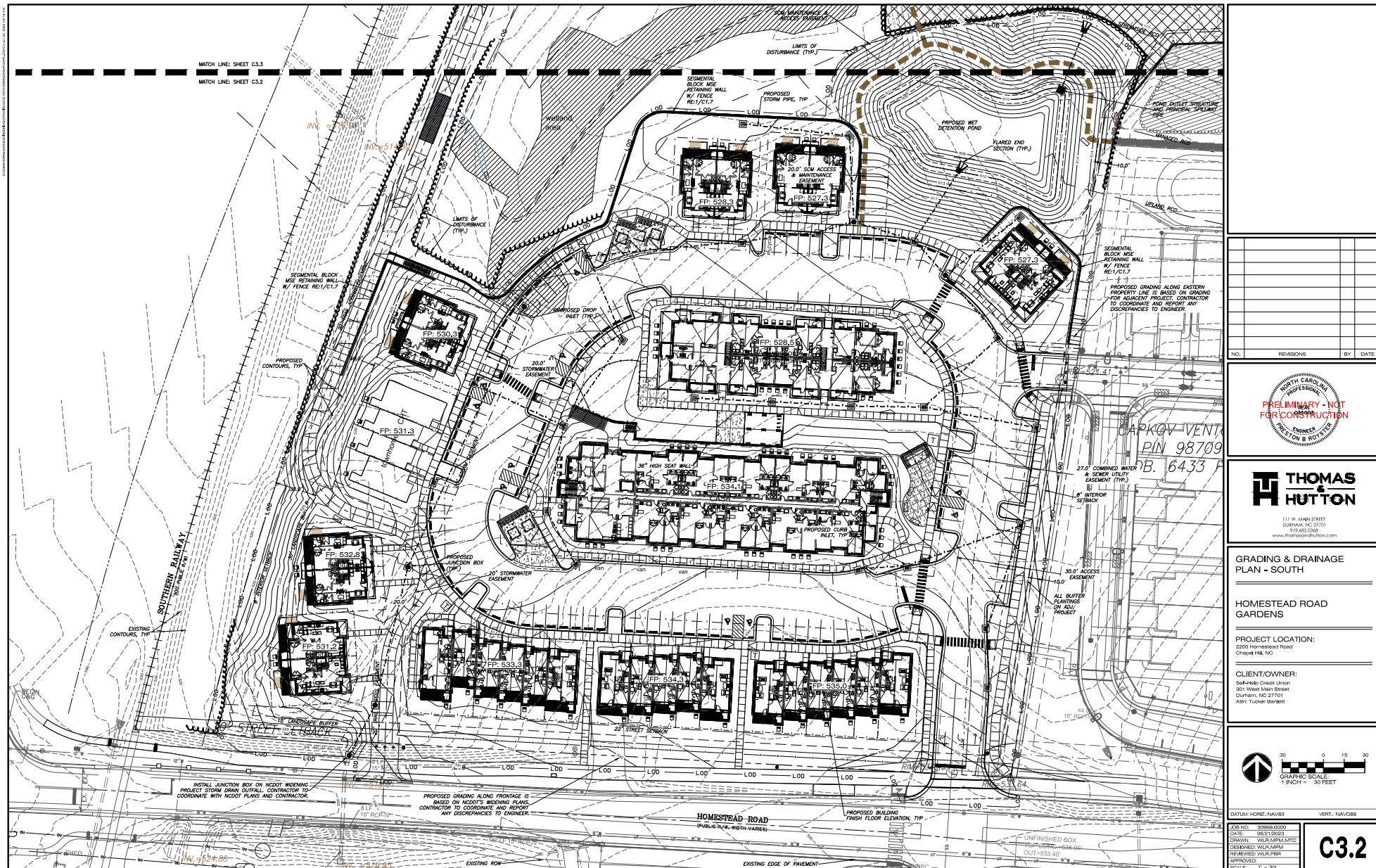


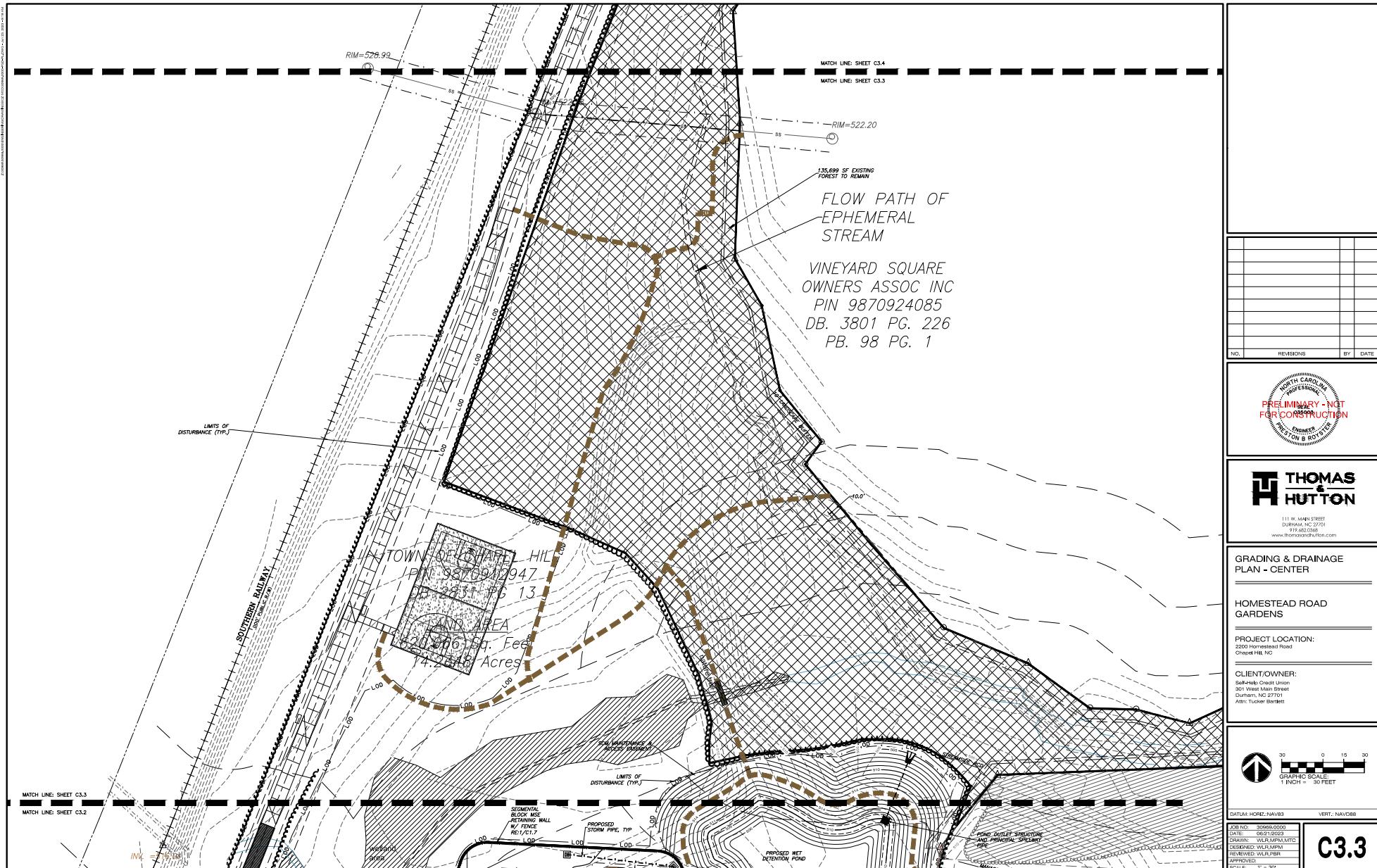


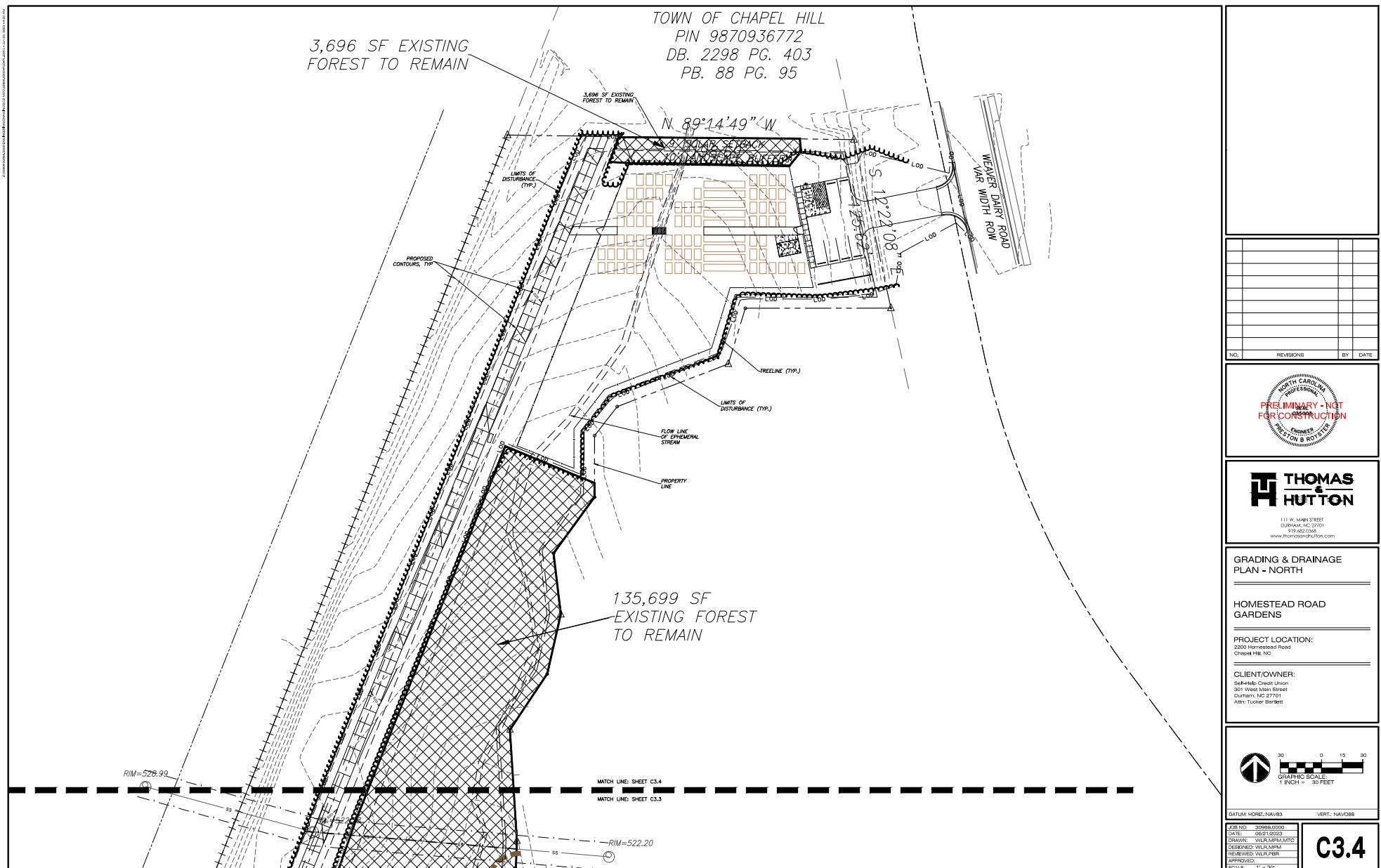
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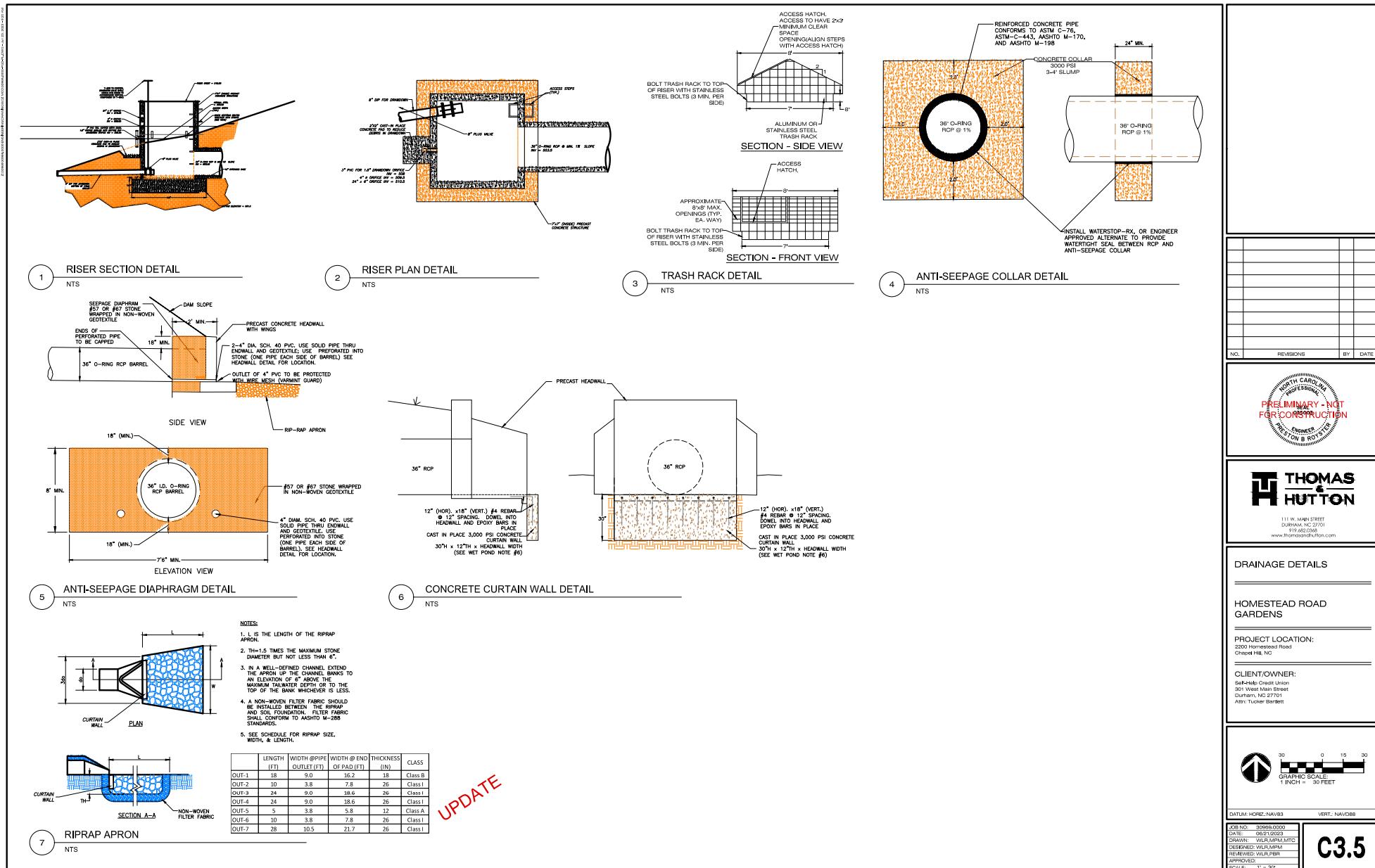


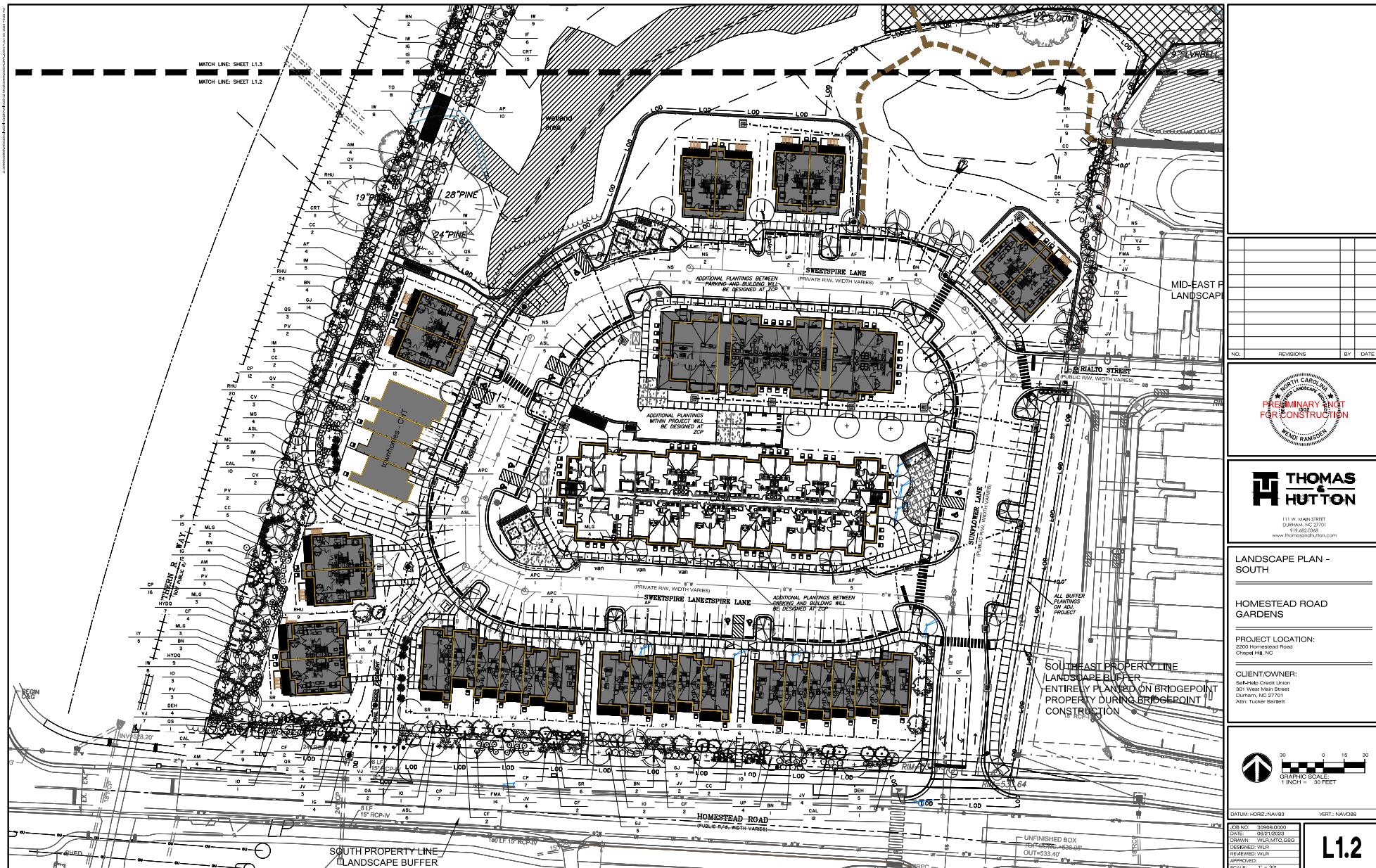


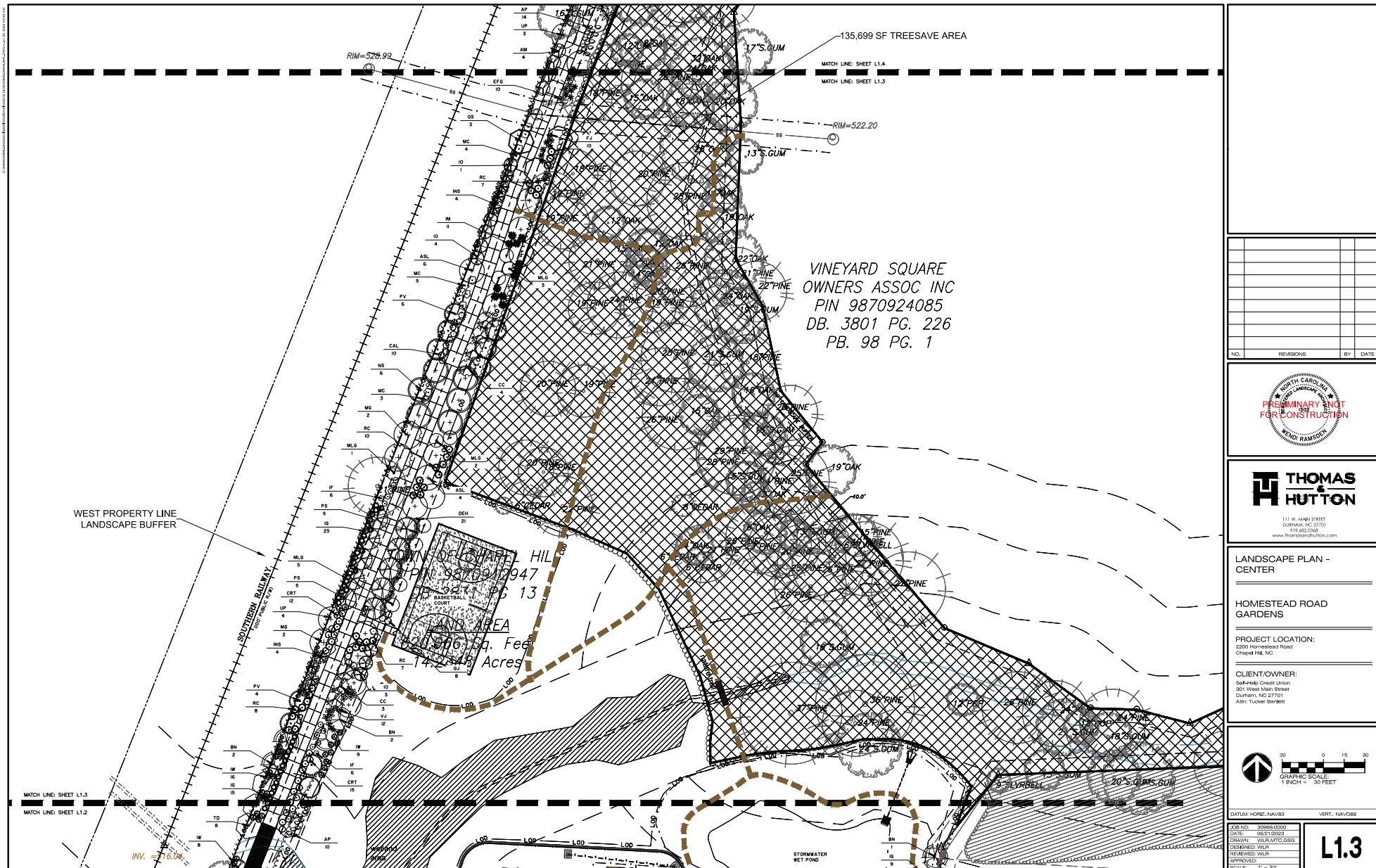


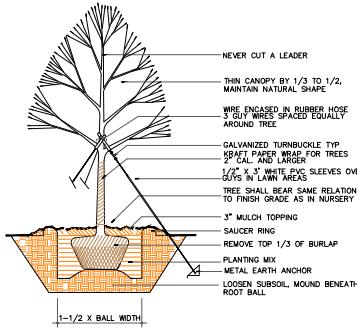




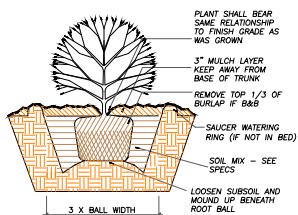








1 TREE PLANTING DETAIL



2 SHRUB PLANTING DETAILS

NO.	REVISIONS	BY	DATE
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A circular stamp with a decorative border. The text 'PRELIMINARY NOT' is at the top, 'FOR CONSTRUCTION' is at the bottom, and '10/02' is in the center. The bottom half of the stamp contains the name 'WENDI RAMSDEN'.



111 W. MAIN STREET
DURHAM, NC 27701
919.682.0968
www.thomasandthomas.com

111 W. MAIN STREET
DURHAM, NC 27701
919.682.0368
www.thomasandhutton.com

10 of 10

LANDSCAPE DETAILS

HOMESTEAD ROAD
GARDENS

PROJECT LOCATION:
2200 Homestead Road
Chapel Hill, NC

CLIENT/OWNER:
Self-Help Credit Union

Attn: Tucker Bartlett



DATUM: H0812: NAV83

W83 VERT.: NAVD88

ITEM NO. 2000000000

DATE: 06/21/2023

DRAWN: WLR/MPM, MIC
DESIGNED: WLR, MPM

REVIEWED: WLR,PBR
APPROVED:

SCALE: $1^{\circ} = 30'$

L1.6