

# CONDITIONAL ZONING APPLICATION

FOR

# JAY STREET APARTMENTS

JAY STREET  
CHAPEL HILL, NORTH CAROLINA 27516

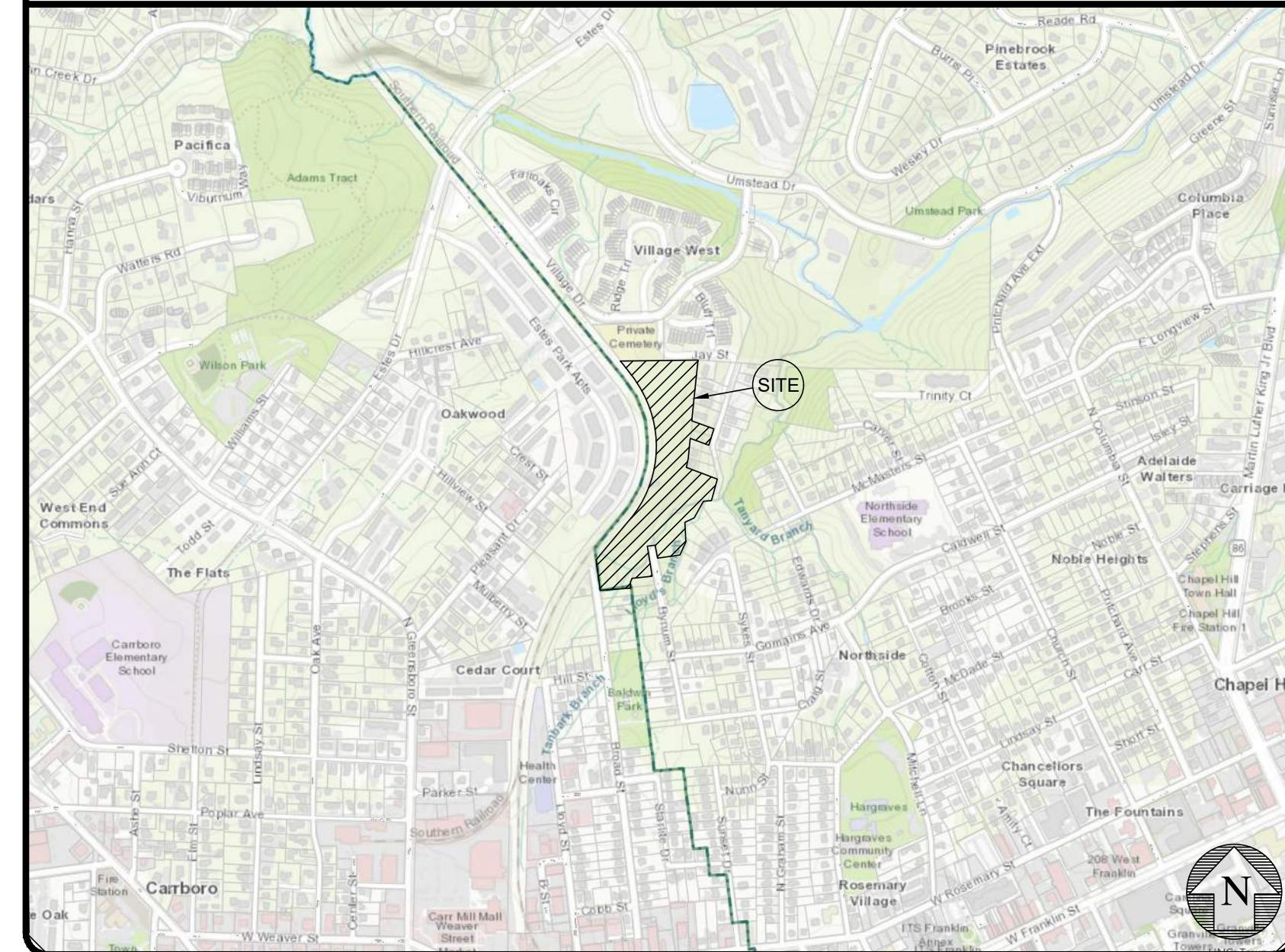
DATE: DECEMBER 1, 2021

REVISED: JANUARY 4, 2022 - CZA COMMENTS #1

REVISED: JANUARY 31, 2022 - CZA COMMENTS #2

PIN#s: 9778999279, 9788091257 and 9788091232

## VICINITY MAP NOT TO SCALE



### CURRENT OWNER

TOWN OF CHAPEL HILL  
403 MARTIN LUTHER KING JR. BLVD.  
CHAPEL HILL, NORTH CAROLINA 27514  
(252) 916-2691  
dustin@lafmillsgroup.com

### DEVELOPER/FUTURE OWNER

TAFT-MILLS GROUP  
631 DICKINSON AVENUE  
GREENVILLE, NC 27834  
403 MARTIN LUTHER KING JR. BLVD.  
(252) 916-2691  
dustin@lafmillsgroup.com

### SURVEY CONTACT

SUMMIT DESIGN & ENGINEERING SERVICES  
THOMAS TELLUP, PLS  
320 EXECUTIVE COURT  
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### ENGINEER CONTACT

SUMMIT DESIGN & ENGINEERING SERVICES  
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320 EXECUTIVE COURT  
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### SITE INFORMATION

CURRENT OWNERS:	TOWN OF CHAPEL HILL
PIN:	9778999279, 9788091257 and 9788091232
NET LAND AREA:	339.670 SF (7.78 ACRES)
GROSS LAND AREA:	373.637 SF (8.57 ACRES)
REFERENCE:	DBPG: 3881/129
PLANNING JURISDICTION:	TOWN OF CHAPEL HILL
EXISTING ZONING:	R-3
PROPOSED ZONING:	R-SS-C
EXISTING USE:	VACANT
PROPOSED USE:	RESIDENTIAL - APARTMENTS
TOTAL NUMBER OF UNITS:	(12) 3 BEDROOM UNITS, (27) 2 BEDROOM UNITS (9) 1 BEDROOM UNITS
TOTAL:	48 BEDROOM UNITS
DENSITY:	4.53 UNITS/ACRE
BUILDING SETBACKS:	STREET 10' SIDE 0' REAR 0' MAX BUILDING HEIGHT: 39' Setback, 60' Core
PARKING:	REQUIRED MIN: 12 - 3 BR UNITS = 12 X 1.75 SP / BR UNIT = 21 SPACES 27 - 2 BR UNITS = 27 X 1.75 SP / 2BR UNIT = 48 SPACES 9 - 1 BR UNITS = 9 X 1.00 SP / 1 BR UNIT = 9 SPACES PUBLIC USE FACILITY = 2,032 SF @ 1,150 SF = 6 SPACES TOTAL REQUIRED SPACES (INCL. 10 ACCESSIBLE (5 VAN)) = 74 SPACES
REQUIRED MAX:	12 - 3 BR UNITS = 12 X 2.25 SP / 3 BR UNIT = 27SPACES 27 - 2 BR UNITS = 27 X 1.75 SP / 2BR UNIT = 48 SPACES 9 - 1 BR UNITS = 9 X 1.25 SP / 1 BR UNIT = 12 SPACES PUBLIC USE FACILITY = 6 SPACES TOTAL REQUIRED SPACES (INCL. 10 ACCESSIBLE (5 VAN)) = 93 SPACES
PROVIDED:	90 REGULAR SPACES (INCL. 7 FOR GUEST PARKING) 10 ACCESSIBLE (5 VAN SPACES)
TOTAL:	100 SPACES
RECD BICYCLE:	48 DWELLING UNITS @ 1 PER 4 UNITS = 12 BICYCLE
PARKING:	PUBLIC USE FACILITY = 8 BICYCLES
PROVIDED BICYCLE:	TOTAL = 20 BICYCLE 27 SPACES
RIVER BASIN:	CAPE FEAR
WATERSHED:	BOLIN CREEK UNPROTECTED WATERSHED
SOILS:	Ir, IUB, Enc & WmE
IMPERVIOUS AREAS:	
EXISTING:	-2,197 SF (0.588%) (TO BE DEMOLISHED)
PROPOSED:	BUILDING: 23,566 SF STEWALK/CONCRETE: 9,000 SF ASPHALT/CURB & GUTTER: 7,5,560 SF TOTAL: 79,633 SF (1.83AC) 21.31 % IMPERVIOUS
TOTAL DISTURBED AREA ON SITE:	152,189 SF (3.49 AC)
DISTURBED AREA OF SLOPES >25%:	11,406 SF
DISTURBED AREA WITHIN RCD:	3,260 SF (NATURE PATH)
DISTURBED AREA WITHIN JORDAN BUFFER:	3,914 SF (NATURE PATH)
RECREATION SPACE:	
REQUIRED:	(GLA X 0.05): 373.637 X 0.05 = 18,681 SF
PROPOSED:	CLUBHOUSE 2,032 PLAYGROUND 960 PICNIC SHELTER 264 LAWN AREAS 3,000 TRAIL CONNECTOR 2,400 TOTAL: 11,567 SF

REMAINING BALANCE OF 7,114 SF TO BE MET BY MEANS OF A PAYMENT-IN-LIEU. (AMOUNT TO BE DETERMINED BY TOWN COUNCIL)

### PUBLIC SERVICE CONTACTS :

WATER/SEWER:	OWASA NICK PARKER 400 JONES FERRY ROAD CARRBORO, NORTH CAROLINA 27510 N.PARKER@OWASA.ORG (919) 537-4201
FIRE:	TOWN OF CHAPEL HILL MATT SULLIVAN, CHIEF 403 MARTIN LUTHER KING Jr. BLVD CHAPEL HILL, NC 27514 PHONE: (919) 968-2514 msullivan@townofchapelhill.org
ELECTRIC:	DUKE ENERGY SHANE SMITH (919) 875-3365 SHANE.SMITH2@DUKE-ENERGY.COM
TELEPHONE:	AT&T ALVA L. NICHOL, JR. (919) 785-7759 / (919) 601-1205 AN569@ATT.COM
GAS:	PSNC ENERGY BRIAN SMITH (919) 598-7454 BRIAN.SMITH@PSNCANA.COM
TV CABLE:	SPECTRUM CABLE GEORGE STOTLER (919) 427-5508 GEORGE.STOTLER@TWOCABLE.COM
SOLID WASTE:	ORANGE COUNTY SOLID WASTE MANAGEMENT JEFF SCOUTEN 1207 ELBANKS ROAD CHAPEL HILL, NC 27516 (919) 968-2788
PLANNING:	TOWN OF CHAPEL HILL JUDY JOHNSON ASST. PLANNING DIRECTOR (919) 969-5072 johnson@townofchapelhill.org

### SITE PLANS FOR JAY STREET APARTMENTS

Project No.: 21-0207  
Drawing Name: 21-0207\_CS.dwg  
Sheet No.: C-1  
Cover Sheet



CONTRACTOR SHALL NOTIFY 811 (1-800-424-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO COMMENCING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



Project No.: 21-0207  
Drawing Name: 21-0207\_CS.dwg  
Sheet No.: C-1

DATE	1/4/2022
BY	DMC
REVISIONS	1
COMMENTS #1	1
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## GENERAL NOTES:

1. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF ANY EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS NOT GUARANTEED.
2. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES AND NC811 PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED CROSSINGS WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. CONSTRUCTION/DEMOLITION; ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
4. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR FINAL ACCEPTANCE, APPLICANT SHALL REPLACE ANY TREES SHOWN AS PRESERVED-PROTECTED ON THE LANDSCAPE PROTECTION PLAN THAT HAVE DIED OR ARE IN POOR HEALTH AS A RESULT OF LAND DISTURBING ACTIVITIES.
5. ALL DIMENSIONS SHALL BE TO FACE OF CURB UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL MAINTAIN ANY ACCESSES TO ADJACENT RESIDENCES, BUSINESSES, AND PROPERTIES AT ALL TIMES AND NOTIFY THEM OF ANY DISRUPTIONS OF SERVICE OR ACCESS WITH A 24-HOUR NOTICE.
7. CONSTRUCTION ON THIS PROJECT SHALL BE IN ACCORDANCE WITH ALL APPLICABLE AND THE MOST CURRENT TOWN, COUNTY, STATE, DOT AND UTILITY PROVIDER STANDARDS, SPECIFICATIONS, AND BUILDING CODES.
8. ANY SUBSTITUTIONS, CHANGES, OR MODIFICATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER, PLANNING DEPARTMENT STAFF, AND DEVELOPER PRIOR TO INSTALLATION/CONSTRUCTION OF CORRESPONDING ITEMS. THE CONTRACTOR SHALL WAIVE ANY ADDITIONAL COSTS CLAIMS FOR SUBSTITUTING OR MODIFYING FROM WHAT HAS BEEN APPROVED.

## DEMOLITION NOTES

1. ALL DEMOLITION, TRANSPORT, AND DISPOSAL OF WASTE MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN, COUNTY, STATE AND FEDERAL REGULATIONS.
2. REGULATED MATERIALS SUCH AS ASBESTOS, LEAD, ETC. MAY EXIST ON SITE AND SHALL BE IDENTIFIED AND A PLAN FOR DEMOLITION AND DISPOSAL SHALL BE PRESENTED TO, AND APPROVED BY, THE TOWN/COUNTY AND OWNERS PRIOR TO COMMENCING DEMOLITION ON CORRESPONDING STRUCTURES.
3. THE LOCATIONS OF ALL EXISTING FEATURES SHOWN ON THIS PLAN SET WERE PROVIDED AS PART OF THE SURVEY REFERENCED WITHIN THIS PLAN SET. OTHER UNIDENTIFIED UTILITIES OR SITE FEATURES MAY EXIST AND SPECIAL CARE SHALL BE EXERCISED DURING ANY SUBGRADE WORK OR DEMOLITION TO PREVENT UNINTENDED LOSS OF SERVICE TO SURROUNDING PROPERTIES.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE DOT RIGHTS-OF-WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHTS-OF-WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO DOT STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, CURB & GUTTER, PAVEMENT, SIGNS AND ROADSIDE SWALES.
5. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN, IF REQUIRED BY ENCROACHMENT PERMIT TO DOT FOR APPROVAL, PRIOR TO ANY WORK WITHIN THE DOT RIGHTS-OF-WAY.
6. ALL UTILITIES SHOWN TO BE REMOVED, DISPOSED OF, AND/OR ABANDONED SHALL BE DONE PER THE CORRESPONDING SERVICE PROVIDERS GUIDELINES.



**Know what's below.  
Call before you dig.**

## GENERAL CONSTRUCTION AND GRADING NOTES:

ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND OSHA STANDARDS ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.

THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING NOT BUT NOT LIMITED TO: EROSION AND SEDIMENTATION CONTROL PLAN AND STORMWATER MANAGEMENT PLAN.

THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN COMPARING THE PLANS TO ACTUAL FIELD CONDITIONS.

DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE AND WITHOUT COMPENSATION.

UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.

ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPLICANT IN WRITING.

TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION IN ACCORDANCE WITH CURRENT MUTCD STANDARDS.

CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING AND OTHER APPROPRIATE SAFETY ITEMS/MEASURES NECESSARY TO PROTECT THE PUBLIC FROM THE WORK AREA CONSTRUCTION ACTIVITIES.

HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.

1. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC. WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
2. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
3. BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE GOVERNING MUNICIPALITY INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, A) REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR B) REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
5. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
6. SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
7. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
8. ALL PAVEMENT MARKINGS, REGULATORY SIGNS, AND STREET NAME SIGNS SHALL CONFORM TO CURRENT MUTCD STANDARDS.
9. ALL DAMAGE TO PUBLIC OR PRIVATE MAINTAINED STREETS DUE TO PROJECT CONSTRUCTION WILL BE REPAIRED AT NO COST TO THE OWNER PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
10. A PRE-CONSTRUCTION MEETING WITH THE GOVERNING MUNICIPALITY, ENGINEER, OWNER OR OWNER'S REPRESENTATIVE, CONTRACTOR, AND SUB-CONTRACTORS IS REQUIRED PRIOR TO START OF PROJECT.
11. PRIOR TO ANY WORK IN THE STREET OR RIGHT-OF-WAYS AND PRIOR TO ANY PUBLIC ROAD LANE CLOSURE, THE CONTRACTOR IS REQUIRED TO CONTACT THE GOVERNING MUNICIPALITY (3) DAYS IN ADVANCE.
12. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ANY SPILL CURB REQUIRED TO PROVIDE POSITIVE DRAINAGE TO STORM STRUCTURES AND PREVENT ANY LOW SPOTS OR "BIRD BATHS" WITHIN THE CURB & GUTTER OR PAVED SECTIONS.
13. NO VISUAL OBSTRUCTIONS SHALL BE WITHIN ANY SIGHT DISTANCE TRIANGLES BETWEEN 2 AND 8 FEET IN HEIGHT ABOVE FINISHED GRADE.
14. ANY VERTICAL DROPS MORE THAN 30" FROM A RETAINING WALL WILL REQUIRE A 42" HIGH SAFETY FENCE ALONG THE TOP OF WALL.
15. THE CONTRACTOR SHALL NOTE THAT EVERY OFFSET, FITTING, TIE-IN POINT, ETC, MAY NOT BE SHOWN ON THE PLANS. CONTRACTOR SHALL USE STANDARD CONSTRUCTION PROCEDURES TO FOLLOW THE PLANS AS CLOSELY AS POSSIBLE AND NOTIFY THE ENGINEER IF DISCREPANCIES ARE FOUND.
16. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS.
17. THE EARTHWORK ON THIS PLAN DOES NOT NECESSARILY BALANCE; OFFSITE BORROW OR WASTE MAY BE REQUIRED.
18. ALL CONCRETE PIPE SHALL BE REINFORCED CLASS III, UNLESS NOTED OTHERWISE.
19. ALL PIPE TO BE INSTALLED ON-SITE AND IN THE RIGHTS OF WAY SHALL MEET OR EXCEED THE DOT ASTM AND AASHTO SPECIFICATION REQUIREMENTS FOR SUCH PIPE MATERIAL. CONTRACTOR SHALL VERIFY APPROVAL WITH DOT FOR ALL PIPE MATERIALS TO BE USED IN THE RIGHT OF WAY.
20. ROOF DRAIN CONNECTIONS AND INLINE CATCH BASINS IN NON-TRAFFIC BEARING LOCATIONS MAY BE HDPE SYSTEMS SUCH AS "NYLOPLAST" BY ADS OR APPROVED EQUAL (SEE DETAILS FOR USE AS STORM DRAINAGE SYSTEM).
21. ALL ON-SITE PIPE SHALL BE INSTALLED MEETING COVER, BACKFILL AND BEDDING REQUIREMENTS PER DOT OR THE MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MOST STRINGENT.
22. DOT PRE-CAST DRAINAGE STRUCTURES / MANHOLES CAN BE USED IN LIEU OF DOT STANDARD BRICK OR CONCRETE CATCH BASINS. ANY DEVIATION FROM THE SPECIFIED STRUCTURES SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION AND SHALL MAINTAIN COMPLIANCE WITH ALL CORRESPONDING DOT MATERIAL DRAWING & DETAILED SPECIFICATIONS. NO "KNOCK-OUT" OR WAFFLE BOXES SHALL BE USED WITHOUT PERMISSION FROM THE ENGINEER.
23. ADDITIONAL SPECIFICATIONS AND REQUIREMENTS FOR FOOTER AND BUILDING PAD DRAWINGS AND SHALL BE EXECUTED/IMPLEMENTED AS REQUIRED.
24. DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS. 2018 NCFC SECTION 3304.5

## GENERAL UTILITY NOTES:

EXISTING UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.

UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE CHARGED ADDITIONALLY FOR THIS COORDINATION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.

THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR EXACT LOCATION AND PROTECTION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.

THE CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS/PERMITS. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEES FOR CONSTRUCTION. SEE ATTACHED COVER SHEET FOR AVAILABLE UTILITY COMPANY LIST.

THE CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES OR NEW SERVICE AND IS RESPONSIBLE FOR THE CONSTRUCTION OF SUCH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS.

THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE TO EXCAVATING, PAVING, AND COMPAKTED SUB-GRADE.

IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.

PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.

THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR IF ANY WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.

THE CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH FOR WHICH PIPE CAN BE TALLED AND TRENCH BACKFILLED BY THE END OF EACH WORK DAY. ALL OSHA STANDARDS FOR TRENCH EXCAVATIONS SHALL BE OBSERVED BY ALL PARTIES INVOLVED IN UTILITY INSTALLATIONS.

BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.

COMPAKTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPAKTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM VEGETATION, ROOTS, STUMPS, OR OTHER FOREIGN MATERIALS, AND SHALL BE NON-PLASTIC IN NATURE, OR HAVE A TENDENCY TO SHIFT OR BE UNCHARACTERISTICALLY WHEN TAMPED. BACKFILL MATERIAL SHALL BE PLACED IN LOTS NOT TO EXCEED 6 INCHES IN COMPAKTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

WATER FLOW FROM IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE SANITARY SEWER OR ONTO ADJACENT PROPERTIES.

JOINTS ON THE STORM WATER CONVEYANCE SYSTEM SHALL BE WATERTIGHT.

CONSTRUCTION ASSOCIATED WITH WATER AND SANITARY SEWER SHALL BE IN ACCORDANCE WITH GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.

ELECTRICAL SERVICE LINES TO OR AROUND THE PROPOSED STRUCTURE SHALL BE UNDERGROUND.

THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS AND DISTURBANCES WITH EXISTING USERS AND LOCAL MUNICIPALITY SO THAT ANY SERVICE INTERRUPTIONS ARE MINIMAL.

THE CONTRACTOR SHALL KEEP A RECORD PLAN SET SHOWING UTILITY CONSTRUCTION, LOCATIONS, CLEARANCES, ETC, AND PROVIDE A COPY TO THE ENGINEER TO ASSIST WITH PREPARATION OF AS-BUILT DRAWINGS. CONTACT ENGINEER IF EXPLANATION OF WHAT ITEMS ARE REQUIRED IF UNSURE, PRIOR TO BEGINNING CONSTRUCTION.

EASEMENT CUTS FOR UTILITY INSTALLATIONS SHALL BE SAWCUT FOR STRAIGHT, CLEAN EDGES. PATCHES SHALL BE IN ACCORDANCE WITH GOVERNING MUNICIPALITY.

THE CONTRACTOR SHALL COORDINATE INSTALLATIONS OR CONDUITS ON SITE PRIOR TO PREPARING ROADWAY, DRIVE OR PARKING AREA SUBGRADES.

PIPE LINES SHALL NOT BE ALLOWED TO RISE WITHIN UNFILLED UTILITY TRENCHES AFTER THE PIPE HAS BEEN INSTALLED. BACKFILL IMMEDIATELY AFTER PIPE INSTALLATION.

WALLS IN STORM DRAINAGE STRUCTURES SHALL BE CUT FLUSH TO INSIDE WALLS. INVERTS SHALL BE POURED IN DRY CONDITIONS WITH STRUCTURES BEING PUMPED OUT OR TO INVERTS IF REQUIRED.

CASTINGS AND FERROUS MATERIAL PIPING ASSOCIATED WITH WATER, SEWER, AND STORM DRAINAGE SHALL BE DOMESTICALLY CAST.

THE CONTRACTOR SHALL PROVIDE SURVEY AS-BUILTS OF STORM DRAINAGE NETWORKS AND STORMWATER CONTROL MEASURE. STORM DRAINAGE AS-BUILTS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO BACKFILING. THE STORMWATER CONTROL MEASURE AS-BUILT(S) MUST BE COMPLETED UPON FINAL INSTRUCTION OF NEW CONVEYANCES AND SUBMITTED FOR THE ENGINEER TO REVIEW AND APPROVE. A SEALED AS-BUILT DRAWING MAY BE REQUIRED FOR STORMWATER CONTROL CERTIFICATION. CONTACT THE ENGINEER TO VERIFY.

THE CONTRACTOR SHALL PROVIDE EASEMENT SURVEYS FOR STORM DRAINAGE SYSTEMS AND STORMWATER CONTROL MEASURES. EASEMENTS SHALL BE PLATTED AND PRESENTED TO THE ENGINEER FOR REVIEW AND APPROVAL. SEE SITE PLAN, GRADING, AND STORM DRAINAGE PLAN SHEETS FOR EASEMENT LOCATIONS.

THE SANITARY SEWER AND WATER INSTALLATION SHALL BE BY ORANGE WATER AND SEWER AUTHORITY'S (OWASA) STANDARD DETAILS AND SPECIFICATIONS.

## WATER AND SEWER SEPARATION NOTES:

**DOTAL AND VERTICAL SEPARATION:**  
NTARY SEWERS SHALL BE LAID AT LEAST 10-FEET HORIZONTALLY FROM ANY TING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO E. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10-FOOT SEPARATION, PUBLIC WORKS SUPPLY MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF PORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION ON MAY ALLOW INSTALLATION OF THE SANITARY SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH LF LOCATED ON ONE SIDE OF THE SANITARY SEWER AND AT AN ELEVATION SO THE OM OF THE WATER MAIN IS AT LEAST 18-INCHES ABOVE THE TOP OF THE SEWER. IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS CRIBED ABOVE OR ANYTIME THE SANITARY SEWER IS OVER THE WATER MAIN, BOTH WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OF FERROUS PIPE PPLYING WITH THE PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150PSI TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.

4-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED. A 12-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND WATER MAIN.

IF A 12-INCH VERTICAL SEPARATION IS NOT MAINTAINED AT A CROSSING BETWEEN STORM SEWER AND WATER MAINS (OR PRESSURE SEWERS). THE WATER MAIN SHALL BE CONSTRUCTED OF FERROUS PIPE AND A CONCRETE COLLAR SHALL BE POURED AROUND WATER MAINS AND STORM SEWER TO IMMOBILIZE THE CROSSING.

**INGS:**  
NTARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM HORIZONTAL DISTANCE OF 18-INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND OUTSIDE OF THE SANITARY SEWER. THE CROSSING SHALL BE ARRANGED SO THAT SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM WATER MAIN JOINTS.

EN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED:

THE SANITARY SEWER SHALL BE DESIGNED AND CONSTRUCTED OF FERROUS PIPE AND SHALL BE PRESSURE TESTED AT 150-PSI TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING, OR

EITHER THE WATER MAIN OR THE SANITARY SEWER LINE MAY BE ENCASED IN A TERTIGHT CARRIER PIPE, WHICH EXTENDS 10-FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE PUBLIC WATER SUPPLY FOR USE IN WATER MAIN CONSTRUCTION.

## INSTRUCTIONS TO CONTRACTOR:

TRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE ELEMENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS REGULATIONS BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR CHANGES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL, PARKING SPACE(S), PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED FOLLOWING:

WORKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.

RB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.

NDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.

TH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 48-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), A RAMP REGULATIONS MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HANDRAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1/4" IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.

ORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 12 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS OR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY COD.)

EN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REMOVAL OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. PRIOR TO THE COMMENCEMENT OF WORK, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER IN WRITING OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.

E CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMPLIANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND PLACE NON-COMFORMING CONCRETE.

E SITE SHALL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (NSI 117.1 -2009 AND CHAPTER 11 OF THE NCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.

CESSIBILITY REQUIREMENTS: THAT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE THE MINIMUM REQUIRED ACCESSIBLE PARKING SPACES AND DESIGN ALL ACCESSIBLE PARKING SPACES, RAMPS, AND CROSSWALKS, AND ASSOCIATED INFRASTRUCTURE ACCORDING TO AMERICANS WITH DISABILITIES ACT STANDARDS, NORTH CAROLINA BUILDING CODE, AMERICAN NATIONAL STANDARDS INSTITUTE ANSI CODE, AND TOWN STANDARD.1. PARKING - NUMBER OF SPACES TO COMPLY WITH NCBC 2012 SECTION 1106.1, 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 2 PERCENT IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS, MUT-CD AND ICC A 117.1.2. CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2 PERCENT FOR INSPECTION BEFORE PLACEMENT OF CONCRETE. A SLOPE GREATER THAN 5 PERCENT REQUIRES CONSTRUCTION AS A RAMP.

ONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED

## CONSTRUCTION WASTE NOTES:

1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE GOVERNING MUNICIPALITIES' REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS.
2. PURSUANT TO THE GOVERNING MUNICIPALITIES' RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. PURSUANT TO THE GOVERNING MUNICIPALITIES' RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE, WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS, SHALL BE LICENSED BY THE GOVERNING MUNICIPALITIES.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
5. THE PRESENCE IF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

## INSPECTION NOTES:

1. ADDRESS NUMBERS MUST BE A MINIMUM OF 4 INCHES HIGH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. REFLECTIVE NUMBERS ARE PREFERRED. WHEN THE DISTANCE FROM THE STREET OR FIRE DEPARTMENT ACCESS LANE TO THE FRONT OR ADDRESS SIDE OF THE BUILDING EXCEEDS 25 FEET, LARGER NUMBERS ARE REQUIRED. 26 FEET TO 50 FEET SHALL HAVE 8 INCH NUMBERS, 51-75 FEET SHALL HAVE 12 INCH NUMBERS AND OVER 75 FEET SHALL HAVE 18 INCH NUMBERS. WHERE ACCESS IS BY PRIVATE MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
2. KEY BOXES SHALL BE REQUIRED ON ANY BUILDING THAT HAS A FIRE ALARM SYSTEM, A FIRE SPRINKLER SYSTEM, AN ELEVATOR, OR SPECIAL LOCKING ARRANGEMENTS. THE KEY BOX SHALL BE OF AN APPROVED TYPE AS REQUIRED FROM THE CHAPEL HILL FIRE DEPARTMENT. THE SIZE OF THE KEY BOX WILL BE DETERMINED BY THE NUMBER OF KEYS NECESSARY TO MITIGATE ANY EMERGENCY SITUATION BASED ON THE BUILDING AND ITS OCCUPANCY. AN APPROVED LOCK SHALL BE INSTALLED ON GATES OR SIMILAR BARRIERS WHEN REQUIRED BY THE FIRE CODE OFFICIAL. KEYS SHALL BE CHANGED OUT IMMEDIATELY IF THE LOCKS ARE CHANGED OR RE-KEYED.
3. A LEAD-FREE RPZ WITH BYPASS FOR THE BACKFLOW PROTECTION IS REQUIRED. ENSURE AT LEAST 18 INCHES OF WORKING CLEARANCE IS PROVIDED AROUND OR MORE IF MANUFACTURER'S INSTRUCTIONS REQUIRE MORE.
4. DEMOLITION OF THE EXISTING STRUCTURES WILL REQUIRE AN ASBESTOS TEST PRIOR TO DEMOLITION AND A SECOND ASBESTOS TEST OF THE SOIL AFTER THEY HAVE BEEN REMOVED.

**INSTRUCTIONS TO CONTRACTOR:**

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE ELEMENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS REGULATIONS BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR CHANGES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL, PARKING SPACE(S), PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED FOLLOWING:

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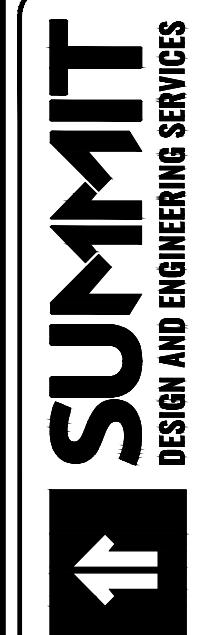
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ONLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED  
ACTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF  
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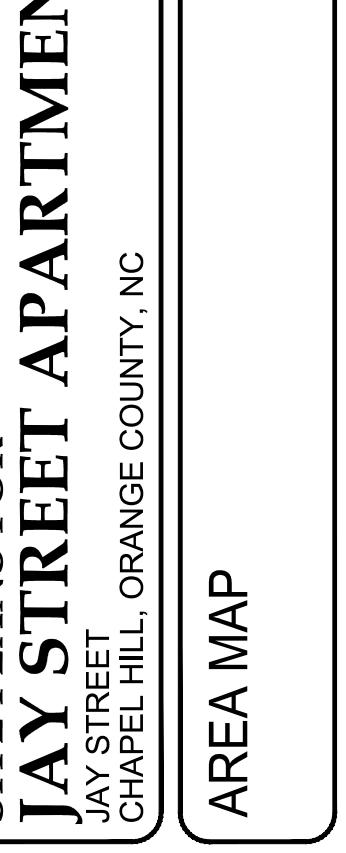
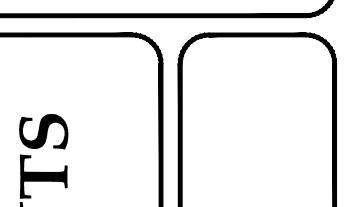
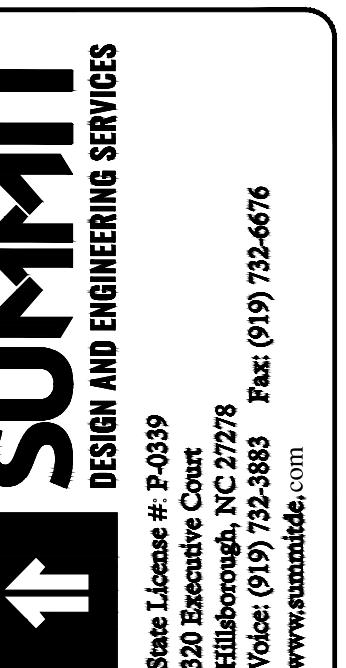
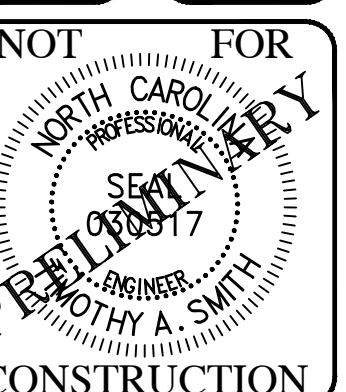
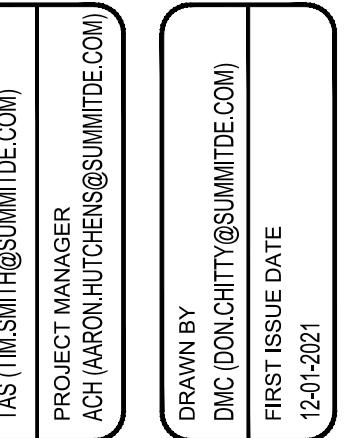
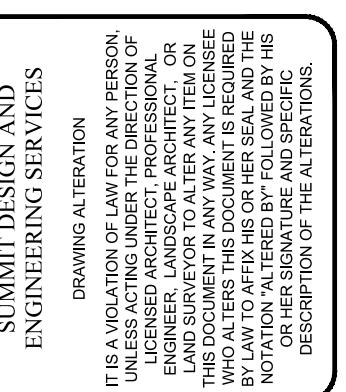
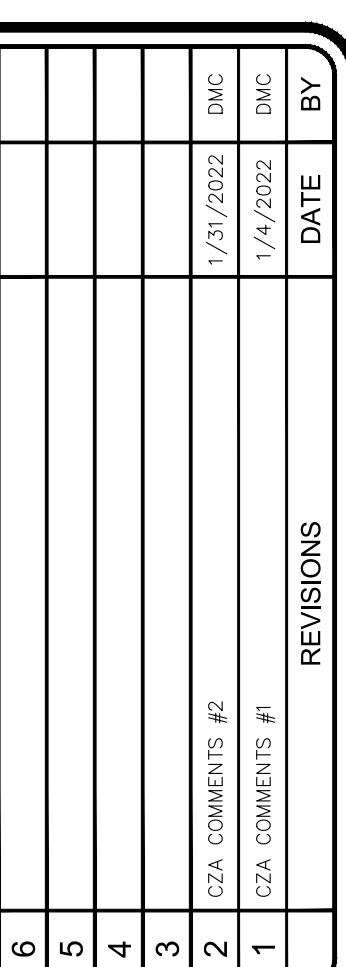
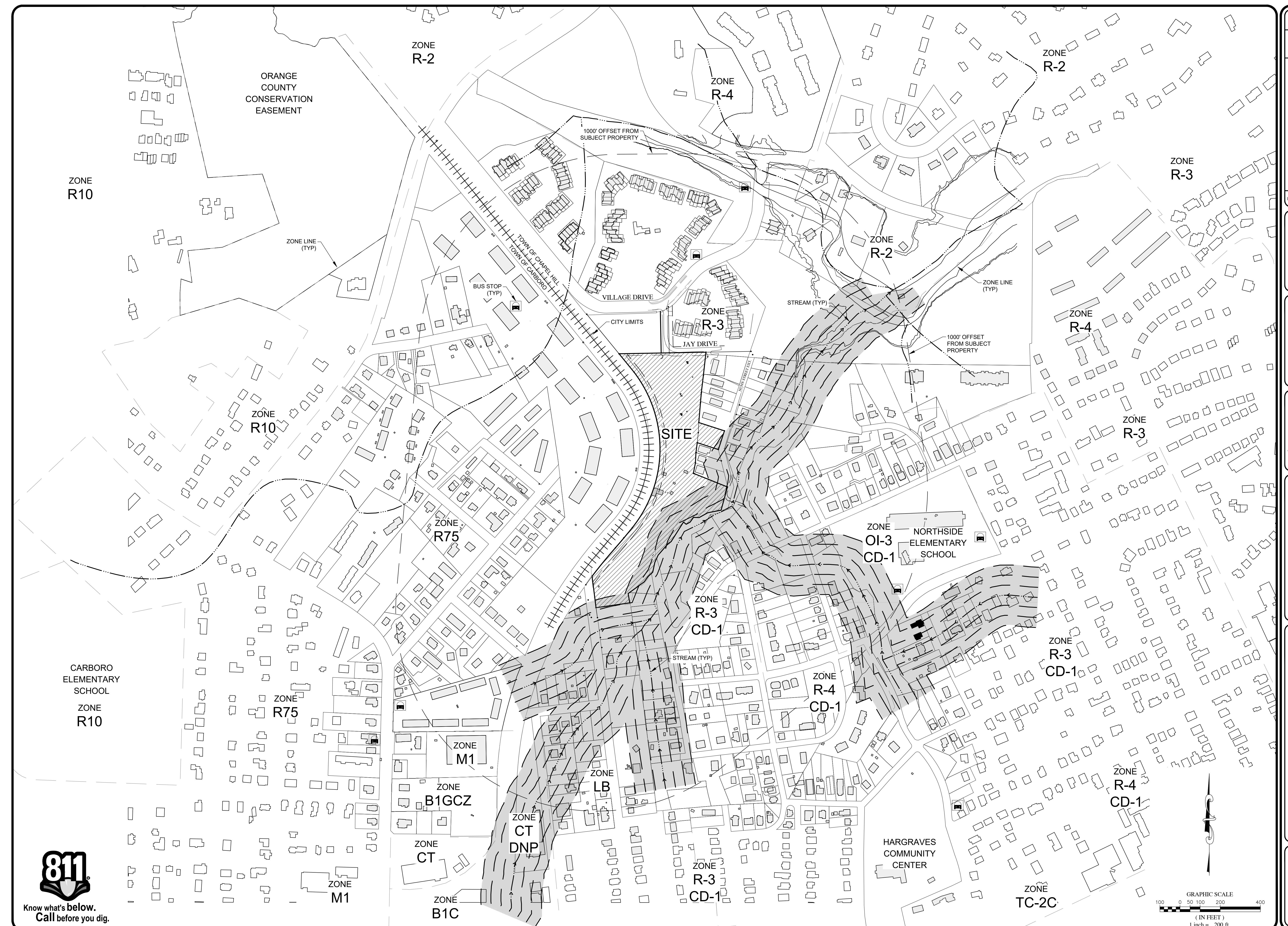


**SITE PLANS FOR  
JAY STREET APARTMENTS**

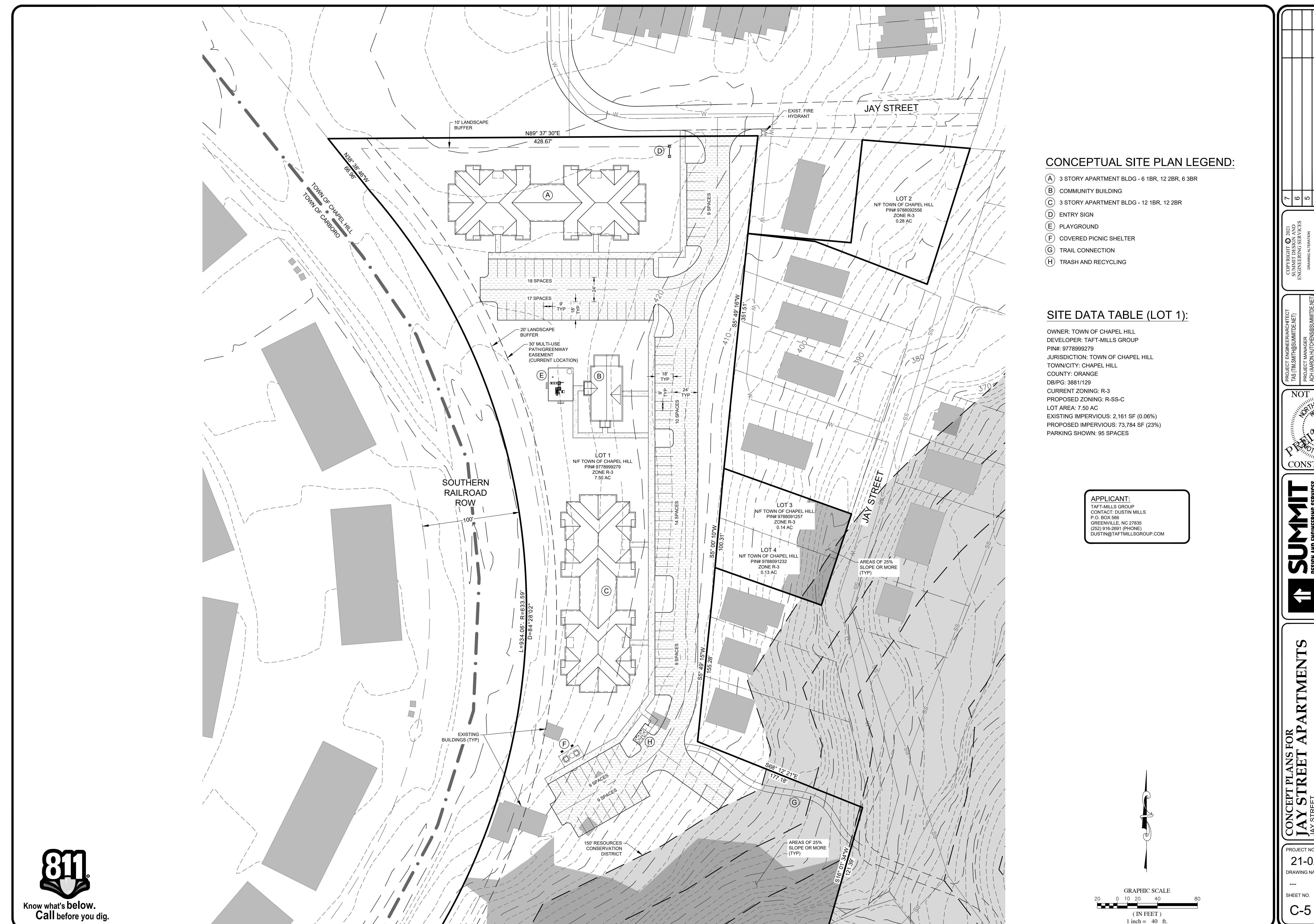
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**21-0207**  
DRAWING NAME:  
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SHEET NO.  
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C-2





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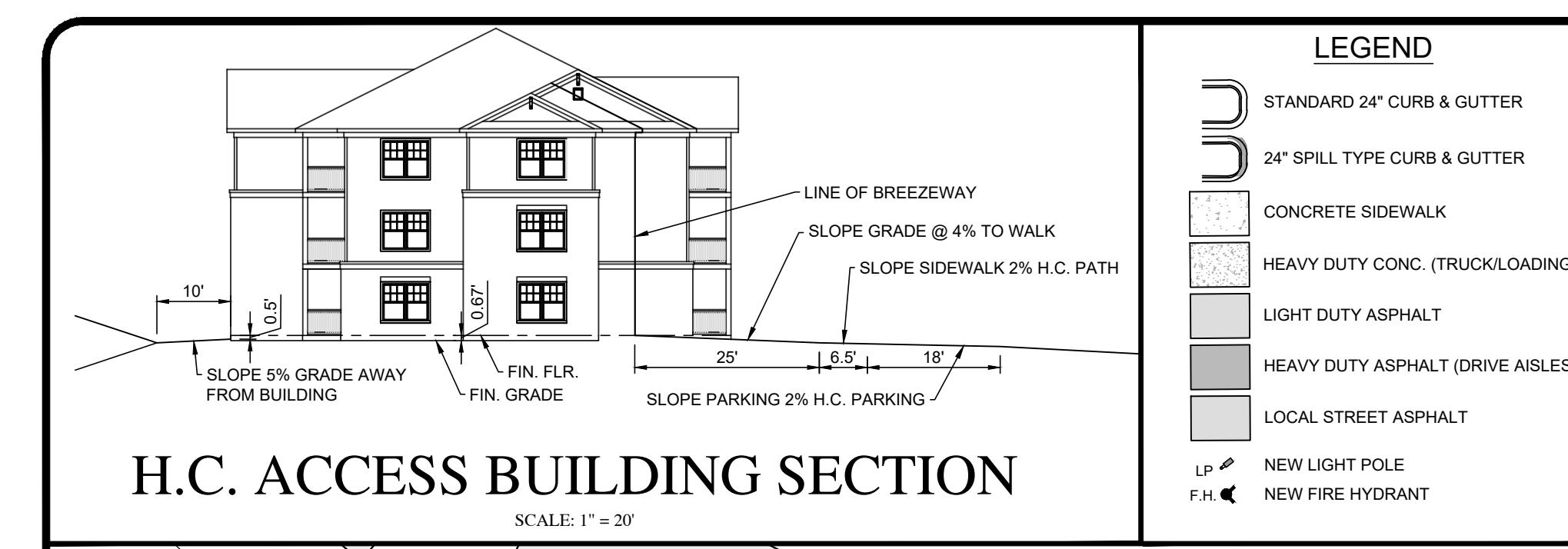
PROJECT ENGINEER/ARCHITECT  
 TAS (TAMMISUMMITDE.NET)  
 PROJECT MANAGER  
 ACH (ARONHUTCHINS@SUMMITDE.NET)  
 DRAWN BY  
 SLE (SANDY FALK@SUMMITDE.NET)  
 FIRST ISSUE DATE  
 11-19-2001

NOT FOR  
 PRELIMINARY  
 CONSTRUCTION  
 NORTH CAROLINA  
 SEAL  
 ENGINEER: [REDACTED]  
 DUSTIN MILLS

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**CONCEPT PLANS FOR  
 JAY STREET APARTMENTS**  
 JAY STREET  
 CHAPEL HILL, ORANGE COUNTY, NC  
**CONCEPT PLAN**

PROJECT NO.  
 21-0207  
 DRAWING NAME:  
 C-5  
 SHEET NO.



# H.C. ACCESS BUILDING SECTION

SCALE: 1" = 20

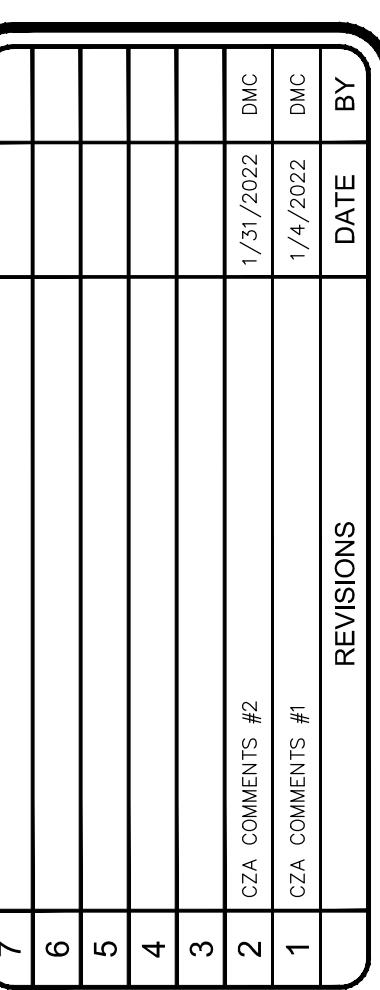
# SITE PLANS FOR MAY STREET APARTMENTS

CHAPEL HILL, ORA

PROJECT NO.  
**21-0207**  
DRAWING NAME:  
**21-0207\_S.dwg**  
SHEET NO.  
**C-6**



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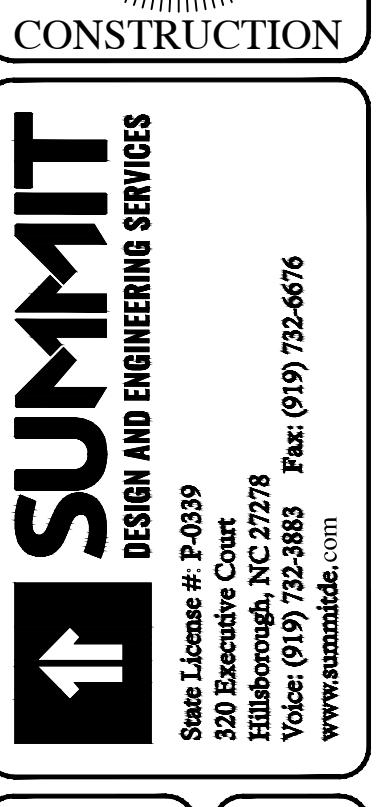
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PROJECT ENGINEER/ARCHITECT  
AS (T.M.SMITH@SUMMITDE.COM)

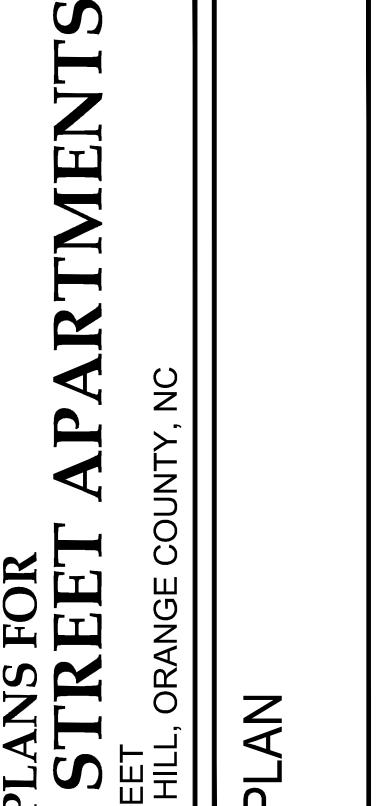
PROJECT MANAGER  
AACH (AARON.HUTCHENS@SUMMITDE.COM)

DRAWN BY  
DMDC (DON.CHITTY@SUMMITDE.COM)

1 CAROL  
PROFESSIONAL  
SEAN  
30517  
ENGINEER  
THY A. S.



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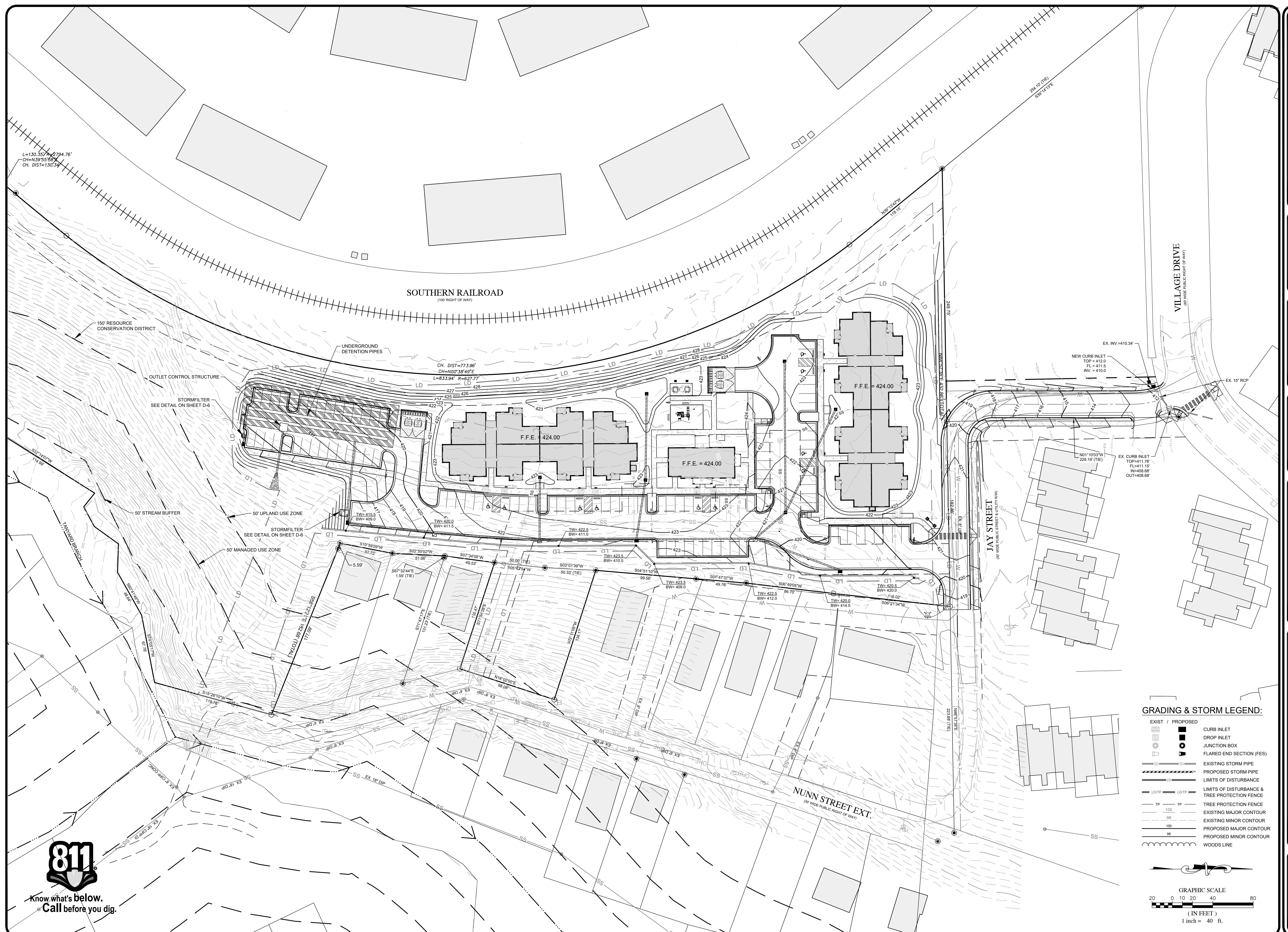


W. C. K. CHAPEL



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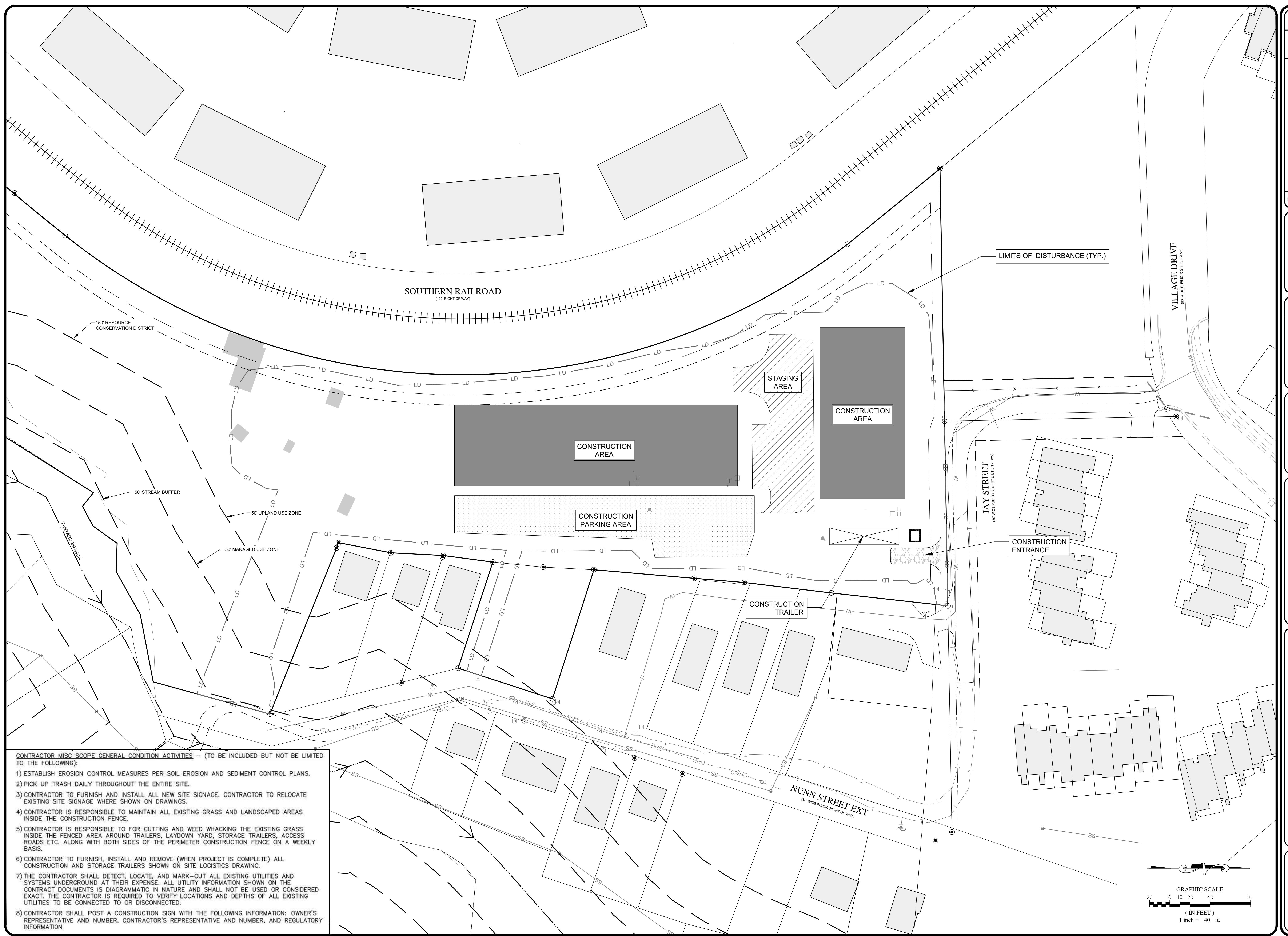
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CZA COMMENTS #1

110 of 110

#2	1/31/2022	DMC

#1	REVISIONS	DATE	BY
		1/4/2022	DMC



**SITE PLANS FOR  
JAY STREET APARTMENTS**  
JAY STREET  
CHARLE HILL, ORANGE COUNTY, NC

**CONSTRUCTION MANAGEMENT PLAN**

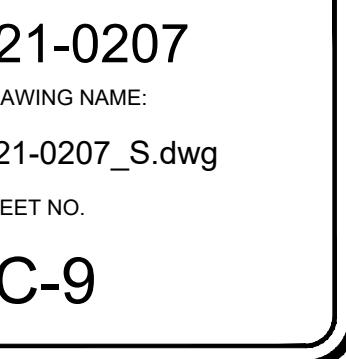
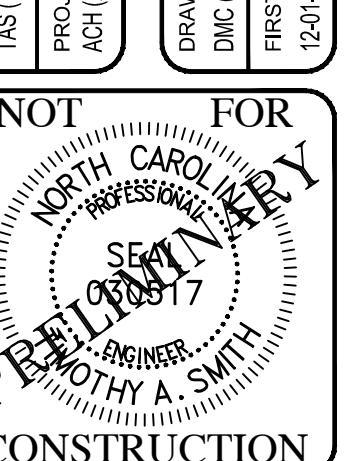
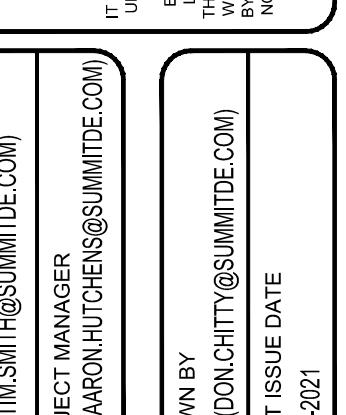
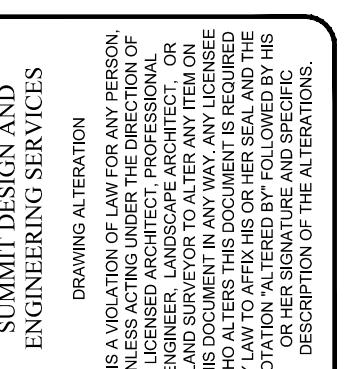
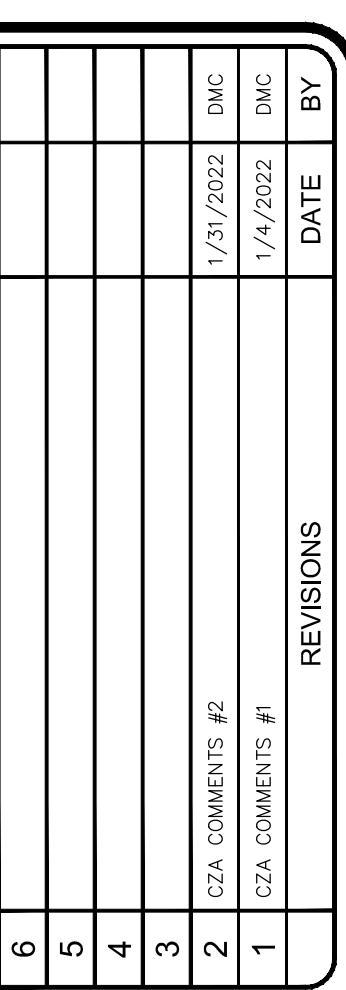
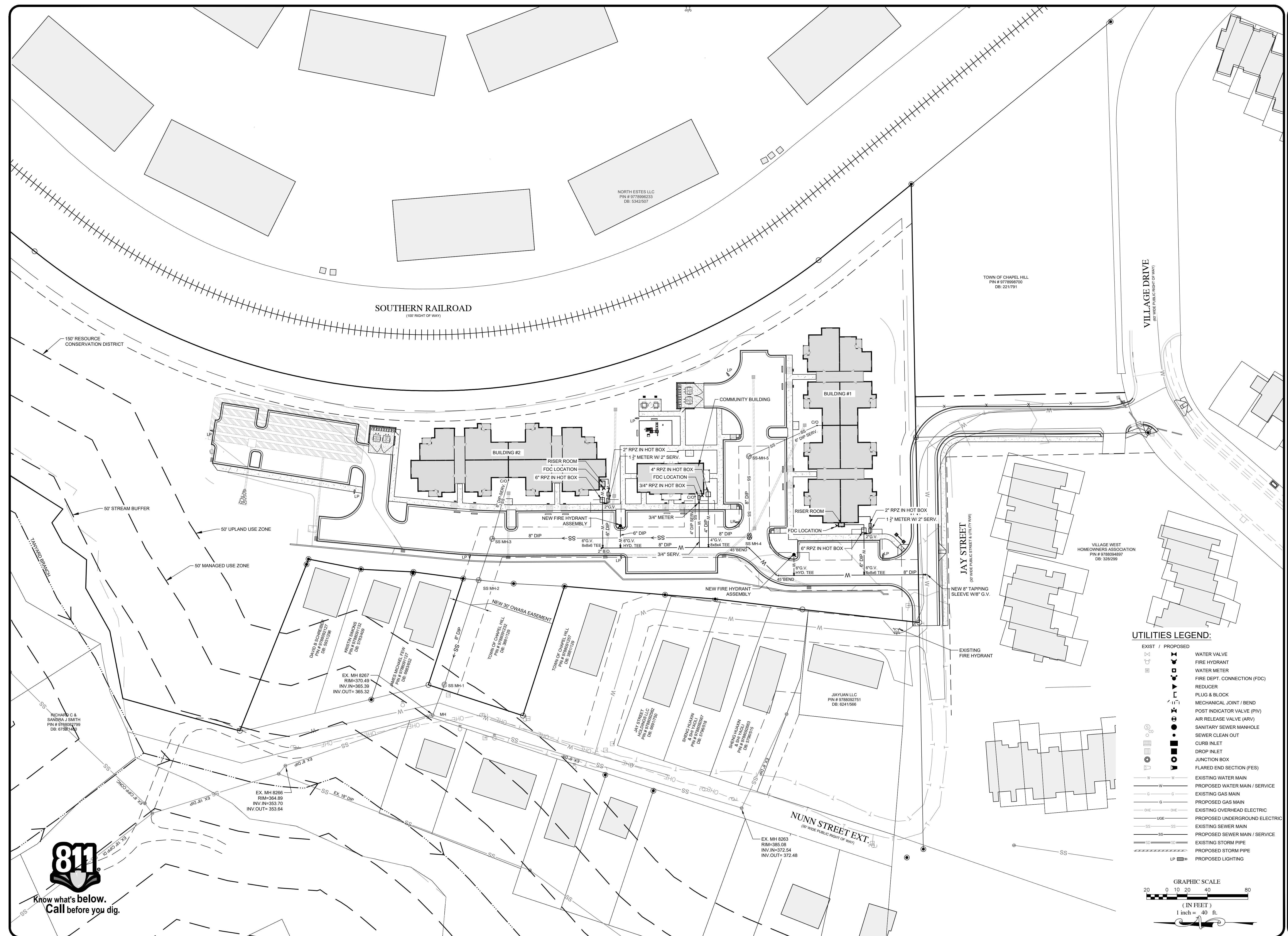
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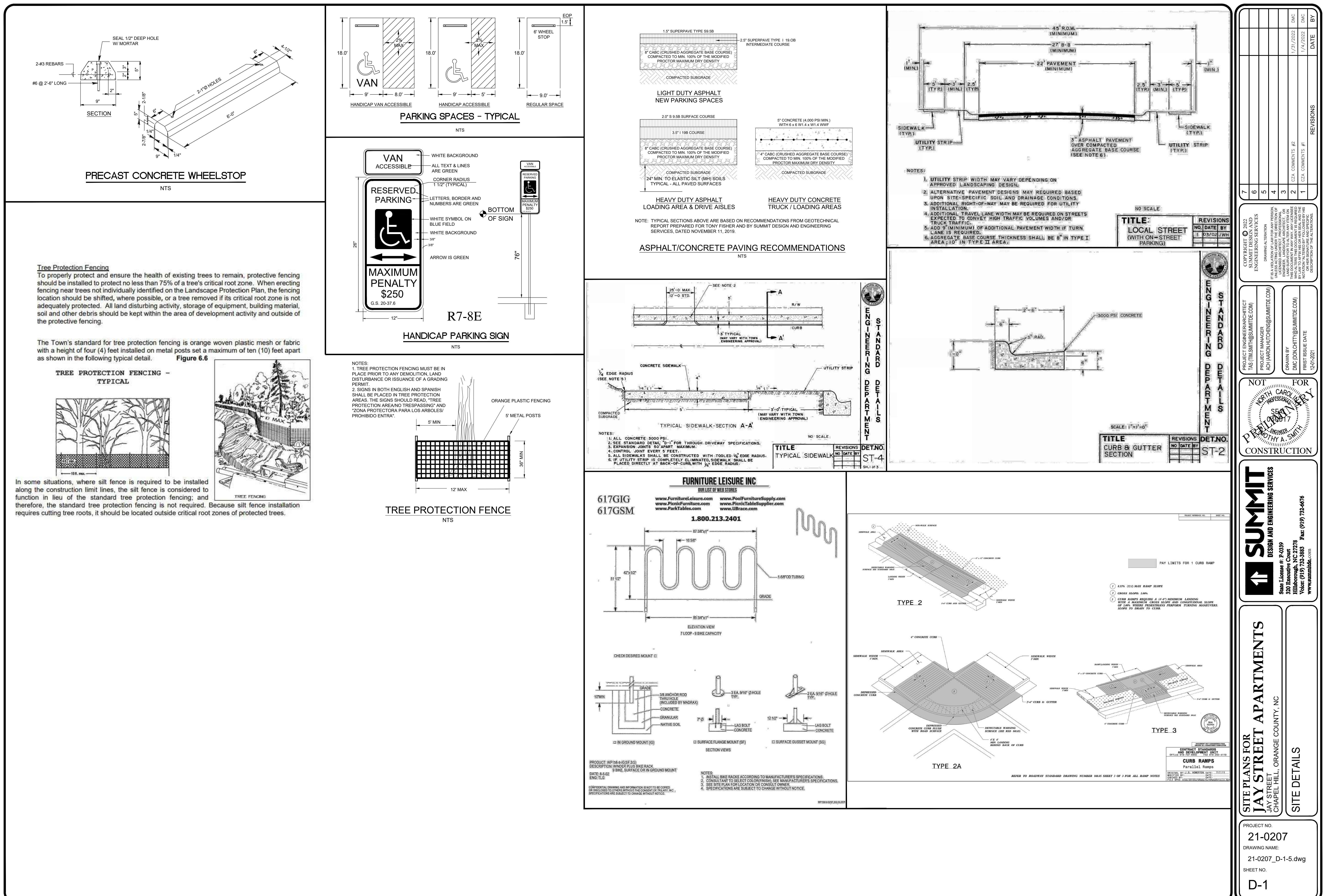
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DRAWN BY DMC (DONCHITY@SUMMITDE.COM)	5
FIRST ISSUE DATE 12/1/2021	4
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NORTH CAROLINA PROFESSIONAL ENGINEER DOTHY A. SMITH SEAL	
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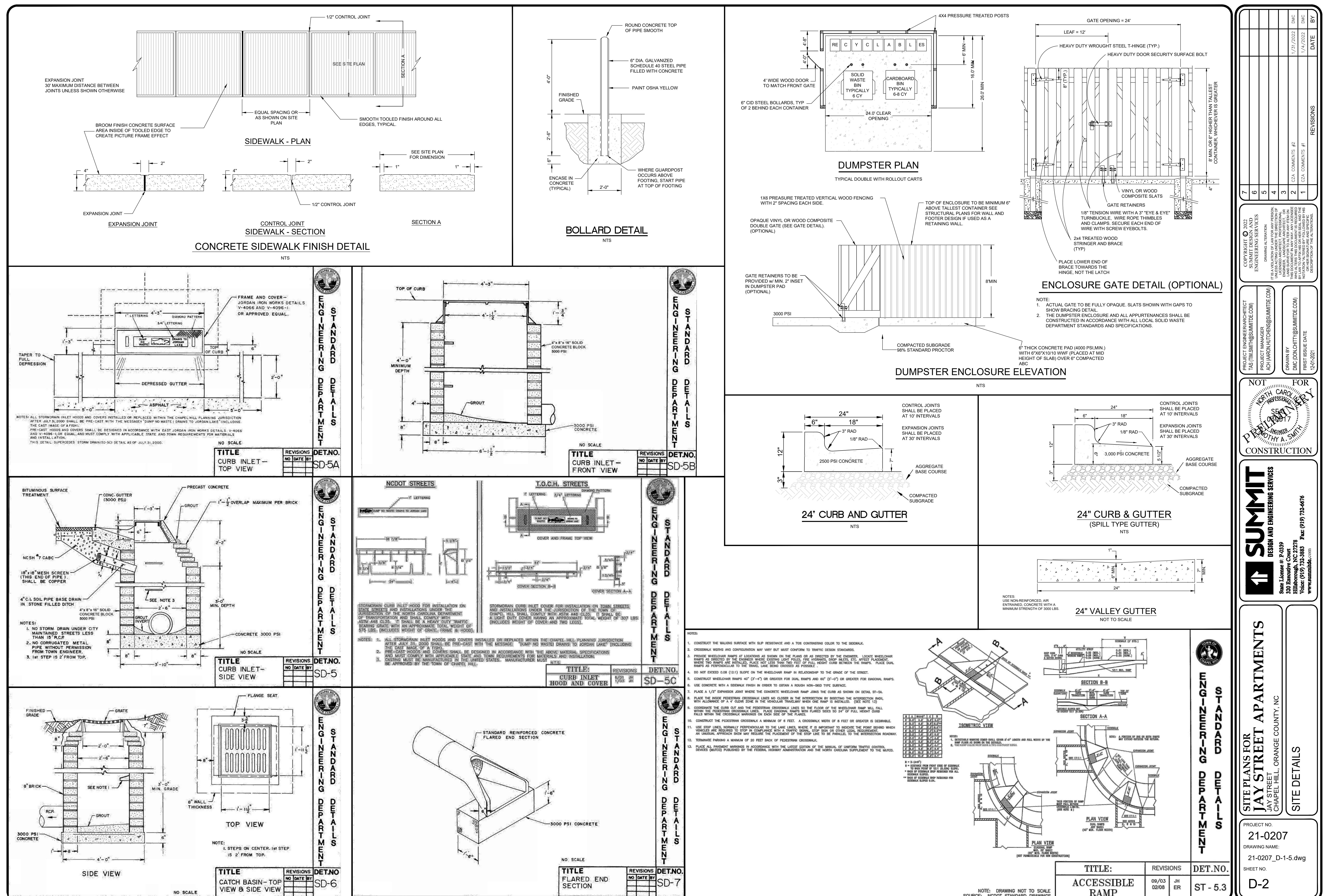


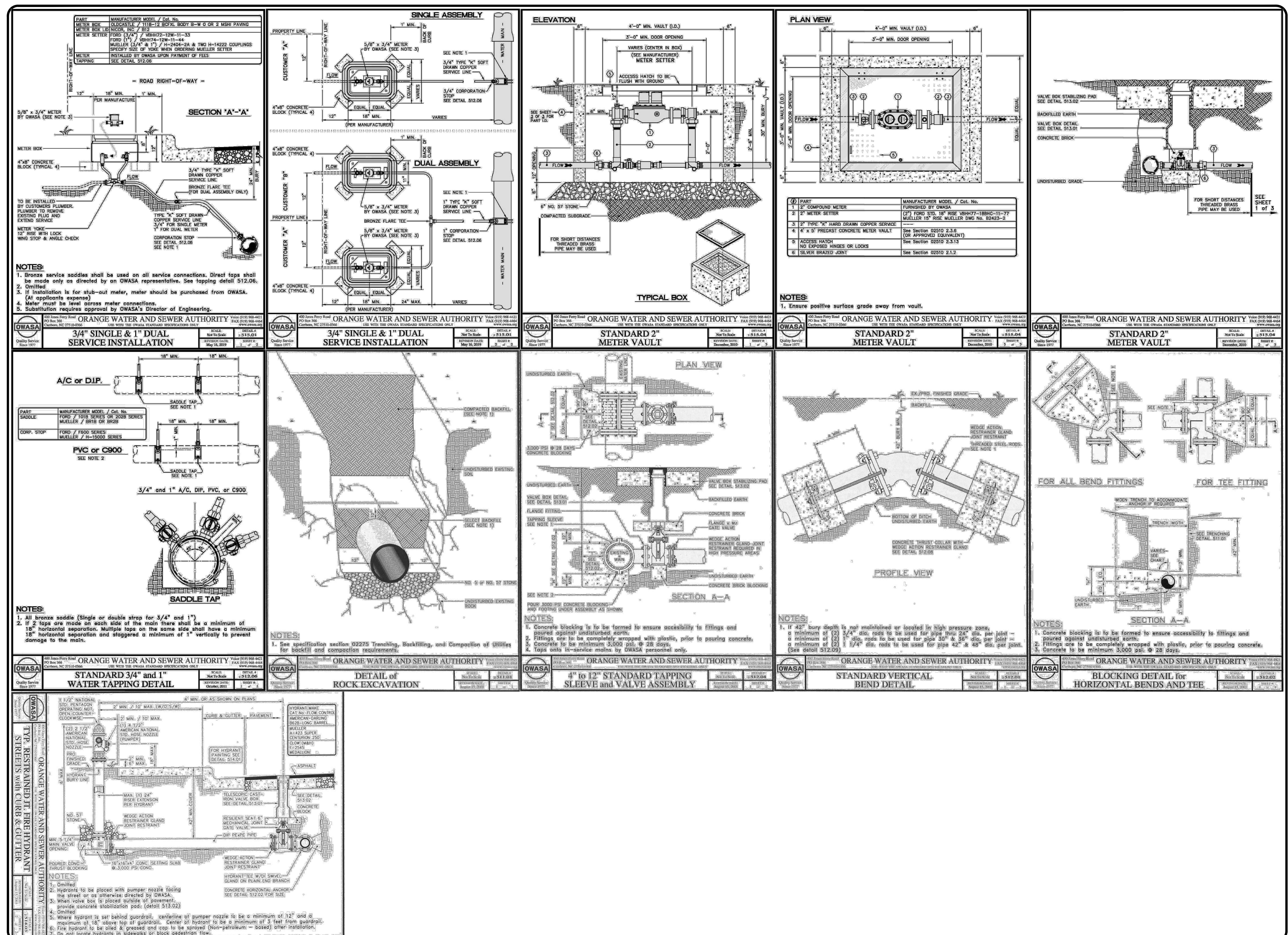
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3	1/31/2022	REVISIONS
2	1/31/2022	CZA COMMENTS #2
1	1/31/2022	CZA COMMENTS #1

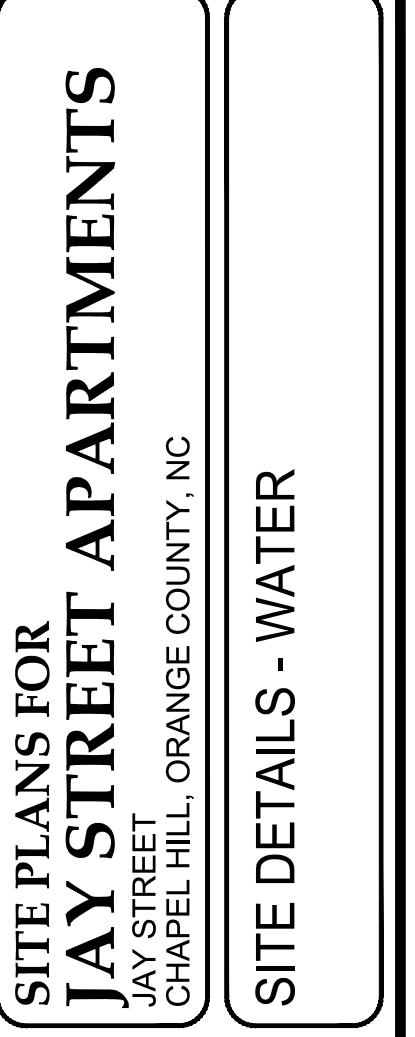
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