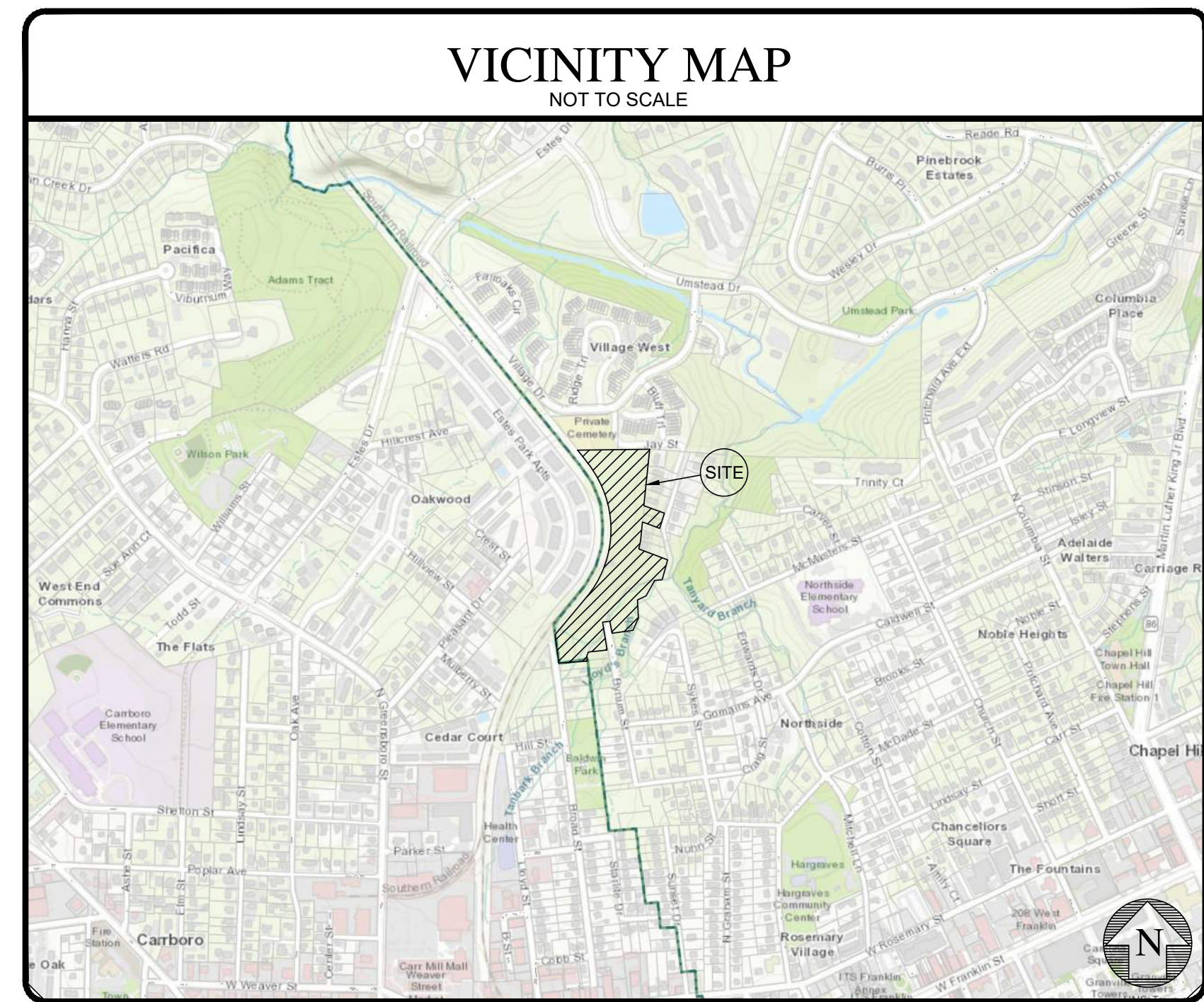


CONDITIONAL ZONING APPLICATION
FOR
JAY STREET APARTMENTS

JAY STREET
CHAPEL HILL, NORTH CAROLINA 27516

DATE: DECEMBER 1, 2021
REVISED: JANUARY 4, 2022 - CZA COMMENTS #1
REVISED: JANUARY 31, 2022 - CZA COMMENTS #2

PIN#'s: 9778999279, 9788091257 and 9788091232



CURRENT OWNER

TOWN OF CHAPEL HILL
405 MARTIN LUTHER KING JR. BLVD.
CHAPEL HILL, NORTH CAROLINA 27514

DEVELOPER/FUTURE OWNER

TAFT-MILLS GROUP
631 DICKINSON AVENUE
GREENVILLE, NC 27834
Mr. DUSTIN MILLS
(252) 916-2891
dustin@taftmillsgroup.com

SURVEY CONTACT

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ENGINEER CONTACT

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SITE INFORMATION

CURRENT OWNERS: TOWN OF CHAPEL HILL
PIN: 9778999279, 9788091257 and 9788091232
NET LAND AREA: 339,670 SF (7.798 ACRES)
GROSS LAND AREA: 373,637 SF (8.577 ACRES)
REFERENCE: DB/PG: 3881/129
PLANNING JURISDICTION: TOWN OF CHAPEL HILL
EXISTING ZONING: R-3
PROPOSED ZONING: R-SS-C
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL - APARTMENTS
TOTAL NUMBER OF UNITS: (12) 3 BEDROOM UNITS, (27) 2 BEDROOM UNITS, (9) 1 BEDROOM UNITS
TOTAL: 48 BEDROOM UNITS
DENSITY: 4.53 UNITS/ACRE
BUILDING SETBACKS: STREET 10', SIDE 0', REAR 0', MAX BUILDING HEIGHT: 39' Setback, 60' Core
PARKING: REQUIRED MIN: 12 - 3 BR UNITS = 12 X 1.75 SP / 3 BR UNIT = 21 SPACES
27 - 2 BR UNITS = 27 X 1.40 SP / 2BR UNIT = 38 SPACES
9 - 1 BR UNITS = 9 X 1.00 SP / 1 BR UNIT = 9 SPACES
PUBLIC USE FACILITY = 2,032 SF @ 1/350 SF = 6 SPACES
TOTAL REQUIRED SPACES (INCL. 10 ACCESSIBLE (5 VAN)) = 74 SPACES
REQUIRED MAX: 12 - 3 BR UNITS = 12 X 2.25 SP / 3 BR UNIT = 27SPACES
27 - 2 BR UNITS = 27 X 1.75 SP / 2BR UNIT = 48 SPACES
9 - 1 BR UNITS = 9 X 1.25 SP / 1 BR UNIT = 12 SPACES
PUBLIC USE FACILITY = 6 SPACES
TOTAL REQUIRED SPACES (INCL. 10 ACCESSIBLE (5 VAN)) = 93 SPACES
PROVIDED: 90 REGULAR SPACES (INCL. 7 FOR GUEST PARKING)
10 ACCESSIBLE (5 VAN SPACES)
TOTAL: 100 SPACES
REQ'D BICYCLE: 48 DWELLING UNITS @ 1 PER 4 UNITS = 12 BICYCLE
PARKING: PUBLIC USE FACILITY = 8 BICYCLES
TOTAL = 20 BICYCLE
PROVIDED BICYCLE: 27 SPACES
RIVER BASIN: CAPE FEAR
WATERSHED: BOLIN CREEK UNPROTECTED WATERSHED
SOILS: 1B, 1B, E1C & W1E
IMPERVIOUS AREAS: EXISTING: BUILDING: -2,197 SF (0.588%) (TO BE DEMOLISHED)
PROPOSED: BUILDING: 23,966 SF
SIDEWALK/CONCRETE: 9,505 SF
ASPHALT/ CURB & GUTTER: 46,562 SF
TOTAL: 79,633 SF (1.83AC) 21.31 % IMPERVIOUS
TOTAL DISTURBED AREA ON SITE: = 152,189 SF (3.49 AC.)
DISTURBED AREA OF SLOPES >25%: 11,406 SF
DISTURBED AREA WITHIN RCD: = 3,260 SF (NATURE PATH)
DISTURBED AREA WITHIN JORDAN BUFFER: = 3,914 SF (NATURE PATH)
RECREATION SPACE: REQUIRED: (GLA X .050), 373,637 X .050 = 18,681 SF
PROPOSED: CLUBHOUSE 2,032
PLAYGROUND 960
PICNIC SHELTER 264
LAWN AREAS 3,000
TRAIL CONNECTOR 2,400
TOTAL: 11,567 SF
REMAINING BALANCE OF 7,114 SF TO BE MET BY MEANS OF A PAYMENT-IN-LIEU. (AMOUNT TO BE DETERMINED BY TOWN COUNCIL)

PUBLIC SERVICE CONTACTS :

WATER/SEWER: OWASA
NICK PARKER
400 JONES FERRY ROAD
CARBORO, NORTH CAROLINA 27510
N.PARKER@OWASA.ORG
(919) 537-4201
FIRE: TOWN OF CHAPEL HILL
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403 MARTIN LUTHER KING JR. BLVD
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WASTE MANAGEMENT
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ASST. PLANNING DIRECTOR
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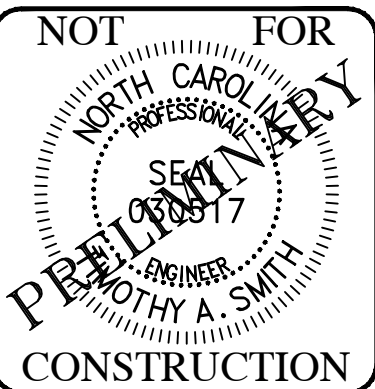


CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

7	6	5	4	3	2	1	CZA COMMENTS #1	REVISIONS	DATE	BY

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DESCRIPTION OF THE ALTERATIONS.

PROJECT ENGINEER/ARCHITECT
TAS (TIM.SMITH@SUMMITDE.COM)
PROJECT MANAGER
ACH (ARON.HUTCHENS@SUMMITDE.COM)
DRAWN BY
DMC (DONLCHITTY@SUMMITDE.COM)
FIRST ISSUE DATE
12-01-2021



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SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC
COVER SHEET

PROJECT NO.
21-0207
DRAWING NAME:
21-0207_CS.dwg
SHEET NO.
C-1

GENERAL NOTES:

1. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF ANY EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS NOT GUARANTEED.
2. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES AND NC811 PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED CROSSINGS WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. CONSTRUCTION/DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
4. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR FINAL ACCEPTANCE, APPLICANT SHALL REPLACE ANY TREES SHOWN AS PRESERVED-PROTECTED ON THE LANDSCAPE PROTECTION PLAN THAT HAVE DIED OR ARE IN POOR HEALTH AS A RESULT OF LAND DISTURBING ACTIVITIES.
5. ALL DIMENSIONS SHALL BE TO FACE OF CURB UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL MAINTAIN ANY ACCESS TO ADJACENT RESIDENCES, BUSINESSES, AND PROPERTIES AT ALL TIMES AND NOTIFY THEM OF ANY DISRUPTIONS OF SERVICE OR ACCESS WITH A 24-HOUR NOTICE.
7. CONSTRUCTION ON THIS PROJECT SHALL BE IN ACCORDANCE WITH ALL APPLICABLE AND THE MOST CURRENT TOWN, COUNTY, STATE, DOT AND UTILITY PROVIDER STANDARDS, SPECIFICATIONS, AND BUILDING CODES.
8. ANY SUBSTITUTIONS, CHANGES, OR MODIFICATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER, PLANNING DEPARTMENT STAFF, AND DEVELOPER PRIOR TO INSTALLATION/CONSTRUCTION OF CORRESPONDING ITEMS. THE CONTRACTOR SHALL WAIVE ANY ADDITIONAL COSTS CLAIMS FOR SUBSTITUTING OR MODIFYING FROM WHAT HAS BEEN APPROVED.

DEMOLITION NOTES

1. ALL DEMOLITION, TRANSPORT, AND DISPOSAL OF WASTE MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN, COUNTY, STATE AND FEDERAL REGULATIONS.
2. REGULATED MATERIALS SUCH AS ASBESTOS, LEAD, ETC. MAY EXIST ON SITE AND SHALL BE IDENTIFIED AND A PLAN FOR DEMOLITION AND DISPOSAL SHALL BE PRESENTED TO, AND APPROVED BY, THE TOWN/COUNTY AND OWNERS PRIOR TO COMMENCING DEMOLITION ON CORRESPONDING STRUCTURES.
3. THE LOCATIONS OF ALL EXISTING FEATURES SHOWN ON THIS PLAN SET WERE PROVIDED AS PART OF THE SURVEY REFERENCED WITHIN THIS PLAN SET. OTHER UNIDENTIFIED UTILITIES OR SITE FEATURES MAY EXIST AND SPECIAL CARE SHALL BE EXERCISED DURING ANY SUBGRADE WORK OR DEMOLITION TO PREVENT UNINTENDED LOSS OF SERVICE TO SURROUNDING PROPERTIES.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE DOT RIGHTS-OF-WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHTS-OF-WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO DOT STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, CURB & GUTTER, PAVEMENT, SIGNS AND ROADSIDE WALES.
5. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN, IF REQUIRED BY ENCROACHMENT PERMIT TO DOT FOR APPROVAL, PRIOR TO ANY WORK WITHIN THE DOT RIGHTS-OF-WAY.
6. ALL UTILITIES SHOWN TO BE REMOVED, DISPOSED OF, AND/OR ABANDONED SHALL BE DONE PER THE CORRESPONDING SERVICE PROVIDERS GUIDELINES.

GENERAL CONSTRUCTION AND GRADING NOTES:

1. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND OSHA STANDARDS ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
2. THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING NOT BUT NOT LIMITED TO: EROSION AND SEDIMENTATION CONTROL PLAN AND STORMWATER MANAGEMENT PLAN.
3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN COMPARING THE PLANS TO ACTUAL FIELD CONDITIONS.
4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE AND WITHOUT COMPENSATION.
5. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
6. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPLICANT IN WRITING.
7. TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION IN ACCORDANCE WITH CURRENT MUTCD STANDARDS.
8. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING AND TRAFFIC CONTROL SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM THE WORK AREA CONSTRUCTION ACTIVITIES.
9. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC. WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
11. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
12. BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE GOVERNING MUNICIPALITY INSPECTOR. ANY CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
13. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, A) REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR B) REGRADEING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
14. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
15. SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
16. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
17. ALL PAVEMENT MARKINGS, REGULATORY SIGNS, AND STREET NAME SIGNS SHALL CONFORM TO CURRENT MUTCD STANDARDS.
18. ALL DAMAGE TO PUBLIC OR PRIVATE MAINTAINED STREETS DUE TO PROJECT CONSTRUCTION WILL BE REPAIRED AT NO COST TO THE OWNER PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
19. A PRE-CONSTRUCTION MEETING WITH THE GOVERNING MUNICIPALITY, ENGINEER, OWNER OR OWNERS REPRESENTATIVE, CONTRACTOR, AND SUB-CONTRACTORS IS REQUIRED PRIOR TO START OF PROJECT.
20. PRIOR TO ANY WORK IN THE STREET OR RIGHT-OF-WAYS AND PRIOR TO ANY PUBLIC ROAD LANE CLOSURE, THE CONTRACTOR IS REQUIRED TO CONTACT THE GOVERNING MUNICIPALITY (3) DAYS IN ADVANCE.
21. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ANY SPILL, CURB REQUIRED TO PROVIDE POSITIVE DRAINAGE TO STORM STRUCTURES AND PREVENT ANY LOW SPOTS OR "BIRD BATHS" WITHIN THE CURB & GUTTER OR PAVED SECTIONS.
22. NO VISUAL OBSTRUCTIONS SHALL BE WITHIN ANY SIGHT DISTANCE TRIANGLES BETWEEN 2 AND 8 FEET IN HEIGHT ABOVE FINISHED GRADE.
23. ANY VERTICAL DROPS MORE THAN 30" FROM A RETAINING WALL WILL REQUIRE A 42" HIGH SAFETY FENCE ALONG THE TOP OF WALL.
24. THE CONTRACTOR SHALL NOTE THAT EVERY OFFSET, FITTING, TIE-IN POINT, ETC. MAY NOT BE SHOWN ON THE PLANS. CONTRACTOR SHALL USE STANDARD CONSTRUCTION PROCEDURES TO FOLLOW THE PLANS AS CLOSELY AS POSSIBLE AND NOTIFY THE ENGINEER IF DISCREPANCIES ARE FOUND.
25. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS.
26. THE EARTHWORK ON THIS PLAN DOES NOT NECESSARILY BALANCE; OFFSITE BORROW OR WASTE MAY BE REQUIRED.
27. ALL CONCRETE PIPE SHALL BE REINFORCED CLASS III, UNLESS NOTED OTHERWISE.
28. ALL PIPE TO BE INSTALLED ON-SITE AND IN THE RIGHTS OF WAY SHALL MEET OR EXCEED THE DOT ASTM AND AASHTO SPECIFICATION REQUIREMENTS FOR SUCH PIPE MATERIAL. CONTRACTOR SHALL VERIFY APPROVAL WITH DOT FOR ALL PIPE MATERIALS TO BE USED IN THE RIGHT OF WAY.
29. ROOF DRAIN CONNECTIONS AND INLINE CATCH BASINS IN NON-TRAFFIC BEARING LOCATIONS MAY BE HDPE SYSTEMS SUCH AS "NYLOPLAST" BY ADS OR APPROVED EQUAL. (SEE DETAILS FOR USE AS STORM DRAINAGE SYSTEM).
30. ALL ON-SITE PIPE SHALL BE INSTALLED MEETING COVER, BACKFILL AND BEDDING REQUIREMENTS PER DOT OR THE MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MOST STRINGENT.
31. DOT PRE-CAST DRAINAGE STRUCTURES / MANHOLES CAN BE USED IN LIEU OF DOT STANDARD BRICK OR CONCRETE CATCH BASINS. ANY DEVIATION FROM THE SPECIFIED STRUCTURES SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION AND SHALL MAINTAIN COMPLIANCE WITH ALL CORRESPONDING DOT MATERIAL, DRAWING & DETAILED SPECIFICATIONS. NO "KNOCK-OUT" OR WAFFLE BOXES SHALL BE USED WITHOUT PERMISSION FROM THE ENGINEER.
32. ADDITIONAL SPECIFICATIONS AND REQUIREMENTS FOR FOOTER AND BUILDING PAD PREPARATION AND COMPACTION MAY EXIST IN ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SHALL BE EXECUTED/IMPLEMENTED AS REQUIRED.
33. DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911. SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS. 2018 NFPC SECTION 3304.5

GENERAL UTILITY NOTES:

1. ALL EXISTING UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS. HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR EXACT LOCATION AND PROTECTION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
5. CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS/PERMITS. THE UTILITY COMPANY WILL BE RESPONSIBLE FOR THE UTILITY CONNECTION FEES FOR CONSTRUCTION. REFER TO COVER SHEET FOR AVAILABLE UTILITY COMPANY LIST.
6. CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES OR NEW SERVICE AND IS RESPONSIBLE FOR THE CONSTRUCTION OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS.
7. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE TO CURBING, PAVING, AND COMPACTED SUB-GRADE.
8. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
9. ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
10. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
11. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
12. CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH FOR WHICH PIPE CAN BE INSTALLED AND TRENCH BACKFILLED BY THE END OF EACH WORK DAY. ALL OSHA STANDARDS FOR TRENCH EXCAVATIONS SHALL BE OBSERVED BY ALL PARTIES INVOLVED WITH UTILITY INSTALLATIONS.
13. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
14. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM VEGETATION, ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS, AND SHALL BE NON-PLASTIC IN NATURE, OR HAVE A TENDENCY TO SHIFT OR FLOW UNCHARACTERISTICALLY WHEN TAMPED. BACKFILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
15. RUNOFF FROM IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE SANITARY SEWER OR INTO ADJACENT PROPERTIES.
16. ALL JOINTS ON THE STORM WATER CONVEYANCE SYSTEM SHALL BE WATERTIGHT.
17. ALL CONSTRUCTION ASSOCIATED WITH WATER AND SANITARY SEWER SHALL BE IN ACCORDANCE WITH GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
18. ALL ELECTRICAL SERVICE LINES TO OR AROUND THE PROPOSED STRUCTURE SHALL BE UNDERGROUND.
19. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS AND DISTURBANCES WITH EXISTING USERS AND LOCAL MUNICIPALITY SO THAT ANY SERVICE INTERRUPTIONS ARE MINIMAL.
20. CONTRACTOR SHALL KEEP A RECORD PLAN SET SHOWING UTILITY CONSTRUCTION, LOCATIONS, CLEARANCES, ETC. AND PROVIDE A COPY TO THE ENGINEER TO ASSIST WITH PREPARATION OF AS-BUILT DRAWINGS. CONTACT ENGINEER IF EXPLANATION OF WHAT ITEMS ARE REQUIRED IF UNSURE, PRIOR TO BEGINNING CONSTRUCTION.
21. PAVEMENT CUTS FOR UTILITY INSTALLATIONS SHALL BE SAWCUT FOR STRAIGHT, CLEAN EDGES. PATCHES SHALL BE IN ACCORDANCE WITH GOVERNING MUNICIPALITY.
22. CONTRACTOR SHALL COORDINATE INSTALLATIONS OR CONDUITS ON SITE PRIOR TO PREPARING ROADWAY, DRIVE OR PARKING AREA SUBGRADES.
23. WATER SHALL NOT BE ALLOWED TO RISE WITHIN UNFILLED UTILITY TRENCHES AFTER PIPE HAS BEEN INSTALLED. BACKFILL IMMEDIATELY AFTER PIPE INSTALLATION.
24. PIPES IN STORM DRAINAGE STRUCTURES SHALL BE CUT FLUSH TO INSIDE WALLS. INVERTS SHALL BE POURED IN DRY CONDITIONS WITH STRUCTURES BEING PUMPED OUT PRIOR TO INVERTS IF REQUIRED.
25. ALL CASTINGS AND FERROUS MATERIAL PIPING ASSOCIATED WITH WATER, SEWER, AND STORM DRAINAGE SHALL BE DOMESTICALLY CAST.
26. CONTRACTOR SHALL PROVIDE SURVEY AS-BUILTS OF STORM DRAINAGE NETWORKS AND STORMWATER CONTROL MEASURE. STORM DRAINAGE AS-BUILTS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO BACKFILLING. THE STORMWATER CONTROL MEASURE AS-BUILT(S) MUST BE COMPLETED UPON FINAL CONSTRUCTION OF NEW CONVEYANCES AND SUBMITTED FOR THE ENGINEER TO REVIEW AND APPROVE. A SEALED AS-BUILT DRAWING MAY BE REQUIRED FOR STORMWATER CONTROL CERTIFICATION. CONTACT THE ENGINEER TO VERIFY.
27. CONTRACTOR SHALL PROVIDE EASEMENT SURVEYS FOR STORM DRAINAGE SYSTEMS AND STORMWATER CONTROL MEASURES. EASEMENTS SHALL BE PLATTED AND PRESENTED TO THE ENGINEER FOR REVIEW AND APPROVAL. SEE SITE PLAN, GRADING, AND STORM DRAINAGE PLAN SHEETS FOR EASEMENT LOCATIONS.
28. ALL SANITARY SEWER AND WATER INSTALLATION SHALL BE BY ORANGE WATER AND SEWER AUTHORITY'S (O.W.S.A.) STANDARD DETAILS AND SPECIFICATIONS.

WATER AND SEWER SEPARATION NOTES:

1. HORIZONTAL AND VERTICAL SEPARATION:
 - 1.1. SANITARY SEWERS SHALL BE LAID AT LEAST 10-FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL, TO MAINTAIN A 10-FOOT SEPARATION, THE PUBLIC WORKS SUPPLY MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION ON MAY ALLOW THE INSTALLATION OF THE SANITARY SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SANITARY SEWER AND AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18-INCHES ABOVE THE TOP OF THE SEWER.
 - 1.2. IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SANITARY SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH THE PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150PSI TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.
 - 1.3. A 24-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED. A 12-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND WATER MAIN.
 - 1.3.1. IF A 12-INCH SEPARATION IS NOT MAINTAINED AT A CROSSING BETWEEN STORM SEWER AND WATER MAINS (OR PRESSURE SEWERS), THE WATER MAIN SHALL BE CONSTRUCTED OF FERROUS PIPE AND A CONCRETE COLLAR SHALL BE POURED AROUND WATER MAINS AND STORM SEWER TO IMMOBILIZE THE CROSSING.
2. CROSSINGS:
 - 2.1. SANITARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18-INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SANITARY SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
 - 2.2. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED:
 - 2.2.1. THE SANITARY SEWER SHALL BE DESIGNED AND CONSTRUCTED OF FERROUS PIPE AND SHALL BE PRESSURE TESTED AT 150PSI TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING, OR
 - 2.2.2. EITHER THE WATER MAIN OR THE SANITARY SEWER LINE MAY BE ENCASED IN A WATERTIGHT BARRIER PIPE, WHICH EXTENDS 10-Feet ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE PUBLIC WATER SUPPLY FOR USE IN WATER MAIN CONSTRUCTION.

ADA INSTRUCTIONS TO CONTRACTOR:

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THIS SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE(S), PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

1. PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
2. CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
3. LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS. MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
4. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 48-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP REGULATIONS MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND 'LEVEL' LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
5. DOORWAYS - MUST HAVE A 'LEVEL' LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117-1:2003 AND OTHER REFERENCED INCORPORATED BY CODE.)
6. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. PRIOR TO THE COMMENCEMENT OF WORK, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER IN WRITING OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT OFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
7. THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-COMFORMING CONCRETE.
8. THE SITE SHALL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1-2009 AND CHAPTER 11 OF THE NBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.
9. ACCESSIBILITY REQUIREMENTS: THAT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE THE MINIMUM REQUIRED ACCESSIBLE PARKING SPACES AND DESIGN ALL ACCESSIBLE PARKING SPACES, RAMPS, AND CROSSWALKS, AND ASSOCIATED INFRASTRUCTURE ACCORDING TO AMERICANS WITH DISABILITIES ACT STANDARDS, NORTH CAROLINA BUILDING CODE, AMERICAN NATIONAL STANDARDS INSTITUTE ANSI CODE, AND TOWN STANDARD 1. PARKING - NUMBER OF SPACES TO COMPLY WITH NCBC 2012 SECTION 1106.1, 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 2 PERCENT IN ANY DIRECTION, SIGNAGE PER NC REQUIREMENTS, MUT-CO and ICC A 117.1.2. CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2 PERCENT, CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE. A SLOPE GREATER THAN 5 PERCENT REQUIRES CONSTRUCTION AS A RAMP.

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

CONSTRUCTION WASTE NOTES:

1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE GOVERNING MUNICIPALITIES' REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS.
2. PURSUANT TO THE GOVERNING MUNICIPALITIES' RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. PURSUANT TO THE GOVERNING MUNICIPALITIES' RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE, WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS, SHALL BE LICENSED BY THE GOVERNING MUNICIPALITIES.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PIPE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
5. THE PRESENCE IF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

INSPECTION NOTES:

1. ADDRESS NUMBERS MUST BE A MINIMUM OF 4 INCHES HIGH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. REFLECTIVE NUMBERS ARE PREFERRED. WHEN THE DISTANCE FROM THE STREET OR FIRE DEPARTMENT ACCESS LANE TO THE FRONT OR ADDRESS SIDE OF THE BUILDING EXCEEDS 25 FEET, LARGER NUMBERS ARE REQUIRED. 26 FEET TO 50 FEET SHALL HAVE 8 INCH NUMBERS, 51-75 FEET SHALL HAVE 12 INCH NUMBERS AND OVER 75 FEET SHALL HAVE 18 INCH NUMBERS, WHERE ACCESS IS BY PRIVATE MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
2. KEY BOXES SHALL BE REQUIRED ON ANY BUILDING THAT HAS A FIRE ALARM SYSTEM, A FIRE SPRINKLER SYSTEM, AN ELEVATOR, OR SPECIAL LOCKING ARRANGEMENTS. THE KEY BOX SHALL BE OF AN APPROVED TYPE AS REQUIRED FROM THE CHAPEL HILL FIRE DEPARTMENT. THE SIZE OF THE KEY BOX WILL BE DETERMINED BY THE NUMBER OF KEYS NECESSARY TO MITIGATE ANY EMERGENCY SITUATION BASED ON THE BUILDING AND ITS OCCUPANCY. AN APPROVED LOCK SHALL BE INSTALLED ON GATES OR SIMILAR BARRIERS WHEN REQUIRED BY THE FIRE CODE OFFICIAL. KEYS SHALL BE CHANGED OUT IMMEDIATELY IF THE LOCKS ARE CHANGED OR RE-KEYED.
3. A LEAD-FREE RPZ WITH BYPASS FOR THE BACKFLOW PROTECTION IS REQUIRED. INSURE AT LEAST 18 INCHES OF WORKING CLEARANCE IS PROVIDED AROUND OR MORE IF MANUFACTURER'S INSTRUCTIONS REQUIRE MORE.
4. DEMOLITION OF THE EXISTING STRUCTURES WILL REQUIRE AN ASBESTOS TEST PRIOR TO DEMOLITION AND A SECOND ASBESTOS TEST OF THE SOIL AFTER THEY HAVE BEEN REMOVED.
5. IF REQUIRED, THE PROPOSED BUILDINGS SHALL BE PROTECTED BY NFPA 13 SPRINKLER SYSTEM

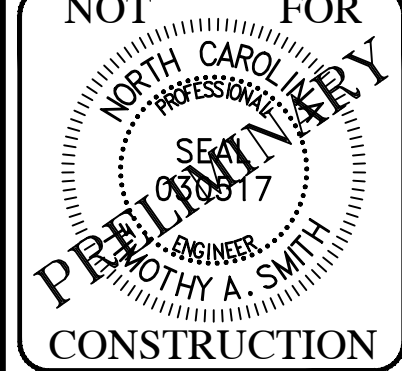


Know what's below.
Call before you dig.

DATE	REVISIONS	BY
1/31/2022	1	DMC
1/4/2022	2	DMC
	3	
	4	
	5	
	6	
	7	

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DRAWN BY
DMC (DMC@CHITY@SUMMITDE.COM)
FIRST ISSUE DATE
1/20/2021



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SITE PLANS FOR JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC
NOTES

PROJECT NO.
21-0207
DRAWING NAME:
21-0207_notes.dwg
SHEET NO.
C-2

NOTE "2":
SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED DURING THIS SURVEY. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN HEREON. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND CONTAINERS WHICH MAY AFFECT THE USE OF THIS TRACT.

NOTE "3":
THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON, AND ADDITIONAL BURIED UTILITIES MAY EXIST. CONTACT THE APPROPRIATE UTILITY COMPANIES FOR INFORMATION REGARDING BURIED UTILITIES.

NOTE "4":
ALL DISTANCES ARE HORIZONTAL GROUND AND AREA BY COORDINATE COMPUTATION.

NOTE "5":
THIS SURVEY WAS DONE WITHOUT A TITLE SEARCH AND IS BASED ON REFERENCED INFORMATION. THERE MAY EXIST OTHER DOCUMENTS OF RECORD WHICH COULD AFFECT THIS PROPERTY.

NOTE "6":
EXCEPT AS SPECIFICALLY STATED OR SHOWN, THIS SURVEY DOES NOT REPORT ANY OF THE FOLLOWING: EASEMENTS, OTHER THAN THOSE VISIBLE DURING FIELD EXAMINATION, BUILDING SETBACKS, RESTRICTIVE COVENANTS, ZONING OR LAND USE REGULATIONS AND ANY FACTS WHICH A TITLE SEARCH MAY DISCLOSE.

NOTE "7":
WETLANDS, JURISDICTIONAL WATERS OR OTHER CONDITIONS WHICH MAY BE REGULATED BY FEDERAL OR STATE OR LOCAL AGENCIES WERE NOT INVESTIGATED DURING THIS SURVEY. RIPARIAN BUFFERS AND OTHER RESTRICTIONS ON DEVELOPMENT MAY BE REQUIRED.

NOTE "8":
THIS PROPERTY IS IN ZONE "X", SEE FIRM PANEL 9788, MAP # 3710978800K REVISED 11/17/2017.

NOTE "9":
NO NCOS MONUMENTS WERE FOUND WITHIN 2000' OF THIS SITE.

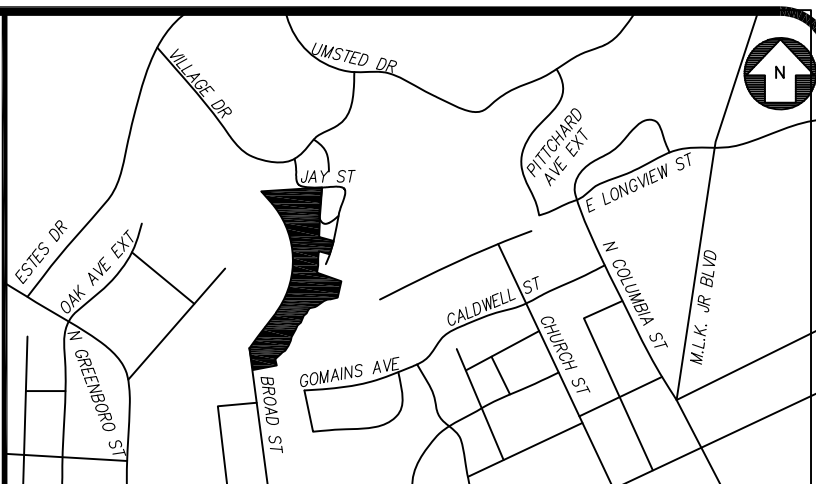
NOTE "10":
THIS PROPERTY IS WITHIN THE CAPE FEAR RIVER BASIN.

NOTE "11":
ZONING: (R-5)
MINIMUM LOT AREA: 5,500 SF
MINIMUM LOT WIDTH: 30 FT
MAXIMUM BUILDING HEIGHT: 24 FT
BUILDING FRONT SETBACK: 24 FT
BUILDING SIDE SETBACK: 8 FT
BUILDING REAR SETBACK: 8 FT

SYMBOL LEGEND

△	CALCULATED POINT
○	IRON PIN SET
●	IRON PIN FOUND
⊙	POWER POLE
⊕	ELECTRIC BOX
⊖	WATER METER
⊗	SANITARY MANHOLE
⊙	GUY WIRE ANCHOR
⊕	TELEPHONE BOX
⊖	FIRE HYDRANT
⊗	WATER VALVE
⊙	SIGN
⊕	SANITARY CLEANOUT

LINE #	DIRECTION	LENGTH
L1	N89°56'06"E	14.56'
L2	N80°24'34"E	13.26'
L3	N67°22'21"E	17.30'
L4	N58°50'14"E	35.76'
L5	N41°02'09"E	18.44'
L6	N28°14'43"E	23.71'
L7	N52°38'24"E	26.81'
L8	N51°20'25"E	32.02'
L9	N26°33'54"E	33.54'
L10	N16°41'57"E	26.10'
L11	N26°33'54"E	39.13'
L12	N63°26'06"E	22.36'
L13	N45°00'00"E	21.21'



NAD 83/11
NAD 88

SOUTHERN RAILROAD
100' PRIVATE R/W PB:121

NC GRID
COORDINATE
N=789,768.45
E=1,979,774.41

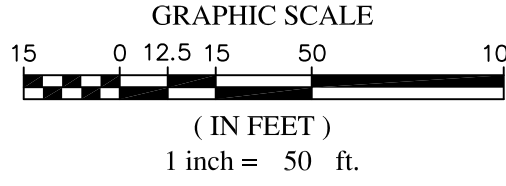
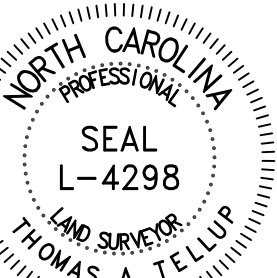
TOWN OF CHAPEL HILL
PIN # 9778995700
DB: 221/791

VILLAGE WEST
HOMEOWNERS ASSOCIATION
PIN # 9788094897
DB: 326/299

1. THOMAS A. TELLUP, N.C.P.L.S. #4298, CERTIFY THAT NO GRID TIE DATA SHOWN ON THIS PLAT WAS OBTAINED FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- (1) CLASS OF SURVEY: "A"
- (2) POSITIONAL ACCURACY: 0.07"
- (3) TYPE OF GPS FIELD PROCEDURE: VRS
- (4) DATES OF SURVEY: 11/05/2021
- (5) DATUM/EPOCH: NAD 83/2011
- (6) PUBLISHED/FIXED CONTROL USED: HELD VRS
- (7) GEOID MODEL: 2018
- (8) COMBINED GRID FACTOR: 0.99992535
- (9) UNITS: US SURVEY FEET

"I, THOMAS TELLUP, P.L.S. NO. 4298, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK/PAGE (AS NOTED HEREON)) OR OTHER REFERENCE SOURCE (AS NOTED HEREON); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED IN A BROKEN LINETYPE AS DRAWN FROM INFORMATION IN BOOK/PAGE (AS NOTED HEREON) OR OTHER REFERENCE SOURCE (AS NOTED HEREON); THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 30th DAY OF NOVEMBER 2021.



PROFESSIONAL LAND SURVEYOR
SUMMIT DESIGN & ENGINEERING, SERVICES, PLLC
REG. NUMBER P-033

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PROJECT ENGINEER/ARCHITECT
TS
PROJECT MANAGER
TT

CLIENT'S ADDRESS
110 JAY ST
CHAPEL HILL, NC 27516

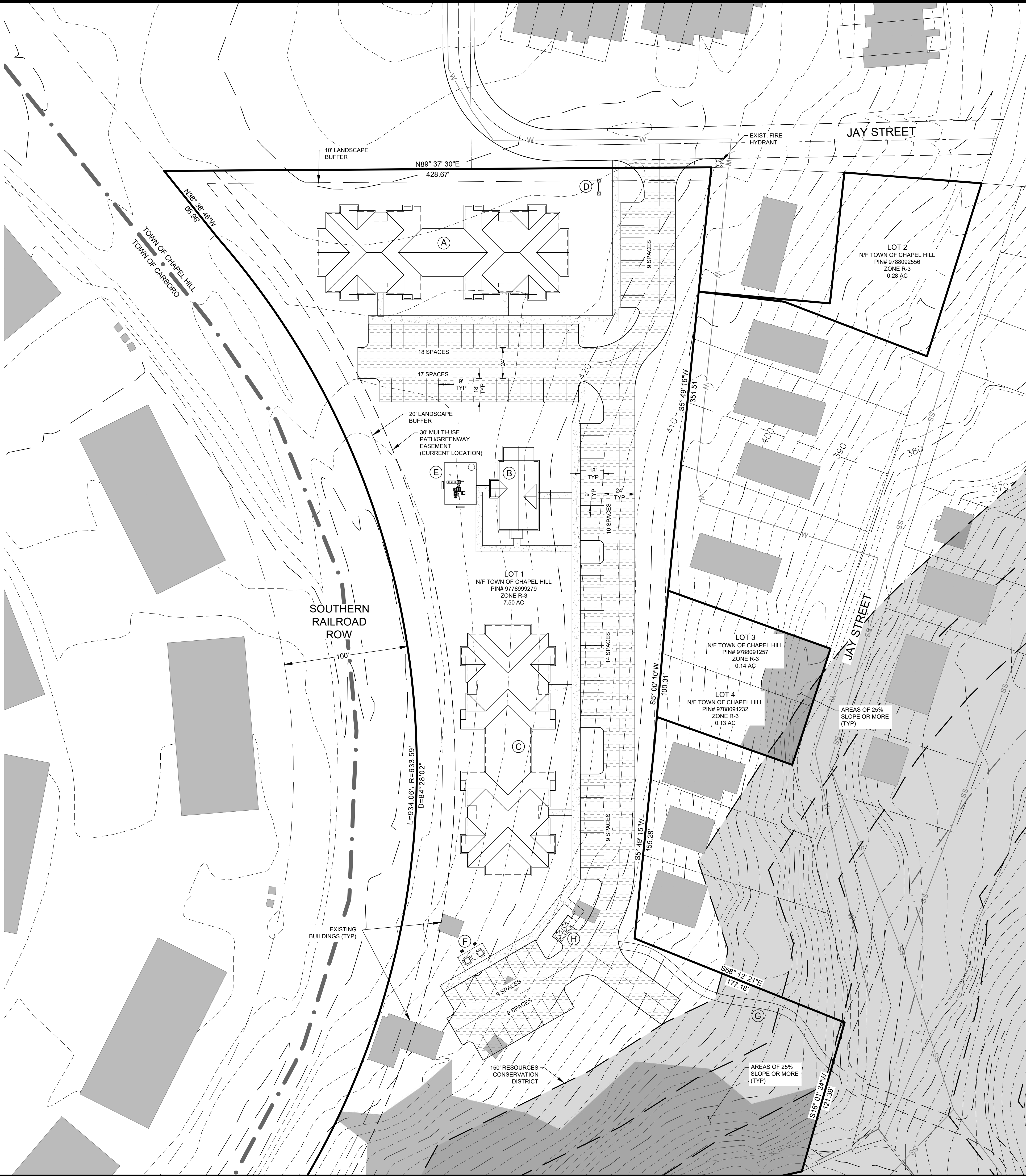
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EXISTING CONDITIONS SURVEY OF:
TAFT MILLS JAY ST
CHAPEL HILL TWP., ORANGE CO., NORTH CAROLINA
FIELD WORK PERFORMED 11/04/2021
PROPERTY AS DESCRIBED IN DEED BOOK 381 PAGE 129
STANDING IN THE NAME OF
TOWN OF CHAPEL HILL

PROJECT NO.
21-0207
DRAWING NO.
21-0207 SURVEY
C-3



Know what's below.
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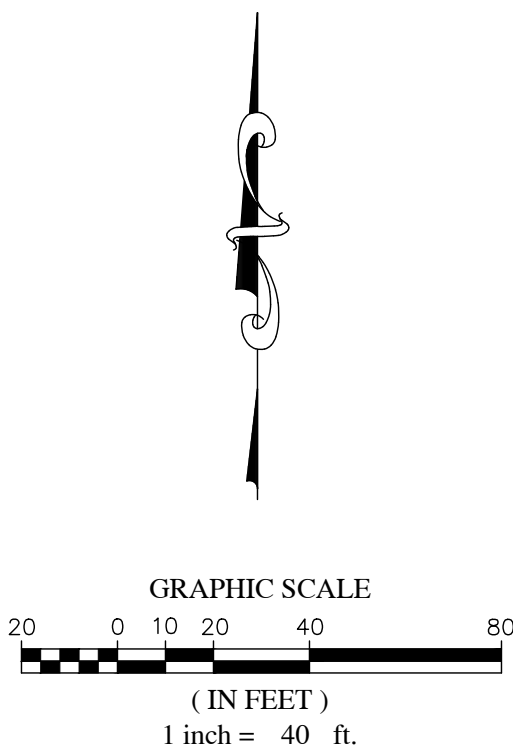
CONCEPTUAL SITE PLAN LEGEND:

- (A) 3 STORY APARTMENT BLDG - 6 1BR, 12 2BR, 6 3BR
- (B) COMMUNITY BUILDING
- (C) 3 STORY APARTMENT BLDG - 12 1BR, 12 2BR
- (D) ENTRY SIGN
- (E) PLAYGROUND
- (F) COVERED PICNIC SHELTER
- (G) TRAIL CONNECTION
- (H) TRASH AND RECYCLING

SITE DATA TABLE (LOT 1):

OWNER: TOWN OF CHAPEL HILL
DEVELOPER: TAFT-MILLS GROUP
PIN#: 9778999279
JURISDICTION: TOWN OF CHAPEL HILL
TOWN/CITY: CHAPEL HILL
COUNTY: ORANGE
DB/PG: 3881/129
CURRENT ZONING: R-3
PROPOSED ZONING: R-SS-C
LOT AREA: 7.50 AC
EXISTING IMPERVIOUS: 2,161 SF (0.06%)
PROPOSED IMPERVIOUS: 73,784 SF (23%)
PARKING SHOWN: 95 SPACES

APPLICANT:
TAFT-MILLS GROUP
CONTACT: DUSTIN MILLS
P.O. BOX 566
GREENVILLE, NC 27835
(252) 916-2691 (PHONE)
DUSTIN@TAFTMILLSGROUP.COM



CONCEPT PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

CONCEPT PLAN

PROJECT NO.
21-0207

DRAWING NAME:

SHEET NO.
C-5

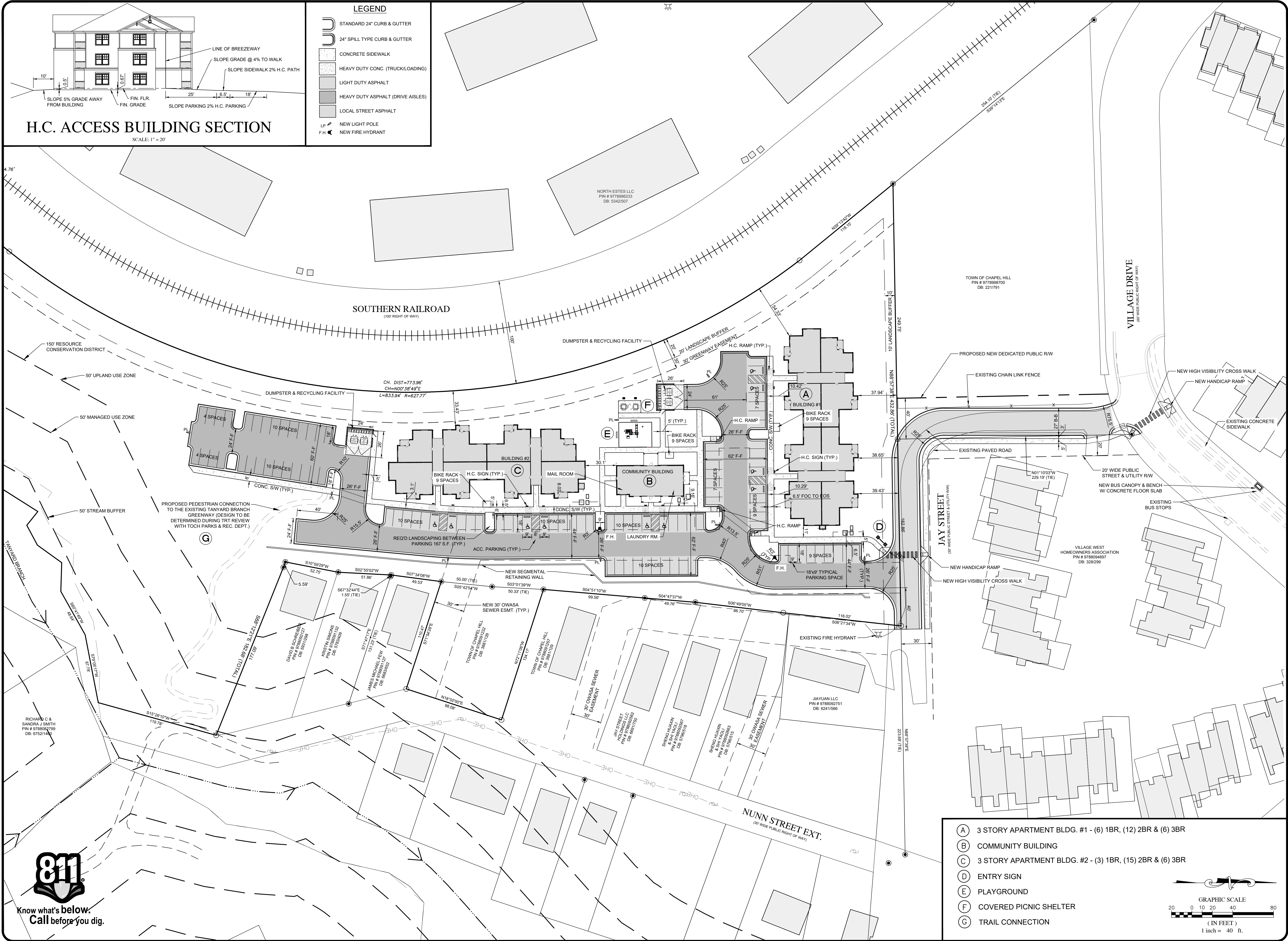
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SLF (SANDY.FALK@SUMMITDE.NET)
FIRST ISSUE DATE
11-19-2021

REVISIONS
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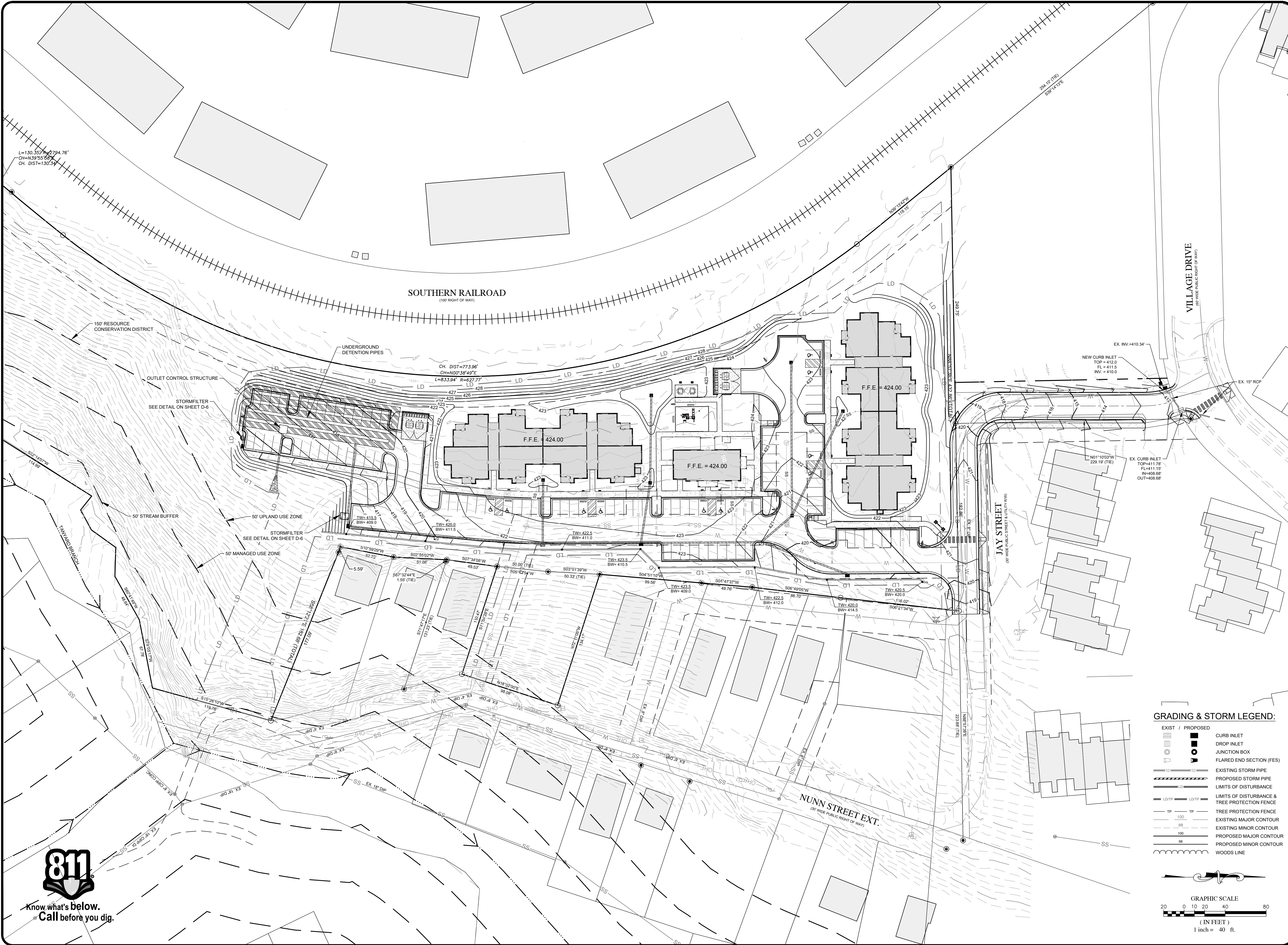
PROJECT INFORMATION:

- PROJECT NO.: 21-0207
- DRAWING NAME: 21-0207_S.dwg
- SHEET NO.: C-6

REVISIONS:

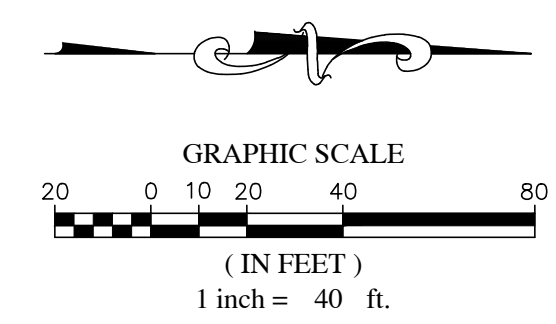
NO.	DATE	DESCRIPTION
1	1/4/2022	1. C2A COMMENTS #1
2	1/31/2022	2. C2A COMMENTS #2
3	1/31/2022	3. C2A COMMENTS #3
4	1/31/2022	4. C2A COMMENTS #4
5	1/31/2022	5. C2A COMMENTS #5
6	1/31/2022	6. C2A COMMENTS #6
7	1/31/2022	7. C2A COMMENTS #7

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 40 ft.



GRADING & STORM LEGEND:

EXIST / PROPOSED	CURB INLET
LD	DROP INLET
LD	JUNCTION BOX
LD	FLARED END SECTION (FES)
SD	EXISTING STORM PIPE
LD	PROPOSED STORM PIPE
LD	LIMITS OF DISTURBANCE
LD/TP	LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
TP	TREE PROTECTION FENCE
100	EXISTING MAJOR CONTOUR
98	EXISTING MINOR CONTOUR
100	PROPOSED MAJOR CONTOUR
98	PROPOSED MINOR CONTOUR
SS	WOODS LINE



SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

GRADING & DRAINAGE PLAN

PROJECT NO.
21-0207

DRAWING NAME:
21-0207_G.dwg

SHEET NO.
C-7

811
Know what's below.
Call before you dig.

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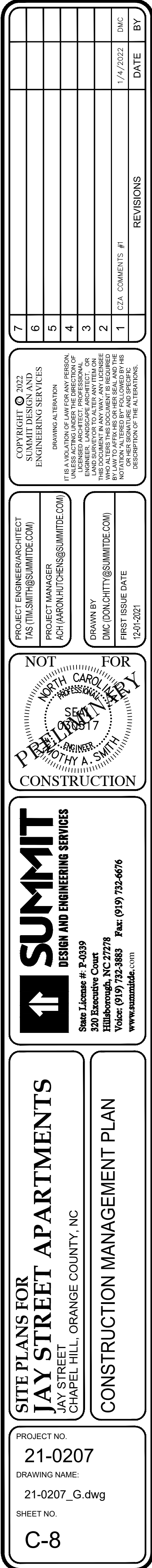
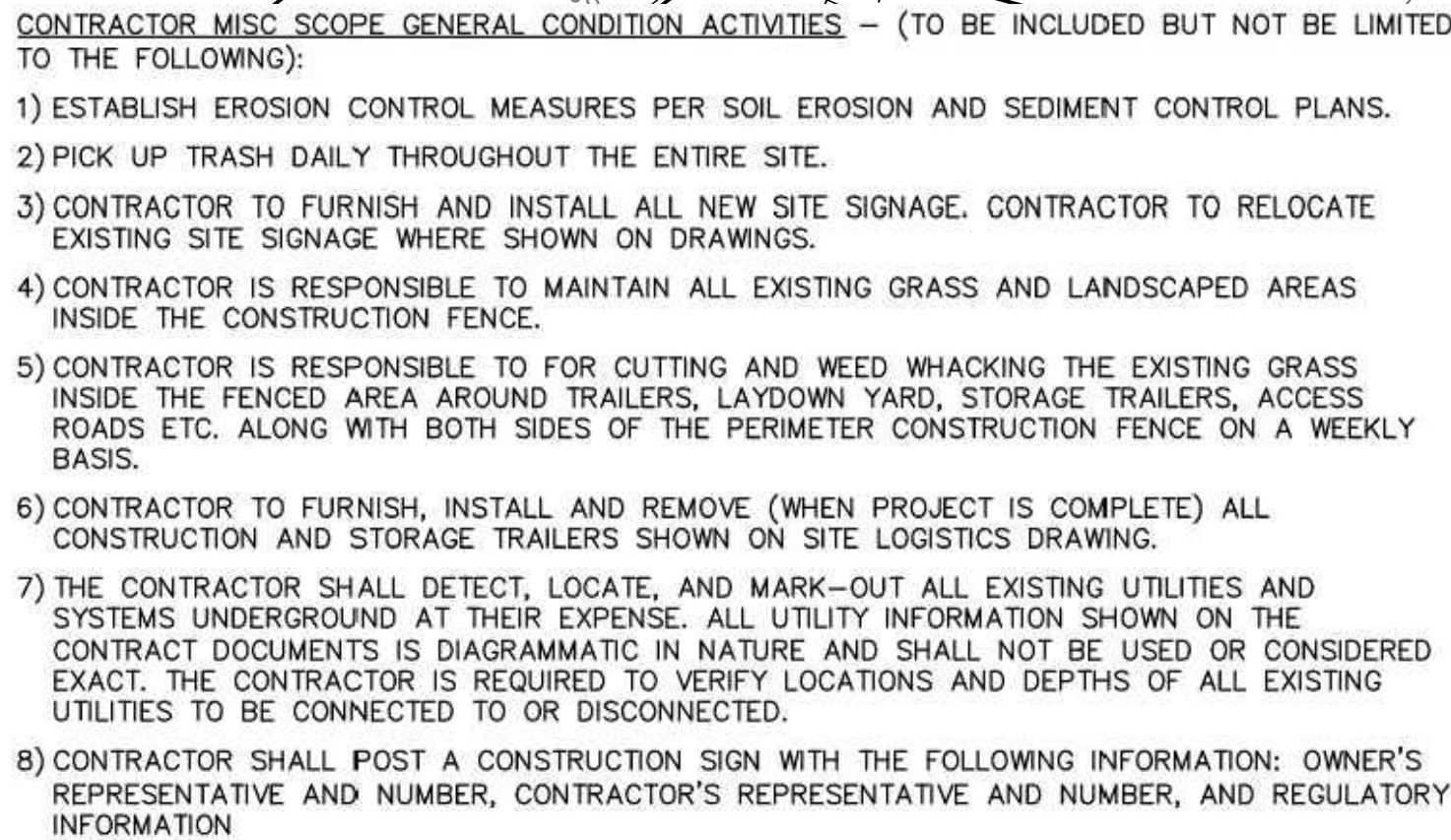
PROFESSIONAL ENGINEER
J. SMITH
00177

REVISIONS

NO.	DATE	BY
1	1/4/2022	DNC
2	1/4/2022	DNC
3	1/4/2022	DNC
4		
5		
6		
7		

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PROJECT MANAGER
ACH (ACH@SUMMITDE.COM)
DRAWN BY
DNC (DNC@SUMMITDE.COM)
FIRST ISSUE DATE
12-01-2021

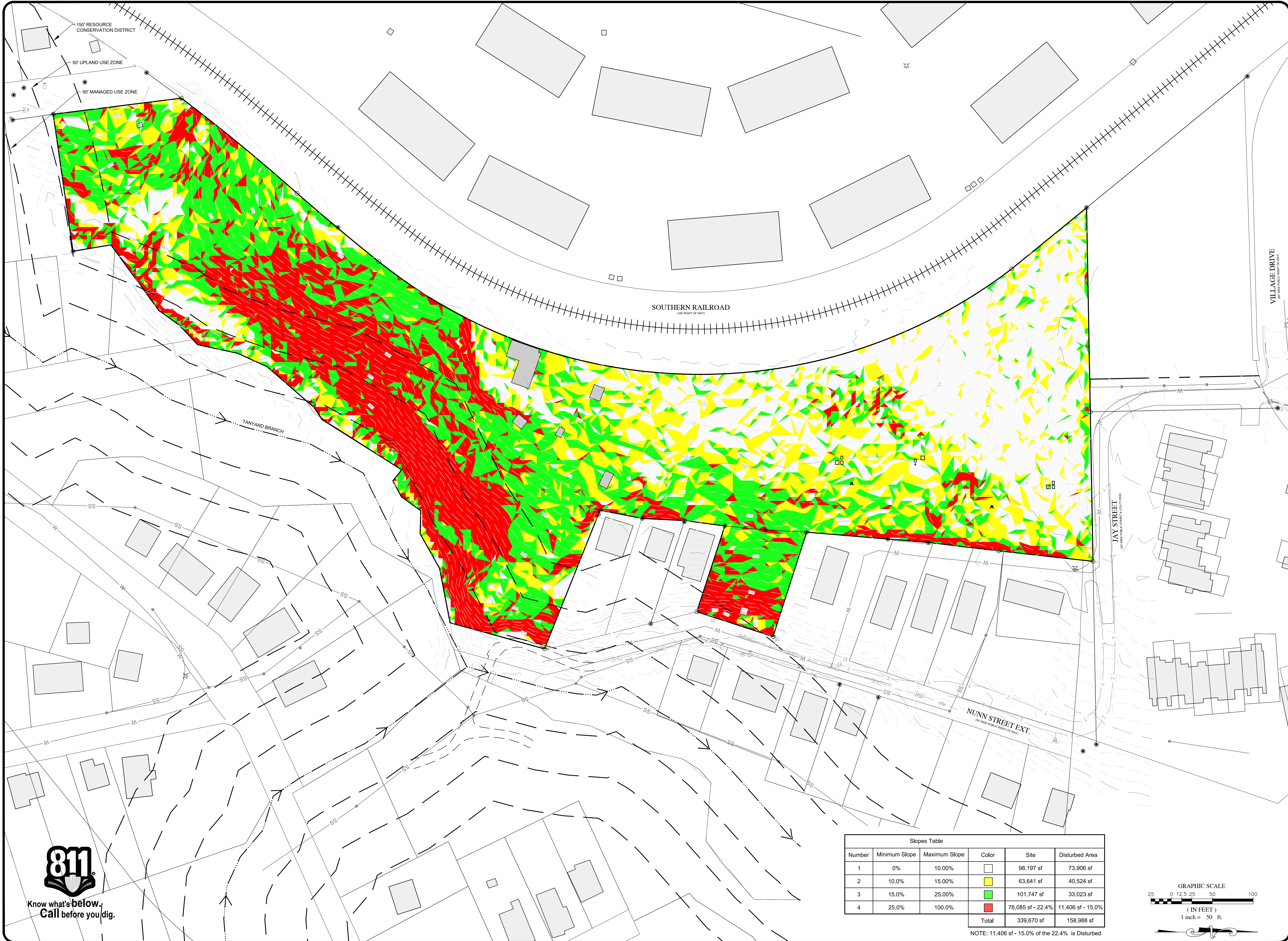




PROJECT NO.
21-0207

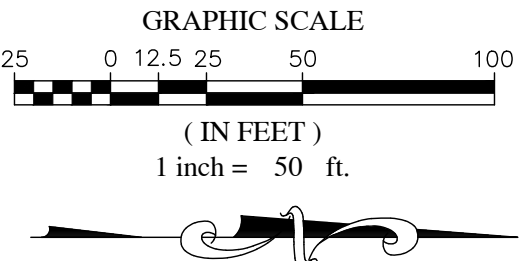
DRAWING NAME:
21-0207_S.dwg

SHEET NO.
C-9



Slopes Table					
Number	Minimum Slope	Maximum Slope	Color	Site	Disturbed Area
1	0%	10.00%		98,197 sf	73,906 sf
2	10.0%	15.00%		63,641 sf	40,524 sf
3	15.0%	25.00%		101,747 sf	33,023 sf
4	25.0%	100.0%		76,085 sf - 22.4%	11,406 sf - 15.0%
Total				339,670 sf	158,988 sf

NOTE: 11,406 sf - 15.0% of the 22.4% is Disturbed



PROJECT NO.
21-0207

DRAWING NAME:
21-0207 - STEEP SLOPES.dwg

SHEET NO.
C-10

SITE PLANS FOR

JAY STREET APARTMENTS

JAY STREET

CHAPEL HILL, ORANGE COUNTY, NC

↑

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PROFESSIONAL SEAL

SEAL NO. 17

BOOTHY A. SMITH

ENGINEER

PROJECT ENGINEER/ARCHITECT

TAS (TASMIT@SUMMITDE.COM)

PROJECT MANAGER

ACH (ACHRON.HUTCHENS@SUMMITDE.COM)

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DRAWN BY

DIC (DICKCHITT@SUMMITDE.COM)

FIRST ISSUE DATE

12-01-2021

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DATE

BY

7

6

5

4

3

2

CCA COMMENTS #2

DIC

1

CCA COMMENTS #1

DIC



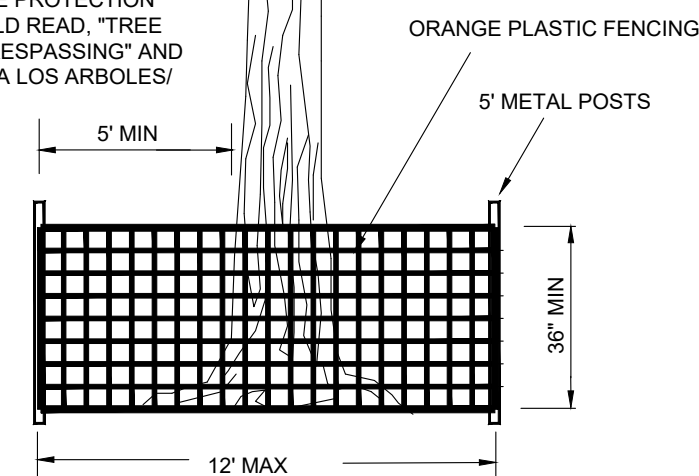
To properly protect and ensure the health of existing trees to remain, protective fencing should be installed to protect no less than 75% of a tree's critical root zone. When erecting fencing near trees not individually identified on the Landscape Protection Plan, the fencing location should be shifted, where possible, or a tree removed if its critical root zone is not adequately protected. All land disturbing activity, storage of equipment, building material, soil and other debris should be kept within the area of development activity and outside of the protective fencing.

In some situations, where silt fence is required to be installed along the construction limit lines, the silt fence is considered to function in lieu of the standard tree protection fencing; and therefore, the standard tree protection fencing is not required. Because silt fence installation requires cutting tree roots, it should be located outside critical root zones of protected trees.

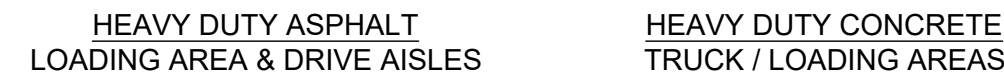


NOTES:

1. TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT.
2. SIGNS IN BOTH ENGLISH AND SPANISH SHALL BE PLACED IN TREE PROTECTION AREAS. THE SIGNS SHOULD READ, "TREE PROTECTION AREA/NO TRESPASSING" AND "ZONA PROTECTORA PARA LOS ARBOLES/ PROHIBIDO ENTRA".

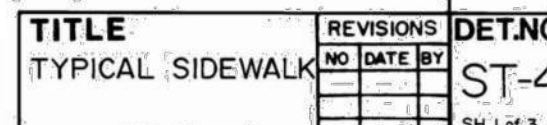


TREE PROTECTION FENCE
NTS



NOTE: TYPICAL SECTIONS ABOVE ARE BASED ON RECOMMENDATIONS FROM GEOTECHNICAL REPORT PREPARED FOR TONY FISHER AND BY SUMMIT DESIGN AND ENGINEERING SERVICES, DATED NOVEMBER 11, 2019.

ASPHALT/CONCRETE PAVING RECOMMENDATIONS



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PRODUCT: WP158-9-IG(SF,SG)
DESCRIPTION: WINDER PLUS BIKE RACK,
9 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 8-5-02
ENG: TLG

DATE: 8-5-02
ENG: TLG

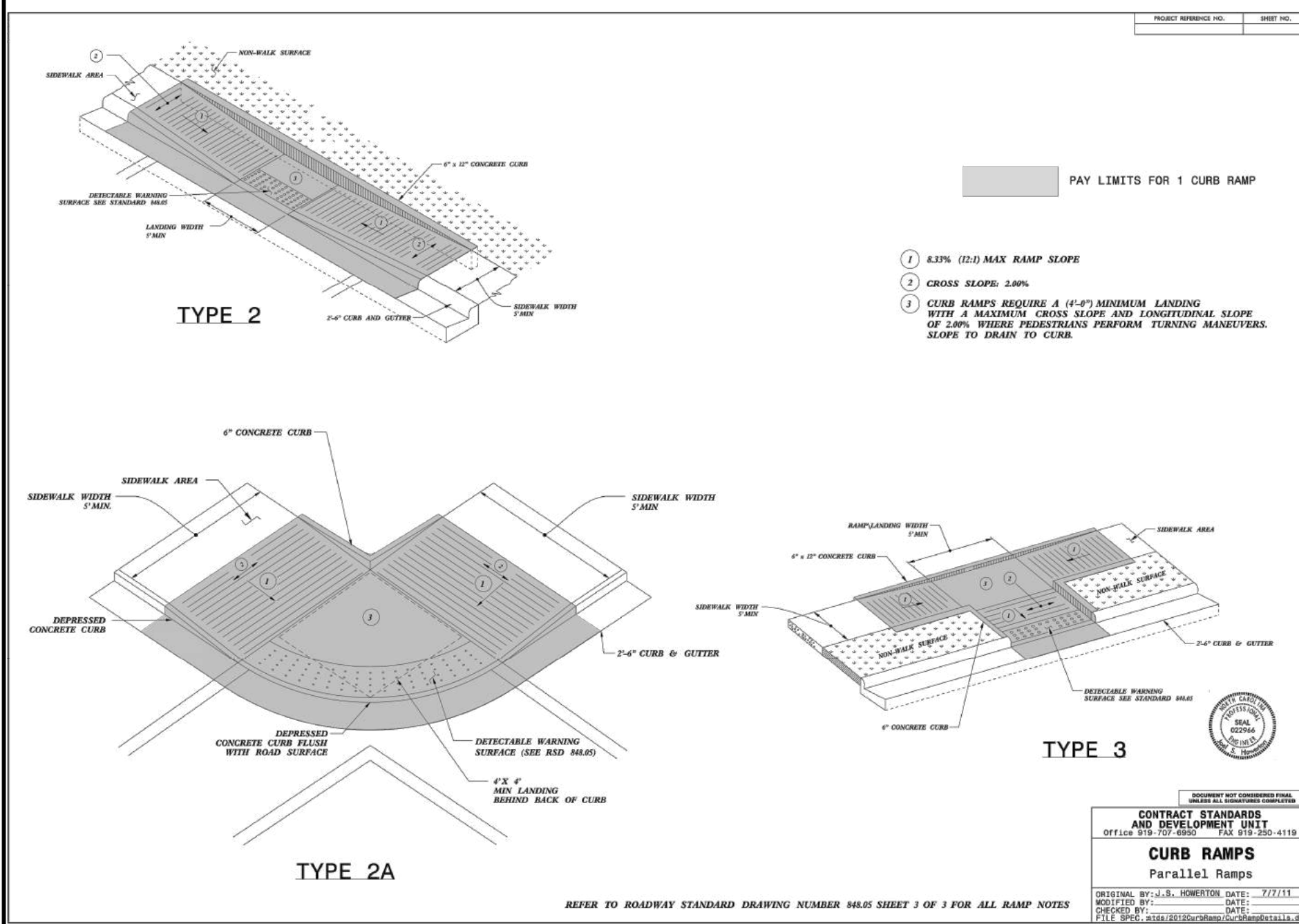
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NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR(FINISH). SEE MANUFACTURER'S SPECIFICATION.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
4. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.



TITLE
CURB & GU
SECTION

TYPE

CURB RAMPS

BY: J. S. HOWERTON DATE: _____
BY: _____ DATE: _____
BY: _____ DATE: _____[illegible]

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DRAWN BY DMC (DON.CHITTY@SUMMITDE.COM)	FIRST ISSUE DATE 12-01-2021

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SITE PLANS FOR

JAY STREET APARTMENTS

JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

SITE DETAILS

PROJECT NO.
21-0207

DRAWING NAME:
21-0207_D-1-5.dwg

SHEET NO.
D-1

