

SITE DATA:
ZONING: EF (WX-7) MAX. HEIGHT LIMIT: WX-7 = 90 FT.
PROPOSED HEIGHTS: PHASE 1 = 51 FT.; PHASE 2 = 76 FT.
AREA: GLA = 303,787 SF; NLA = 276,170 SF - 59,130 SF ROW DEDICATION = 217,040 SF
PROPOSED DISTURBED AREA = 408,954 SF (PHASE-1 115,819; PHASE-2 241,086 SF.)
IMPERVIOUS SURFACE AREA: 147,877 (EXISTING)
WITHIN NLA = 171,559 SF (PROPOSED)
WITHIN PARCEL(WITH R/W DEDICATION) = 216,801 SF (PROPOSED)
SEE SHEETS CS1401 AND CS1402 FOR ZONING CRITERIA.

TARHEEL LODGING REDEVELOPMENT PHASE 2

BLUE HILL FORM DISTRICT PERMIT

TOWN OF CHAPEL HILL, ORANGE COUNTY, N.C.

2023-06-16

PREPARED FOR:

OWNER/DEVELOPER

TARHEEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC

(ATTN: NEIL KAPADIA AND MANISH ATMA)

6110 FALCONBRIDGE ROAD, SUITE 200

CHAPEL HILL NC 27517

PREPARED BY:

PENNONI ASSOCIATES INC.

Pennoni

Firm License
F-1267

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Sheet List Table

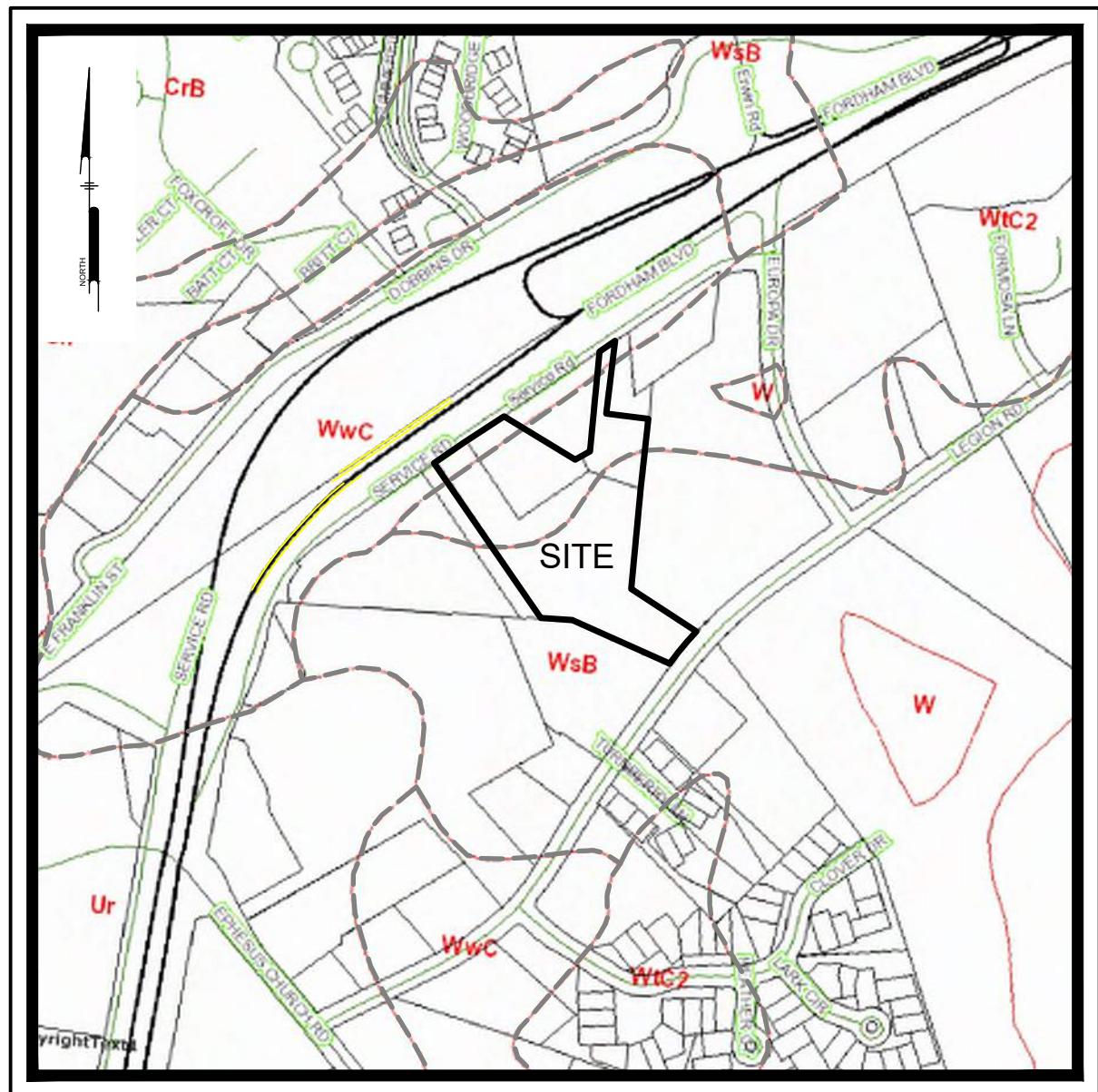
Sheet Number	Sheet Title	Sheet Description
1	CS0001	COVER SHEET
2	CS0002	GENERAL NOTES AND LEGEND
3	CS0202	EXISTING CONDITIONS PHASE 2A
4	CS0502	DEMOLITION PLAN - PHASE 2A
5	CS0503	TREE PROTECTION/STEEP SLOPES PLAN
6	CS1002A	SITE PLAN PHASE 2A
7	CS1002B	SITE PLAN PHASE 2B
8	CS1003	EASEMENT AND ROW PLAN
9	CS1402	ZONING PLAN PHASE II
10	CS1502A	GRADING PLAN PHASE 2A
11	CS1502B	GRADING PLAN PHASE 2B
12	CS1702A	UTILITY PLAN PH2A
13	CS1702B	UTILITY PLAN PH2B
14	CS2002	STREETSCAPE AND BICYCLE PARKING PLAN
15	CS2100	OAS PLAN PHASE II
16	CS2103	OAS-3 LAYOUT AND PLANTING PLAN
17	CS2104	OAS-4 LAYOUT AND PLANTING PLAN
18	CS2107	OAS-7 LAYOUT AND PLANTING PLAN
19	CS2108	OAS-8 LAYOUT AND PLANTING PLAN
20	CS2202	PLANTING PLAN PHASE II REQUIRED PLANTINGS
21	CS2301	EMERGENCY VEHICLE ACCESS PLAN
22	CS2302	SOLID WASTE COLLECTION PLAN
23	CS3501	PROPOSED ROAD PROFILES
24	CS3502	ROAD 'A' CROSS SECTIONS
25	CS3504	WORK ZONE TRAFFIC CONTROL PLAN - PHASE 2
26	CS6001	SITE DETAILS
27	CS6002	SITE DETAILS
28	CS6021	DRAINAGE DETAILS
29	CS6022	DRAINAGE DETAILS
30	CS6041	WATER DETAILS
31	CS6042	WATER DETAILS
32	CS6051	SANITARY DETAILS
33	CS7001	STREETSCAPE DETAILS
34	CS7101	PLANTING DETAILS AND MAINTENANCE PLAN
35	CS8001	EROSION AND SEDIMENT CONTROL PLAN PHASE 2A-1
36	CS8002	EROSION AND SEDIMENT CONTROL PLAN PHASE 2A-2
37	CS8501	EROSION AND SEDIMENTATION NOTES
38	CS8502	EROSION AND SEDIMENTATION DETAILS
39	CS8503	EROSION AND SEDIMENTATION DETAILS



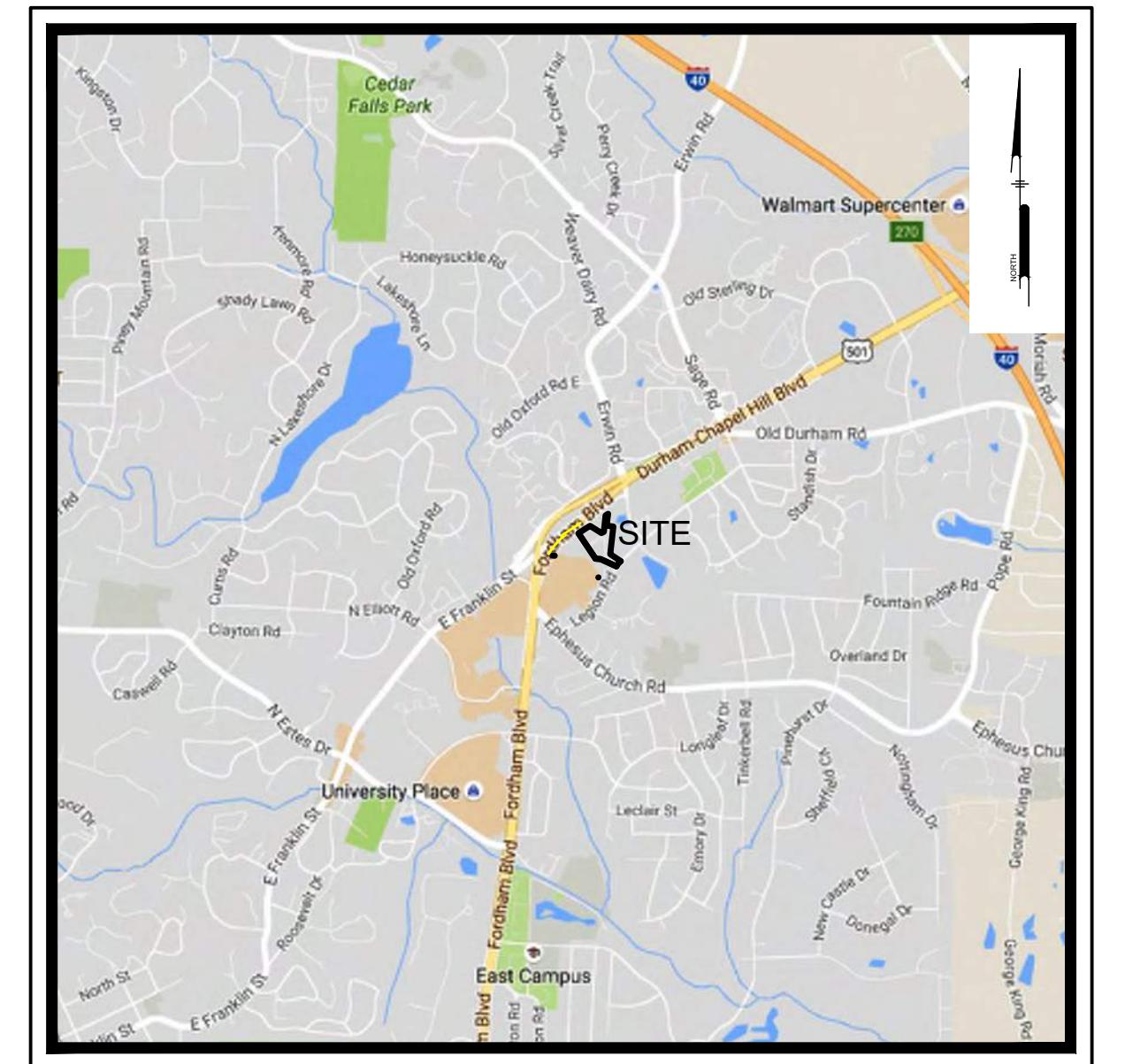
TARHEEL LODGING REDEVELOPMENT PHASE 2	ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK	
1742 FORDHAM BLVD. CHAPEL HILL, NC	COVER SHEET	
TARHEEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC 6110 FALCONBRIDGE ROAD CHAPEL HILL, NC 27517		

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THESE DOCUMENTS ARE NOT TO BE USED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTERIOR OF THE PROJECT OR ON ANOTHER PROJECT, ANY REUSE THEREOF IS THE SOLE RESPONSIBILITY OF PENNONI ASSOCIATES FOR THE SPECIFICATIONS, DESIGN, AND DRAWINGS. PENNONI ASSOCIATES IS SOLELY RESPONSIBLE FOR THE EXPOSURE TO PENNONI ASSOCIATES AND OWNER. PENNONI ASSOCIATES WILL NOT BE HELD LIABLE FOR ANY DAMAGES, LOSSES, AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.			
04/28/2023	23	PHASE 2 MODIFICATIONS	DTR
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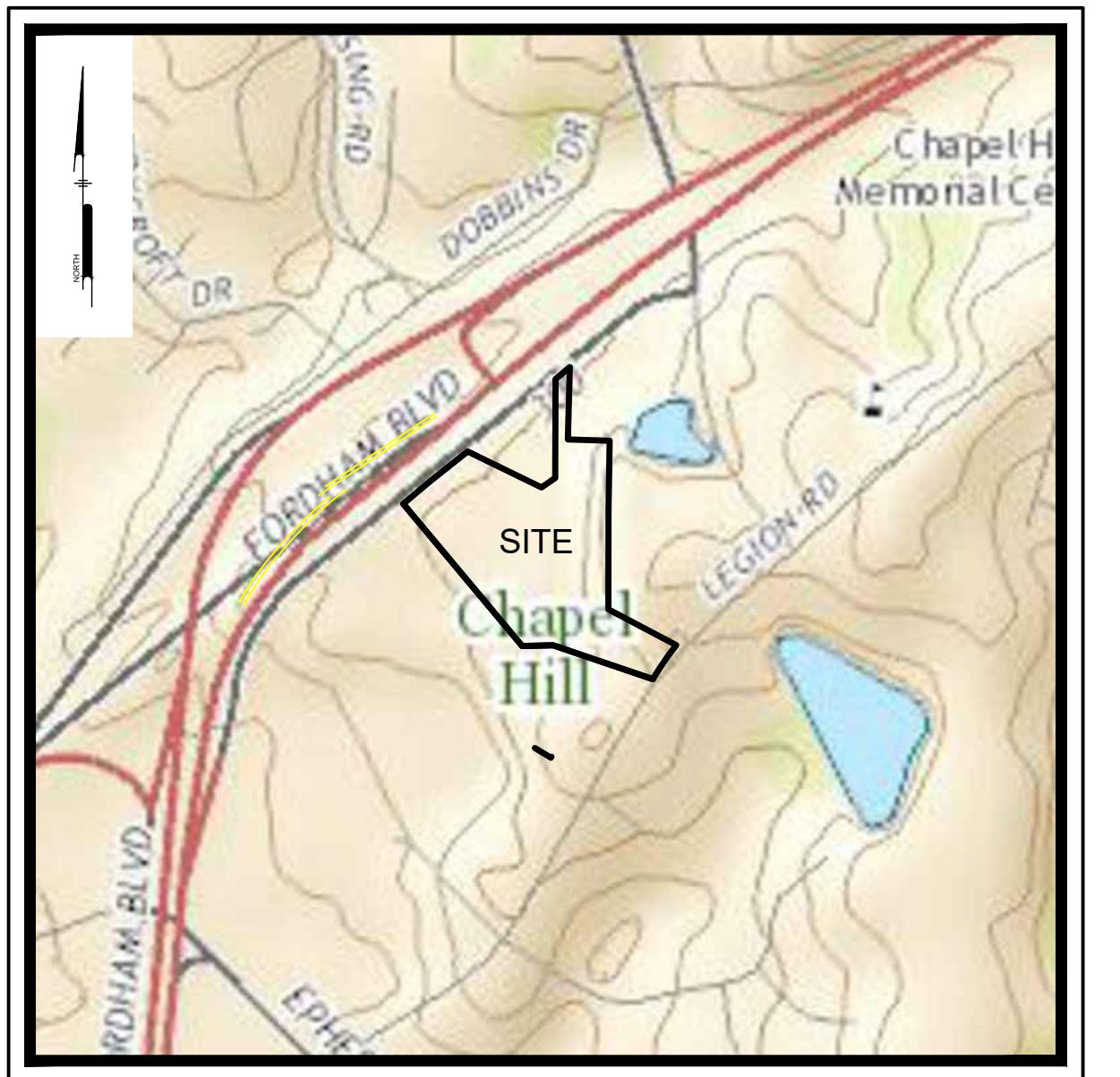
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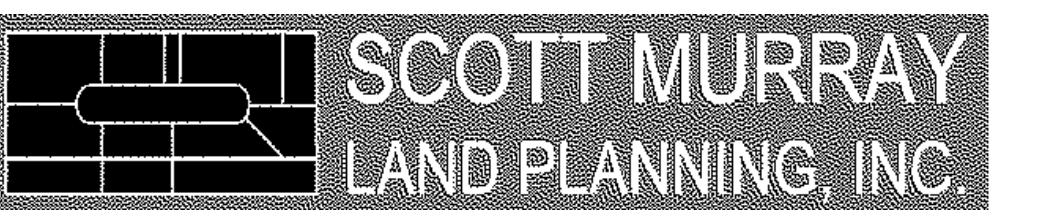
SOILS MAP
Scale: 1" = 500'



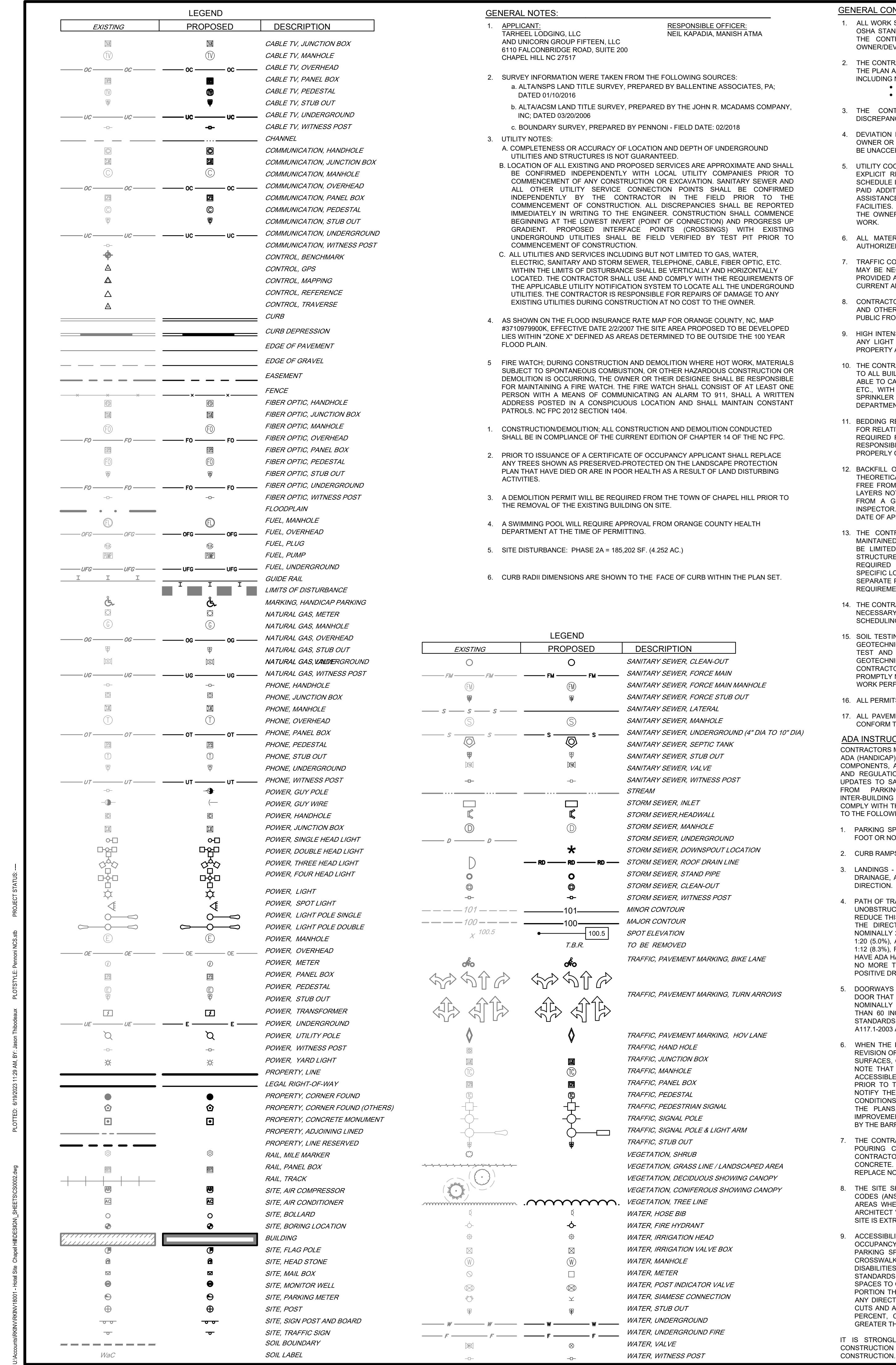
LOCATION MAP
1" = 3000'



USGS MAP
Scale: 1" = 500'



ATMA
HOTEL GROUP INC



<u>INSTRUCTION AND GRADING NOTES:</u>	
1. SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND STANDARDS ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE DEVELOPER.	2. CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, NOT BUT NOT LIMITED TO: - EROSION AND SEDIMENTATION CONTROL PLAN - STORMWATER MANAGEMENT PLAN.
3. CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY VICES OR ERROR THEY DISCOVER IN THE PLANS.	4. FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE OF THE WORK TO UNPASTABLE.
5. COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE ESPOSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE IONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK E FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR E. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY R AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH	6. MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE D BY THE OWNER AND APPLICANT.
7. CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., ECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE AND MAINTAINED THROUGHOUT THE CONSTRUCTION IN ACCORDANCE WITH ND NCDOT STANDARDS.	8. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING R APPROPRIATE SAFETY ITEMS/MEASURES NECESSARY TO PROTECT THE M THE WORK AREA CONSTRUCTION ACTIVITIES.
9. CITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL AND DOES NOT INTERFERE WITH TRAFFIC.	10. CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND D BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE RARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE R OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE T CONNECTOR. (NFPA 1141 3-1)
11. REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS EVELY DRY, STABLE EARTH CONDITIONS. ADDITIONALLY BEDDING SHALL BE FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE LITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO CONSTRUCT THE WORK.	12. ALL TRENCHES SHALL BE COMPAKTED TO THE DENSITY OF 95% OF AL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN T TO EXCEED SIX (6) INCHES IN COMPAKTED FILL THICKNESS. A REPORT EOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS
13. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE PROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.	14. CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT TO, A) REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE EES THAT HAVE BEEN DAMAGED OR REMOVED, OR B) REGRADING AS BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS NT.
15. CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND G FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.	16. CONTRACTOR AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT CAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, CERTIFY TO THE COMPAKTION OF ALL LOAD BEARING FILLS. THE CAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE DR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD ORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
17. S MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.	18. ENT MARKINGS AND REGULATORY SIGNS ON PRIVATE PROPERTY SHALL O CURRENT MUTCD STANDARDS.
19. CCTIONS TO CONTRACTOR:	20. CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS RNS' BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR ME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL G SPACE(S), PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST HESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED NG:
21. RACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER MINALLY 2.0%) IN ANY DIRECTION.	22. S - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
23. MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY	24. SLOPE ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER TED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT S MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN TION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN ADA RAMP REGULATIONS MUST BE ADHERED TO. A MAXIMUM SLOPE OF FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST AND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED HAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FORAINAGE.
25. - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS CHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI AND OTHER REFERENCED INCORPORATED BY COD.)	26. PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. HE COMMENCEMENT OF WORK, THE CONTRACTOR MUST IMMEDIATELY DESIGN ENGINEER IN WRITING OF ANY DISCREPANCIES AND/OR FIELD THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON IN WRITING, BEFORE COMMENCEMENT OF WORK. - CONSTRUCTED RENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED RIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
27. ACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO CONCRETE. IF ANY NON-COMFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND N-COMFORMING CONCRETE.	28. CONTRACTOR MUST BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY 117.1-2009 AND CHAPTER 11 OF THE NCBC UNLESS AND EXCEPT IN RE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR VERIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE EME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.
29. Y REQUIREMENTS: THAT PRIOR TO ISSUANCE OF A CERTIFICATE OF THE APPLICANT SHALL PROVIDE THE MINIMUM REQUIRED HANDICAPPED SPACES AND DESIGN ALL HANDICAPPED PARKING SPACES, RAMPS, AND ACT STANDARDS, NORTH CAROLINA BUILDING CODE, AMERICAN NATIONAL INSTITUTE ANSI CODE, AND TOWN STANDARD 1106.1, 1 PER 6 COMPLIANT SPACES OR EREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 2 PERCENT IN RION. SIGNAGE PER NC REQUIREMENTS, MUTCD AND ICC A 117.1.2. CURB ESSIBLE ROUTES PER ICC A117.1-2009 ED. CROSS SLOPE LIMITED TO 2 CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE. A SLOPE HAN 5 PERCENT REQUIRES CONSTRUCTION AS A RAMP.	30. Y RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF

<p>PUBLIC RECYCLING WAIVER APPLICANT ELECTS TO PROVIDE RECYCLING SERVICES TO RESIDENTS/TENANTS OF THIS PROPERTY IN LIEU OF BUILDING A RECYCLING STATION CONSTRUCTED TO ORANGE COUNTY SPECIFICATIONS. THE SITE WILL NOT RECEIVE PUBLIC RECYCLING COLLECTION NOW OR IN THE FUTURE UNLESS SUCH A RECYCLING STATION IS CONSTRUCTED OR CONTINGENCY FOR SUCH A STATION IS INCLUDED ON THE DEVELOPMENT PLANS.</p> <p>APPLICANT MUST REQUIRE AT LEAST THE SAME LEVEL OF SERVICE (CURRENT OR FUTURE) TO ITS RESIDENTS AS THAT PROVIDED BY ORANGE COUNTY.</p> <p>COUNTY FEES FOR RECYCLING AND WASTE MANAGEMENT ASSOCIATED WITH THIS PROJECT/PROPERTY WILL NOT BE WAIVED.</p> <p>APPLICANT AGREES TO ENTER INTO A SERVICE AGREEMENT WITH A PRIVATE SOLID WASTE/RECYCLING COLLECTION CONTRACTOR THAT IS ACCEPTABLE TO ORANGE COUNTY. FURTHER, THE AGREEMENT SHALL PROVIDE FOR THE COLLECTION AND RECYCLING OF CORRUGATED CARDBOARD IN ADDITION TO THE OTHER CO-MINGLED RECYCLABLES AND AN EXECUTED COPY OF THE AGREEMENT SHALL BE PROVIDED TO AND APPROVED BY ORANGE COUNTY PRIOR TO APPROVAL OF FINAL CONSTRUCTION PLANS FOR THE PROPERTY/PROJECT.</p>	
<p>INSPECTION NOTES</p>	
<p>1. ADDRESS NUMBERS MUST BE A MINIMUM OF 6 INCHES HIGH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. REFLECTIVE NUMBERS ARE PREFERRED AND REQUIRED ON FRONT AND REAR DOORS OF STRIP SHOPPING CENTERS. WHEN THE DISTANCE FROM THE STREET OR FIRE DEPARTMENT ACCESS LANE TO THE FRONT OR ADDRESS SIDE OF THE BUILDING EXCEEDS 25 FEET, LARGER NUMBERS ARE REQUIRED. 26 FEET TO 50 FEET SHALL HAVE 8 INCH NUMBERS, 51-75 FEET SHALL HAVE 12 INCH NUMBERS AND OVER 75 FEET SHALL HAVE 18 INCH NUMBERS. WHERE ACCESS IS BY PRIVATE MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.</p> <p>2. CURB AND GUTTER AND AT LEAST THE FIRST LIFT OF ASPHALT FOR THE ROADS MUST BE DOWN AHEAD OF CONSTRUCTION.</p> <p>3. KEY BOXES SHALL BE REQUIRED ON ANY BUILDING THAT HAS A FIRE ALARM SYSTEM, A FIRE SPRINKLER SYSTEM, AN ELEVATOR, OR SPECIAL LOCKING ARRANGEMENTS. THE KEY BOX SHALL BE OF AN APPROVED TYPE AS REQUIRED FROM THE CHAPEL HILL FIRE DEPARTMENT. THE SIZE OF THE KEY BOX WILL BE DETERMINED BY THE NUMBER OF KEYS NECESSARY TO MITIGATE ANY EMERGENCY SITUATION BASED ON THE BUILDING AND ITS OCCUPANCY. AN APPROVED LOCK SHALL BE INSTALLED ON GATES OR SIMILAR BARRIERS WHEN REQUIRED BY THE FIRE CODE OFFICIAL. KEYS SHALL BE CHANGED OUT IMMEDIATELY IF THE LOCKS ARE CHANGED OR REKEYED</p> <p>4. OWASA REQUIRES A LEAD-FREE RPZ WITH BYPASS FOR THE BACKFLOW PROTECTION. ENSURE AT LEAST 18 INCHES OF WORKING CLEARANCE IS PROVIDED AROUND OR MORE IF MANUFACTURER'S INSTRUCTIONS REQUIRE MORE.</p> <p>5. DEMOLITION OF THE EXISTING STRUCTURES WILL REQUIRE AN ASBESTOS TEST PRIOR TO DEMOLITION AND A SECOND ASBESTOS TEST OF THE SOIL AFTER THEY HAVE BEEN REMOVED.</p> <p>6. THE PROPOSED BUILDINGS SHALL BE PROTECTED BY NFPA 13 SPRINKLER SYSTEM</p> <p>7. FIRE HYDRANTS MUST BE FULLY OPERATIONAL AND PHYSICALLY APPROVED BY OWASA BEFORE COMBUSTIBLE MATERIALS CAN BE BROUGHT ONTO THE SITE.</p> <p>8. ANY RETAINING WALLS OVER FIVE (5) FEET HIGH SHALL BE PERMITTED SEPARATELY FROM THE BUILDING(S) AND MUST BE SIGNED BY A DESIGN PROFESSIONAL.</p>	
<p>FIRE DEPARTMENT NOTES</p>	
<p>1. FIRE APPARATUS ACCESS ROADS; ANY FIRE APPARATUS ACCESS ROADS, ANY PUBLIC/PRIVATE STREET, PARKING LOT ACCESS, FIRE LANES AND ACCESS ROADWAYS, USED FOR FIRE DEPARTMENT ACCESS SHALL BE ALL WEATHER AND DESIGNED TO CARRY THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 80,000 LBS. FIRE APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM WIDTH OF 20' EXCLUSIVE OF SHOULDERS WITH AN OVERHEAD CLEARANCE OF AT LEAST 13'-6" FOR STRUCTURES NOT EXCEEDING 30' IN HEIGHT AND SHALL PROVIDE ACCESS TO WITHIN 150' OF ALL EXTERIOR PORTIONS OF THE BUILDING. STRUCTURES EXCEEDING 30' IN HEIGHT SHALL BE PROVIDED WITH AN AERIAL APPARATUS ACCESS ROAD 26' IN WIDTH IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF AND SHALL PROVIDE AT LEAST ONE OF THE REQUIRED ACCESS ROADS TO BE LOCATED NOT LESS THAN 15' AND NOT MORE THAN 30' FROM THE STRUCTURE PARALLEL TO ONE ENTIRE SIDE OF THE STRUCTURE. NC FPC 2012 502.1,503.1.1, 503.2.1, D102.1</p> <p>2. GRADE AND APPROACH; FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10% IN GRADE UNLESS APPROVED BY THE FIRE CHIEF AND ALL APPROACH AND DEPARTURE ANGLES SHALL BE WITHIN THE LIMITS ESTABLISHED BASED ON THE DEPARTMENT'S APPARATUS. NC FPC 2012, 503.2.7, 503.2.8 and D103.2</p> <p>3. GATES AND BARRICADES; WHERE REQUIRED OR AUTHORIZED BY THE FIRE CODE OFFICIAL AND PERMANENT OR TEMPORARY CONSTRUCTION, ANY GATES ACROSS FIRE APPARATUS ACCESS ROADS SHALL BE A MINIMUM WIDTH OF 20 FEET, BE OF SWINGING OR SLIDING TYPE, HAVE AN EMERGENCY MEANS OF OPERATION, SHALL BE OPENABLE BY EITHER FORCIBLE ENTRY OR KEYED, CAPABLE OF BEING OPERATED BY ONE PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL 325 and ASTM F 2200. NC FPC 2012, 503.5, 503.6, D103.5</p> <p>4. FIRE LANES; WHERE REQUIRED, APPROVED MARKING SIGNS INCLUDING THE WORDS, NO PARKING-FIRE LANE SIGNS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS. NC FPC 2012, 503.3, D103.6, D103.6.1, D103.6.2</p> <p>5. PREMISE IDENTIFICATION; APPROVED BUILDING ADDRESS NUMBERS, PLACED IN ACCEPTABLE POSITION TO THE FIRE CODE OFFICIAL, SHALL BE REQUIRED ON ALL NEW BUILDINGS. NC FPC 2012, 505.1</p> <p>6. KEY BOXES; WHERE REQUIRED BY THE FIRE CODE OFFICIAL, A SECURE KEY BOX, MOUNTED ON THE ADDRESS SIDE OF THE BUILDING, NEAR THE MAIN ENTRANCE, SHALL BE PROVIDED TO ENSURE ADEQUATE ACCESS TO THE BUILDING BASED ON LIFE SAFETY AND/OR FIRE PROTECTION NEEDS. NC FPC 2012, 506</p> <p>7. FIRE HYDRANTS; THE ADDITION OF ANY REQUIRED HYDRANTS TO SERVE THE SUBMITTED BUILDING MUST FLOW A MINIMUM OF 2500 GPM PER TOWN ENGINEERING STANDARDS UNLESS APPROVED BY THE FIRE CODE OFFICIAL. THE FARTHEST HYDRANT SERVING A PROPOSED STRUCTURE MUST BE NO MORE THAN 500 FEET DISTANT. A MAXIMUM DISTANCE OF 500 FEET SPACING BETWEEN HYDRANTS MUST BE MAINTAINED UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL. LESSER SPACING DISTANCES MAY BE REQUIRED. A MINIMUM WORKING SPACE OF 3 FEET MUST BE MAINTAINED AROUND ALL HYDRANTS. WHERE HYDRANTS ARE SUBJECT TO PHYSICAL IMPACT, PHYSICAL PROTECTION MAY BE REQUIRED, NC FPC 2012, 507.5.6. THE MINIMUM NUMBER OF REQUIRED HYDRANTS AND THEIR SPACING MUST MEET NC FPC 2012, APPENDIX C, TABLE C 105.1</p> <p>8. FIRE DEPARTMENT CONNECTIONS, LOCATIONS; ANY REQUIRED FDCS FOR ANY BUILDINGS SHALL MEET THE DESIGN AND INSTALLATION REQUIREMENTS FOR THE CURRENT, APPROVED EDITION OF NFPA 13, 13D, 13R, OR 14 OF THE NC FPC 2012 AND TOWN ORDINANCES; 7-38 FOR LOCATION. FDCS SHALL BE INSTALLED ON THE STREET/ ADDRESS SIDE OF THE BUILDING AND WITHIN 100' OF A HYDRANT OR UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL AND SHALL NOT BE OBSTRUCTED OR HINDERED BY PARKING OR LANDSCAPING. FDC'S SHALL BE EQUIPPED WITH NST.</p> <p>9. FIRE DEPARTMENT CONNECTIONS, INSTALLATION; A WORKING SPACE OF NOT LESS THAN 36 INCHES IN WIDTH AND DEPTH AND A WORKING SPACE OF 78 INCHES IN HEIGHT SHALL BE PROVIDED ON ALL SIDES WITH THE EXCEPTION OF WALL MOUNTED FDC'S UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL. THE FDC'S WHERE REQUIRED MUST BE PHYSICALLY PROTECTED BY AN APPROVED BARRIER FROM IMPACTS. NC FPC 2012, 912.1, 912.2 912.2.1, 912.3.2, 312</p> <p>10. ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING. THIS SECTION SHALL NOT REQUIRE IMPROVEMENT OF THE EXISTING PUBLIC SAFETY COMMUNICATION SYSTEMS.</p> <p>11. FENCING AROUND PROJECTS SHALL INCLUDE ACCESS GATES WITH A 20-FOOT SWING OR SLIDE MOTION. ANY AREAS WHICH WILL BE INACCESSIBLE FOR FIREFIGHTING OR RESCUE OPERATIONS SHALL BE NOTED. EMERGENCY ACCESS DESIGNATION FOR APPARATUS SHALL BE PROVIDED. 2018 NCFC SECTION 503, APPENDIX D.</p> <p>12. DURING CONSTRUCTION, VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT, AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. 2018 NCFC SECTION 505.2</p>	

ARHEEL LODGING REDEVELOPMENT PHASE 2

1721 CORDOVA BLVE.
CHAPEL HILL, NC

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EEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC

6110 FALCON BRIDGE ROAD
CHARLOTTE, NORTH CAROLINA 28217

CHAPEL HILL, NC 27517

Utilities

MOBILE: (919) 357-7631
opment-planning.asp

47-1288
buildng/builders-contractors

PHONE: 919-537-4201

PHONE: 919-573-7077

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FROM ALL CLAIMS, DAMAGES AND EXPENSES
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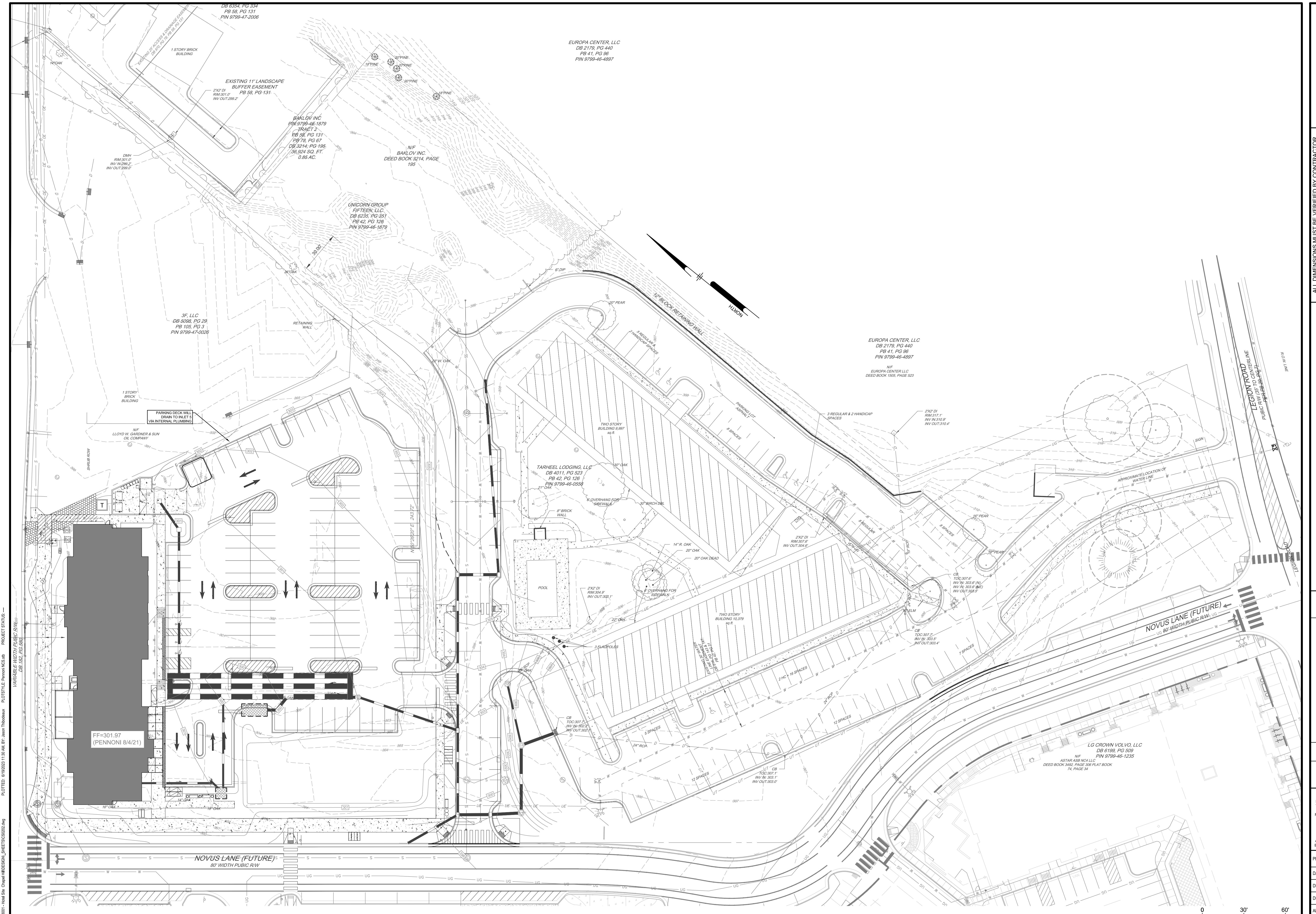
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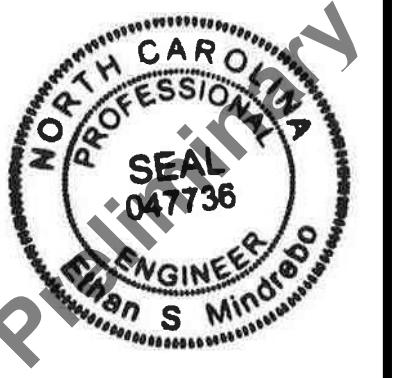
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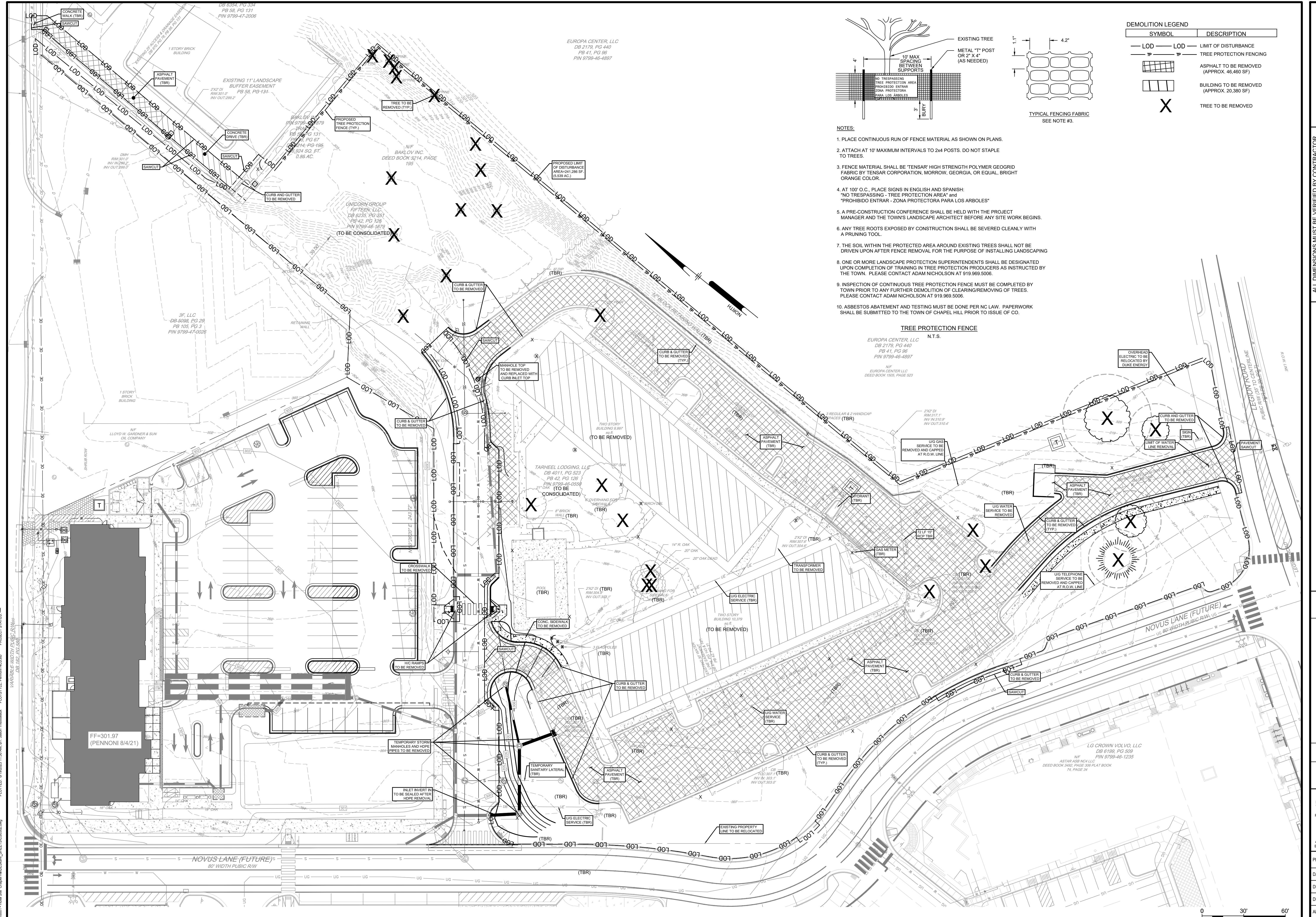
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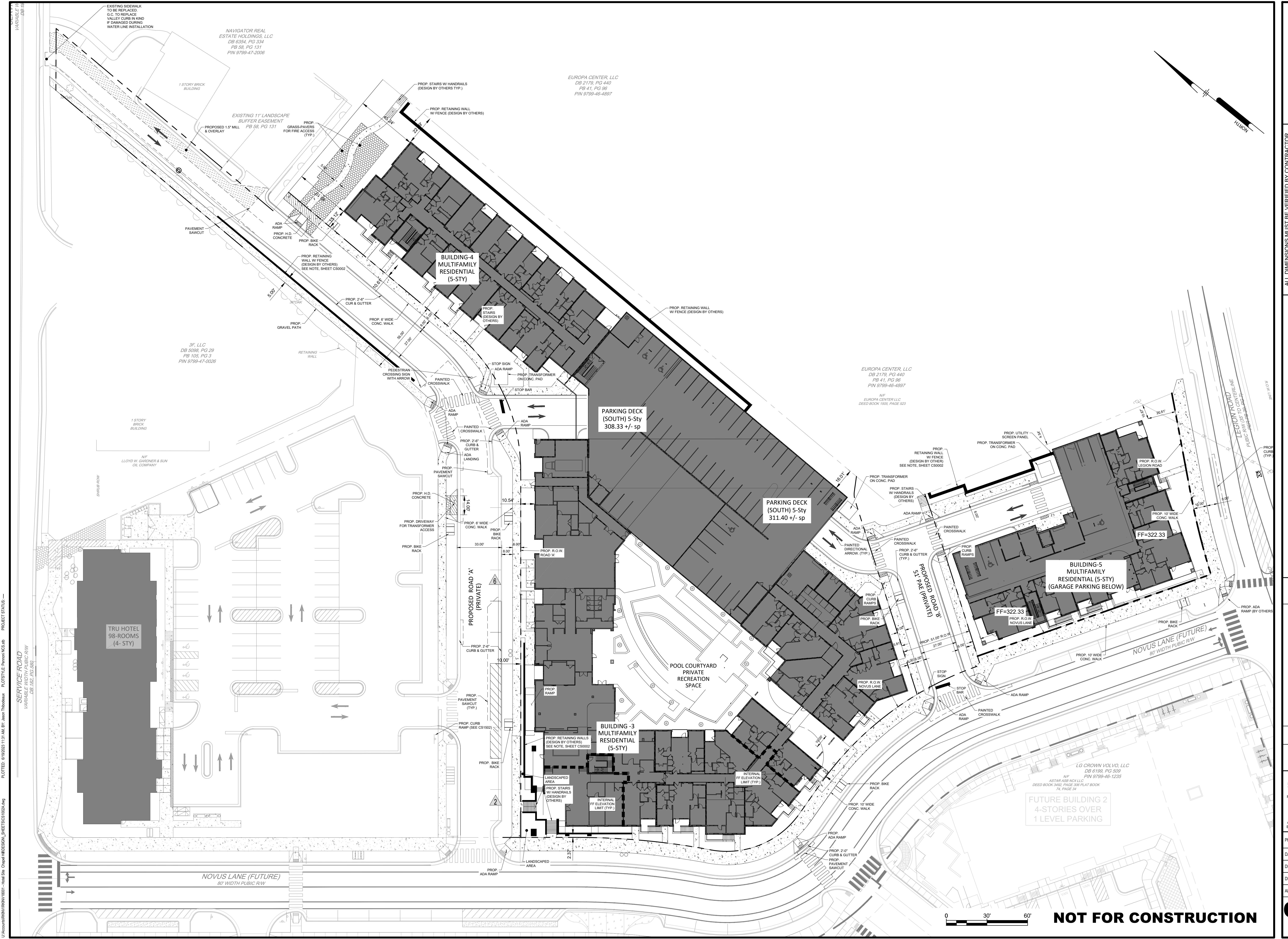
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DATE	2018-05-21		
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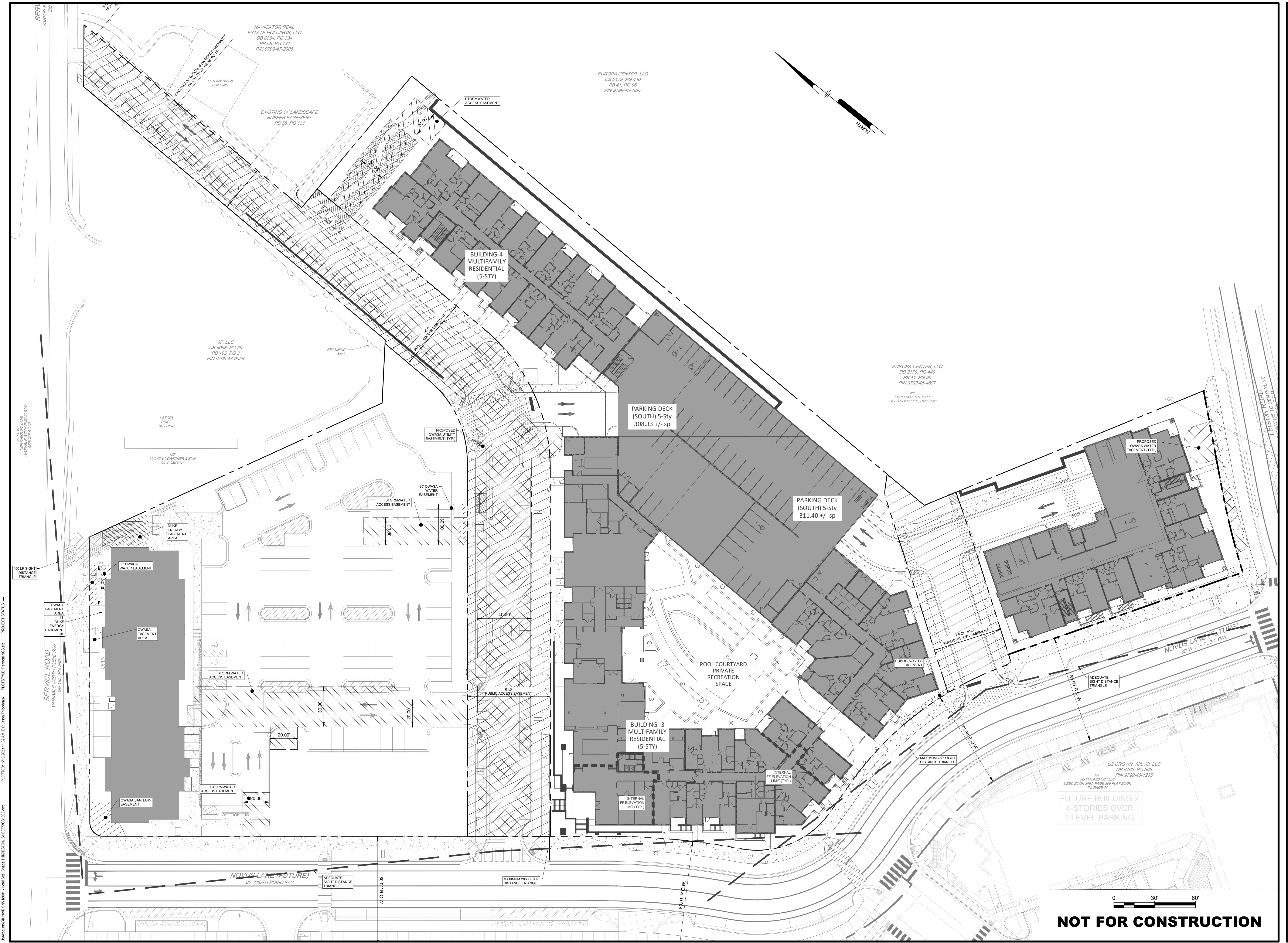
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