

SITE DATA:

ZONING: EF (WX-7)  
MAX. HEIGHT LIMIT: WX-7 = 90 FT.  
  
PROPOSED HEIGHTS: PHASE 1 = 51 FT.; PHASE 2 = 76 FT.

AREA: GLA = 303,787 SF; NLA = 276,170 SF - 59,130 SF ROW DEDICATION = 217,040 SF  
PROPOSED DISTURBED AREA = 408,954 SF (PHASE-1 115,819; PHASE-2 241,086 SF.)

IMPERVIOUS SURFACE AREA: 147,877 (EXISTING)  
  
WITHIN NLA = 171,559 SF (PROPOSED)  
  
WITHIN PARCEL(WITH R/W DEDICATION) = 216,801 SF (PROPOSED)

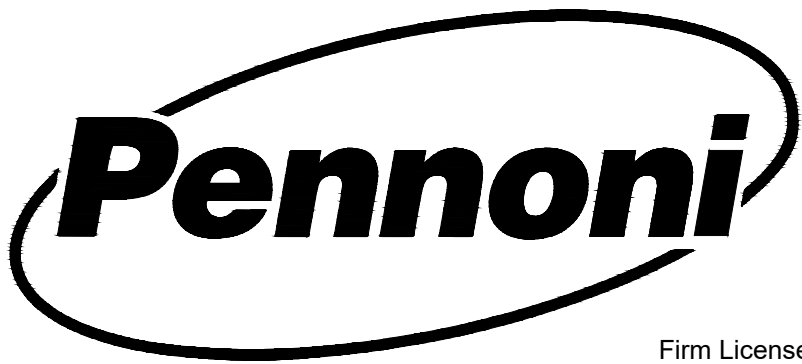
SEE SHEETS CS1401 AND CS1402 FOR ZONING CRITERIA.

TARHEEL LODGING REDEVELOPMENT PHASE 2  
  
BLUE HILL FORM DISTRICT PERMIT

TOWN OF CHAPEL HILL, ORANGE COUNTY, N.C.  
2023-06-16

PREPARED FOR:  
OWNER/DEVELOPER  
TARHEEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC  
(ATTN: NEIL KAPADIA AND MANISH ATMA)  
6110 FALCONBRIDGE ROAD, SUITE 200  
CHAPEL HILL NC 27517

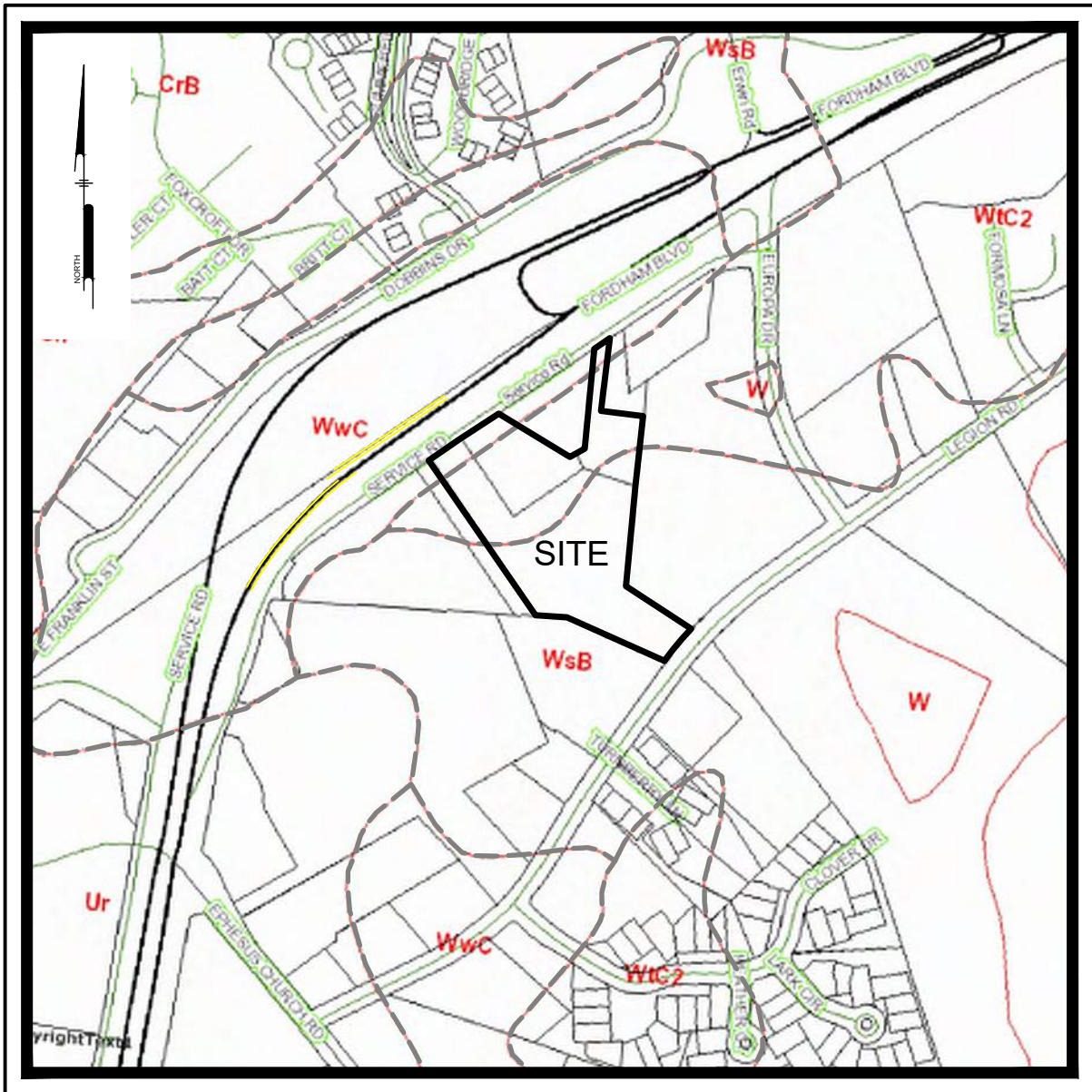
PREPARED BY:  
PENNONI ASSOCIATES INC.



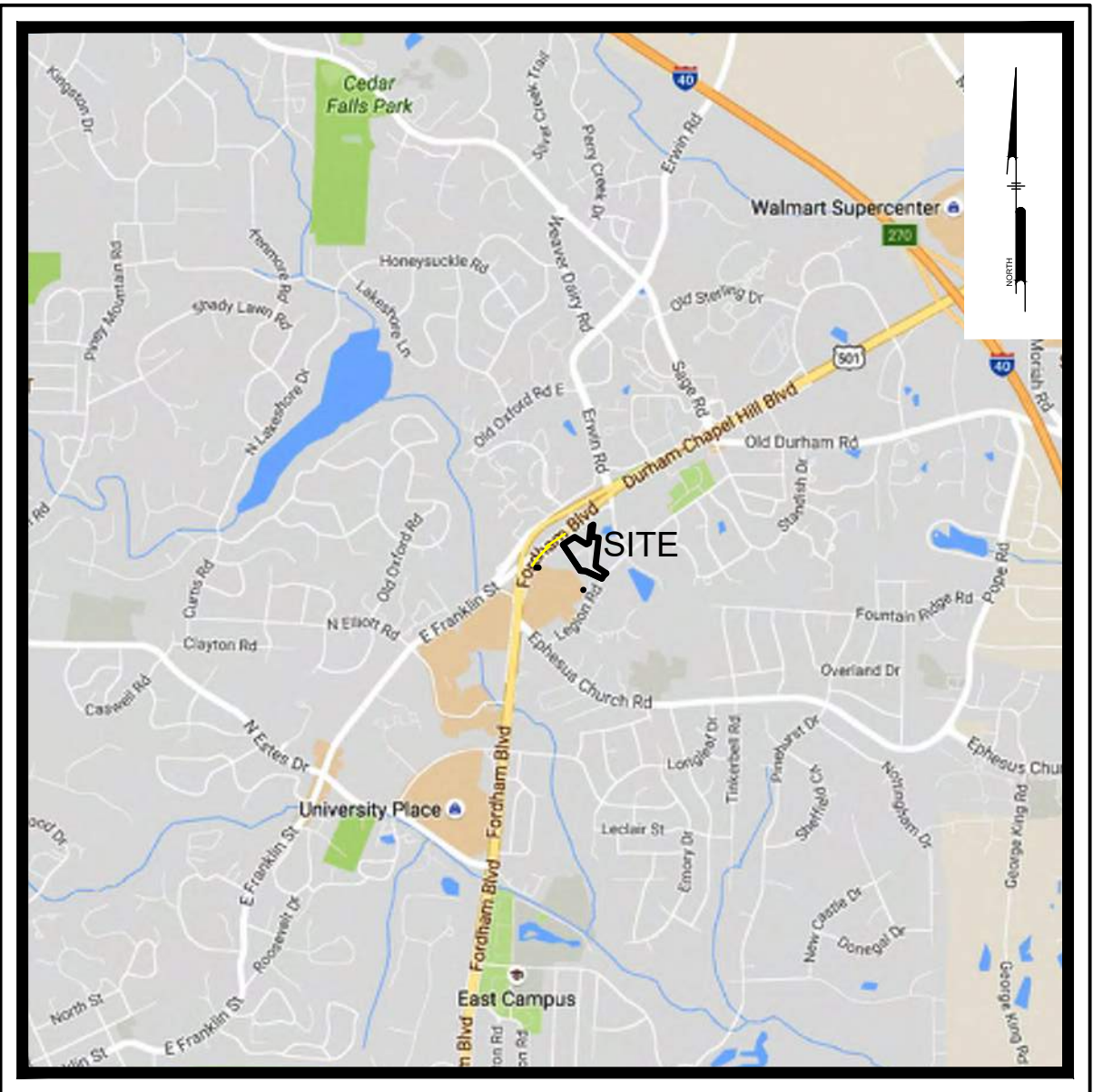
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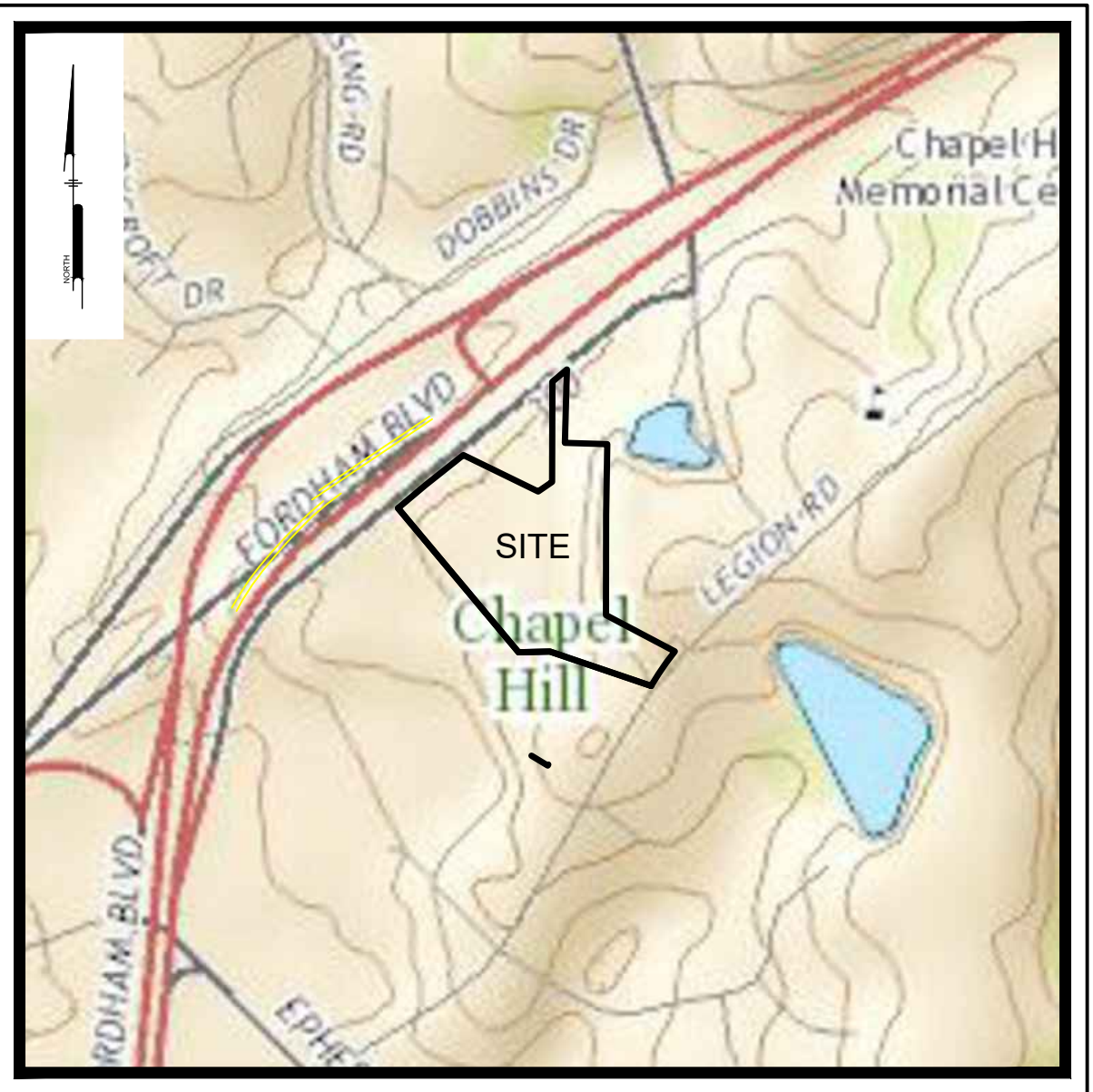
Sheet List Table		
Sheet Number	Sheet Title	Sheet Description
1	CS0001	COVER SHEET
2	CS0002	GENERAL NOTES AND LEGEND
3	CS0202	EXISTING CONDITIONS PHASE 2A
4	CS0502	DEMOLITION PLAN - PHASE 2A
5	CS0503	TREE PROTECTION/STEEP SLOPES PLAN
6	CS1002A	SITE PLAN PHASE 2A
7	CS1002B	SITE PLAN PHASE 2B
8	CS1003	EASEMENT AND ROW PLAN
9	CS1402	ZONING PLAN PHASE II
10	CS1502A	GRADING PLAN PHASE 2A
11	CS1502B	GRADING PLAN PHASE 2B
12	CS1702A	UTILITY PLAN PH2A
13	CS1702B	UTILITY PLAN PH2B
14	CS2002	STREETSCAPE AND BICYCLE PARKING PLAN
15	CS2100	OAS PLAN PHASE II
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17	CS2104	OAS-4 LAYOUT AND PLANTING PLAN
18	CS2107	OAS-7 LAYOUT AND PLANTING PLAN
19	CS2108	OAS-8 LAYOUT AND PLANTING PLAN
20	CS2202	PLANTING PLAN PHASE II REQUIRED PLANTINGS
21	CS2301	EMERGENCY VEHICLE ACCESS PLAN
22	CS2302	SOLID WASTE COLLECTION PLAN
23	CS3501	PROPOSED ROAD PROFILES
24	CS3502	ROAD 'A' CROSS SECTIONS
25	CS3504	WORK ZONE TRAFFIC CONTROL PLAN - PHASE 2
26	CS6001	SITE DETAILS
27	CS6002	SITE DETAILS
28	CS6021	DRAINAGE DETAILS
29	CS6022	DRAINAGE DETAILS
30	CS6041	WATER DETAILS
31	CS6042	WATER DETAILS
32	CS6051	SANITARY DETAILS
33	CS7001	STREETSCAPE DETAILS
34	CS7101	PLANTING DETAILS AND MAINTENANCE PLAN
35	CS8001	EROSION AND SEDIMENT CONTROL PLAN PHASE 2A-1
36	CS8002	EROSION AND SEDIMENT CONTROL PLAN PHASE 2A-2
37	CS8501	EROSION AND SEDIMENTATION NOTES
38	CS8502	EROSION AND SEDIMENTATION DETAILS
39	CS8503	EROSION AND SEDIMENTATION DETAILS



SOILS MAP  
Scale: 1" = 500'



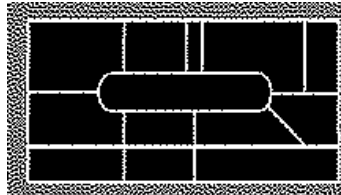
LOCATION MAP  
1" = 3000'



USGS MAP  
Scale: 1" = 500'



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PENNONI ASSOCIATES INC.  
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DISCREPANCIES BEFORE PROCEEDING WITH WORK



TARHEEL LODGING REDEVELOPMENT PHASE 2

1742 FORDHAM BLVD.  
CHAPEL HILL, NC

COVER SHEET

TARHEEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC

6110 FALCON BRIDGE ROAD  
CHAPEL HILL, NC 27517

NO.	DATE	REVISIONS	BY
23	4/28/2023	PHASE 2 MODIFICATIONS	DTR

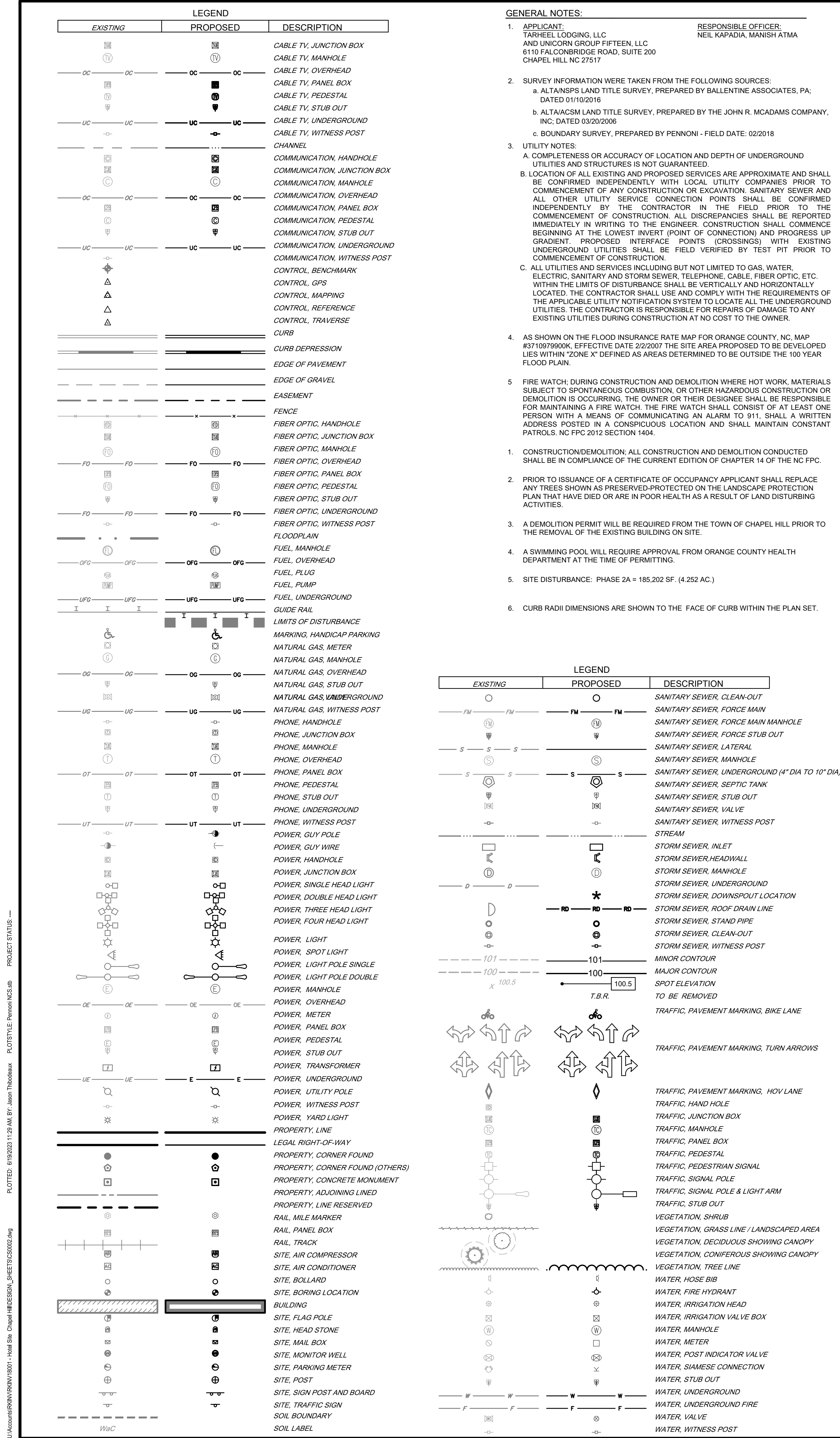
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PROJECT	RKINV18001
DATE	2018/05/21
DRAWING SCALE	AS SHOWN
DRAWN BY	CSB
APPROVED BY	ESM

CS0001  
SHEET 1 OF 39



U:\Accounting\RKINV\18001 - RkInv.dwg Plot Date: 04/26/2023 11:29 AM BY: Adam Thibodeau PLOT STYLE: Penmon.ctb



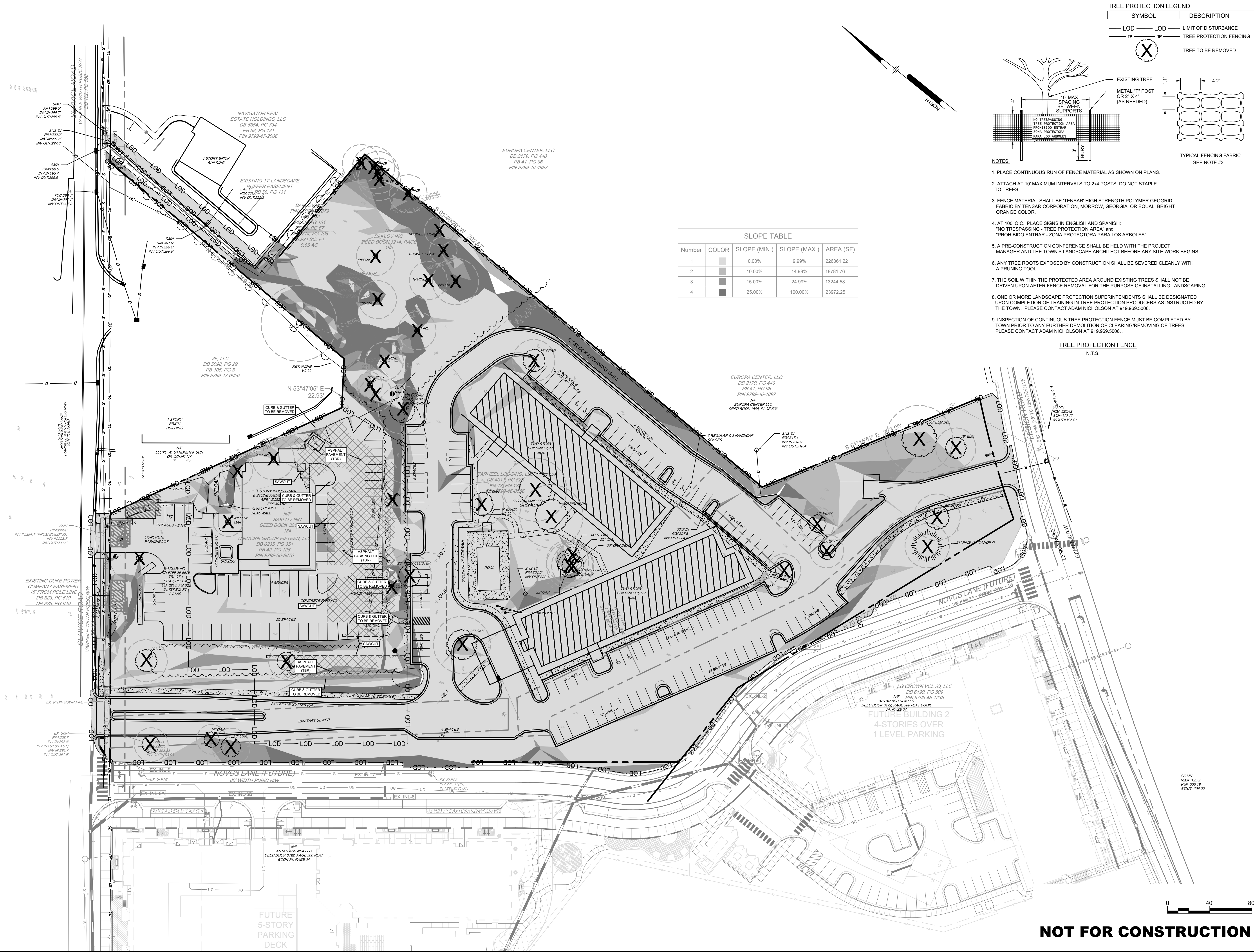




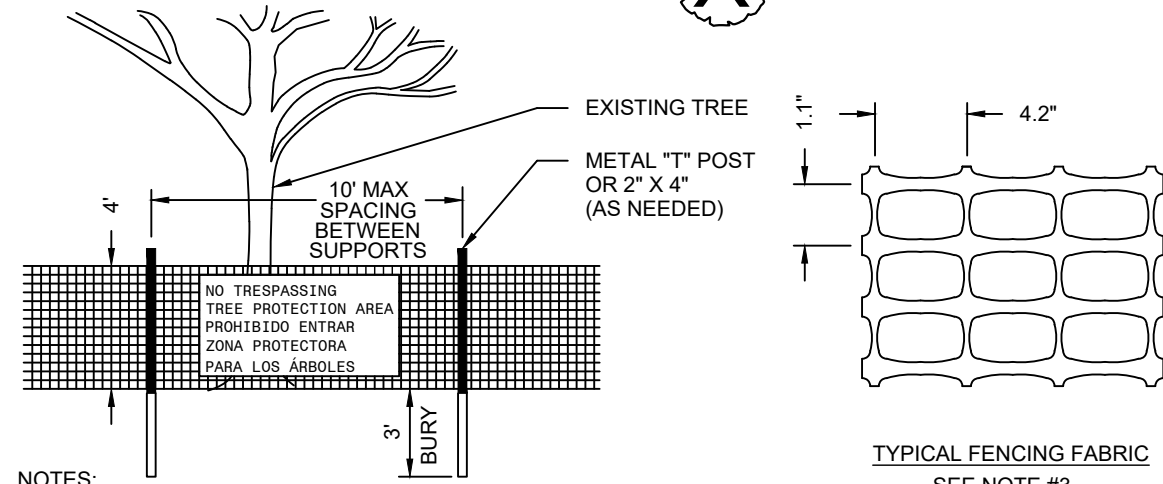








TREE PROTECTION LEGEND	
SYMBOL	DESCRIPTION
— LOD —	LIMIT OF DISTURBANCE
— TP —	TREE PROTECTION FENCING
(X)	TREE TO BE REMOVED



- NOTES:
1. PLACE CONTINUOUS RUN OF FENCE MATERIAL AS SHOWN ON PLANS.
  2. ATTACH AT 10' MAXIMUM INTERVALS TO 2x4 POSTS. DO NOT STAPLE TO TREES.
  3. FENCE MATERIAL SHALL BE 'TENSAR' HIGH STRENGTH POLYMER GEOGRID FABRIC BY TENSAR CORPORATION, MORROW, GEORGIA, OR EQUAL, BRIGHT ORANGE COLOR.
  4. AT 100' O.C. PLACE SIGNS IN ENGLISH AND SPANISH: "NO TRESPASSING - TREE PROTECTION AREA" and "PROHIBIDO ENTRAR - ZONA PROTECTORA PARA LOS ARBOLES"
  5. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PROJECT MANAGER AND THE TOWN'S LANDSCAPE ARCHITECT BEFORE ANY SITE WORK BEGINS.
  6. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
  7. THE SOIL WITHIN THE PROTECTED AREA AROUND EXISTING TREES SHALL NOT BE DRIVEN UPON AFTER FENCE REMOVAL FOR THE PURPOSE OF INSTALLING LANDSCAPING.
  8. ONE OR MORE LANDSCAPE PROTECTION SUPERINTENDENTS SHALL BE DESIGNATED UPON COMPLETION OF TRAINING IN TREE PROTECTION PRODUCERS AS INSTRUCTED BY THE TOWN. PLEASE CONTACT ADAM NICHOLSON AT 919.969.5006.
  9. INSPECTION OF CONTINUOUS TREE PROTECTION FENCE MUST BE COMPLETED BY TOWN PRIOR TO ANY FURTHER DEMOLITION OF CLEARING/REMOVING OF TREES. PLEASE CONTACT ADAM NICHOLSON AT 919.969.5006.

TREE PROTECTION FENCE  
N.T.S.

SLOPE TABLE				
Number	COLOR	SLOPE (MIN.)	SLOPE (MAX.)	AREA (SF)
1		0.00%	9.99%	226361.22
2		10.00%	14.99%	18781.76
3		15.00%	24.99%	13244.58
4		25.00%	100.00%	23872.25

TARHEEL LODGING REDEVELOPMENT PHASE 2

1742 FORHAM BLVD.  
CHAPEL HILL, NC

TREE PROTECTION/STEEP SLOPES PLAN

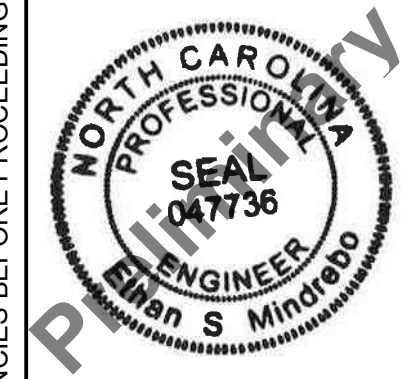
TARHEEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC

6110 FALCON BRIDGE ROAD  
CHAPEL HILL, NC 27517

DATE	NO.	REVISIONS	BY
4/28/2023	23	PHASE 2 MODIFICATIONS	DTR

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PROJECT	RKINV18001
DATE	2018/05/23
DRAWING SCALE	1" = 40'
DRAWN BY	RLM/CSB
APPROVED BY	ESM

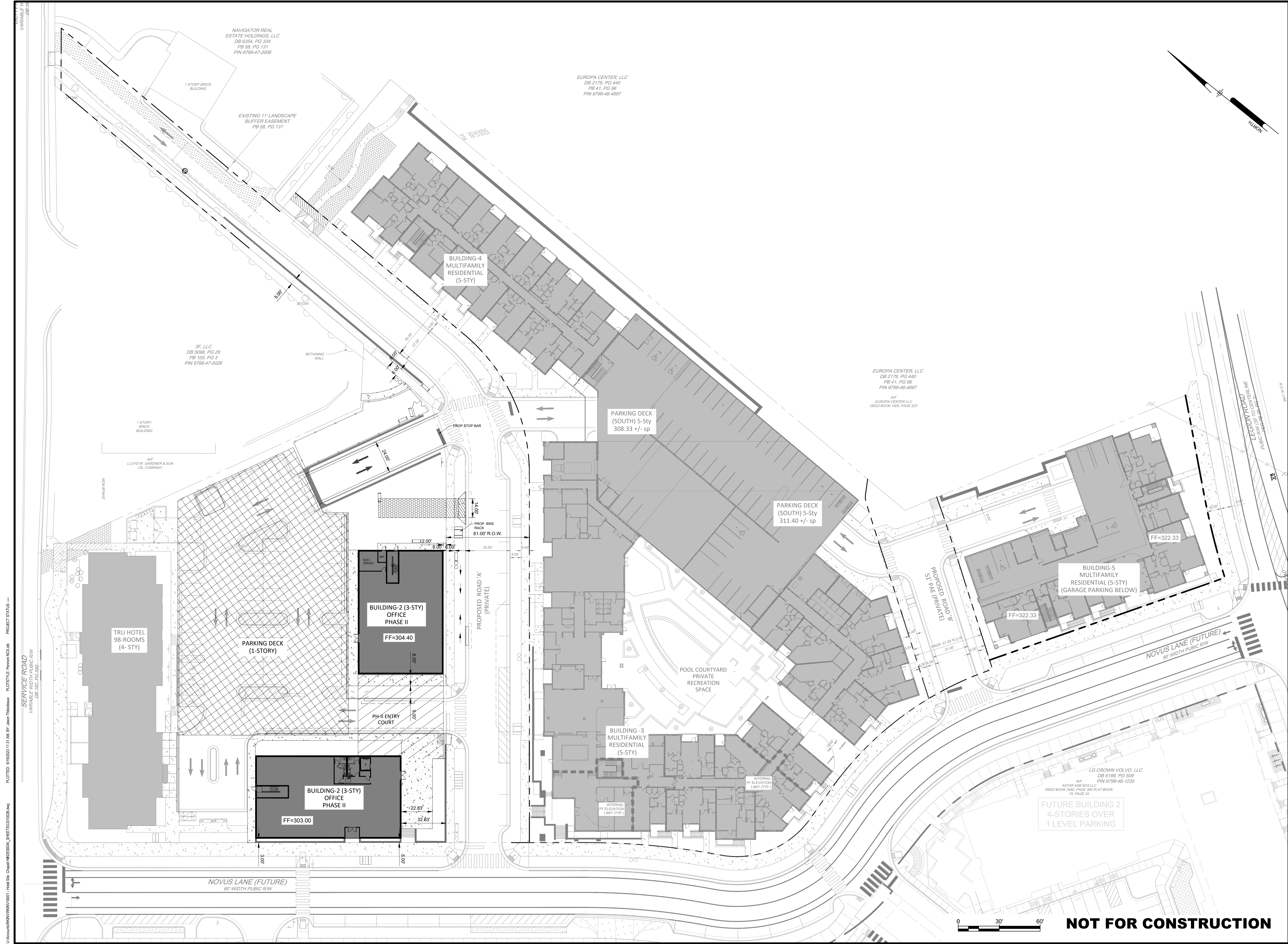


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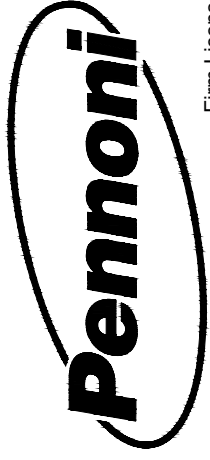









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F-1287

**PENNONI ASSOCIATES INC.**  
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**TARHEEL LODGING REDEVELOPMENT PHASE 2**  
1742 FORHAM BLVD.  
CHAPEL HILL, NC

**SITE PLAN PHASE 2B**

**TARHEEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC**  
6110 FALCON BRIDGE ROAD  
CHAPEL HILL, NC 27517

DATE		NO.		REVISIONS	
DATE	NO.	REVISIONS	BY	DTR	BY
4/28/2023	23	PHASE 2 MODIFICATIONS			

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PROJECT **RKINV18001**

DATE 2018/05/23

DRAWING SCALE **AS SHOWN**

DRAWN BY **DTR**

APPROVED BY **ESM**

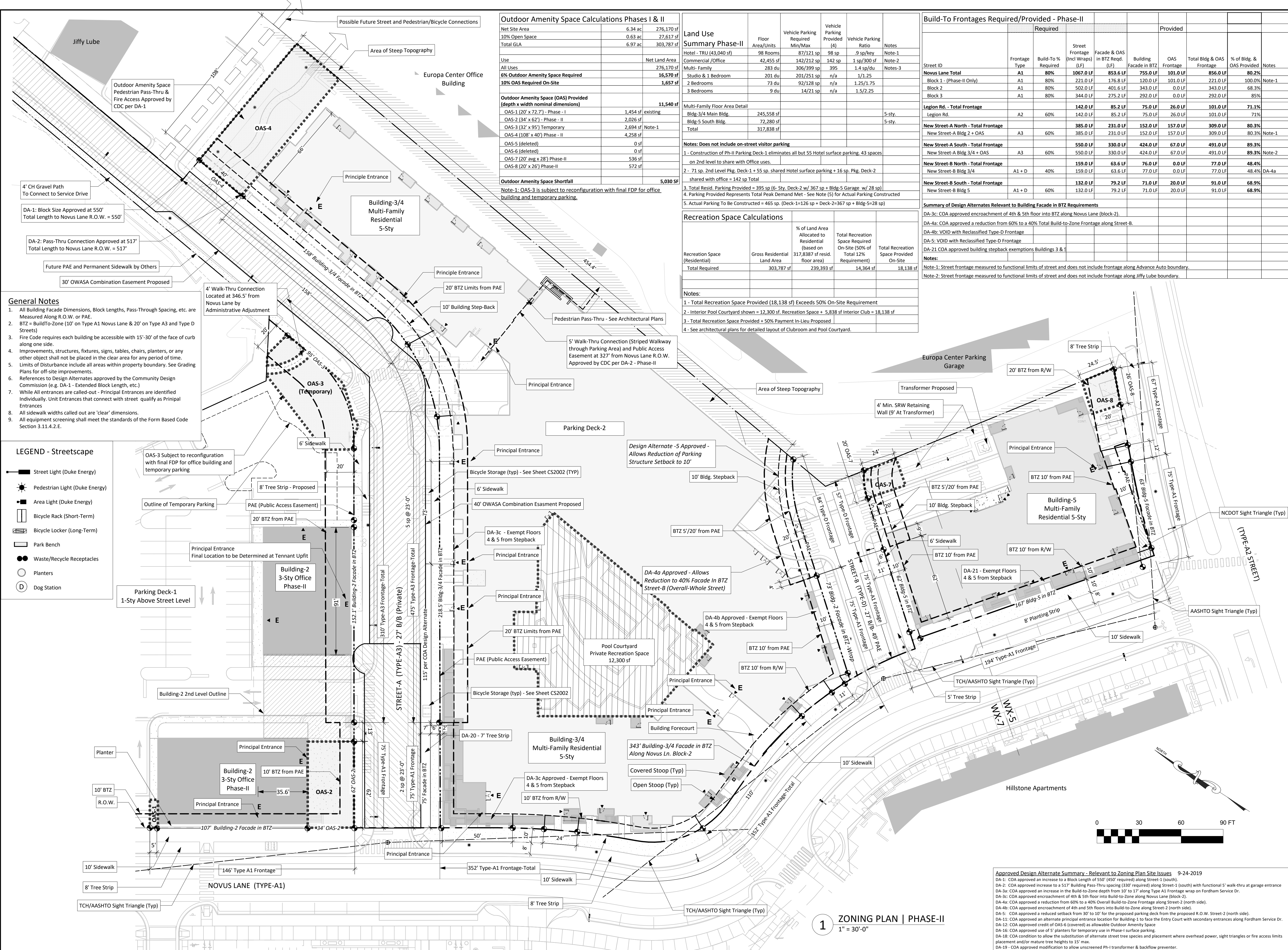
**CS1002B**

SHEET 7 OF 39









- General Notes**
1. All Building Facade Dimensions, Block Lengths, Pass-Through Spacing, etc. are Measured Along R.O.W. or PAE.
  2. BTZ = Build-To-Zone (10' on Type A1 Novus Lane & 20' on Type A3 and Type D Streets)
  3. Fire Code requires each building be accessible with 15'-30' of the face of curb along one side.
  4. Improvements, structures, fixtures, signs, tables, chairs, planters, or any other object shall not be placed in the clear area for any period of time.
  5. Limits of Disturbance include all areas within property boundary. See Grading Plans for off-site improvements.
  6. References to Design Alternates approved by the Community Design Commission (e.g. DA-1 - Extended Block Length, etc.)
  7. While all entrances are called-out - Principal Entrances are identified individually. Unit Entrances that connect with street qualify as Principal Entrances.
  8. All sidewalk widths called out are 'clear' dimensions.
  9. All equipment screening shall meet the standards of the Form Based Code Section 3.11.4.2.E.

- LEGEND - Streetscape**
- Street Light (Duke Energy)
  - Pedestrian Light (Duke Energy)
  - Area Light (Duke Energy)
  - Bicycle Rack (Short-Term)
  - Bicycle Locker (Long-Term)
  - Park Bench
  - Waste/Recycle Receptacles
  - Planters
  - Dog Station

**Outdoor Amenity Space Calculations Phases I & II**

Net Site Area	6.34 ac	276,170 sf
10% Open Space	0.63 ac	27,617 sf
Total GLA	6.97 ac	303,787 sf
Use		Net Land Area
All Uses		276,170 sf
6% Outdoor Amenity Space Required		16,570 sf
10% OAS Required On-Site		1,657 sf
Outdoor Amenity Space (OAS) Provided (depth x width nominal dimensions)		11,540 sf
OAS-1 (20' x 72.7') - Phase - I	1,454 sf	existing
OAS-2 (34' x 62') - Phase - II	2,026 sf	
OAS-3 (32' x 95') Temporary	2,694 sf	Note-1
OAS-4 (108' x 40') Phase - II	4,258 sf	
OAS-5 (deleted)	0 sf	
OAS-6 (deleted)	0 sf	
OAS-7 (20' avg x 28') Phase-II	536 sf	
OAS-8 (20' x 26') Phase-II	572 sf	
Outdoor Amenity Space Shortfall		5,030 sf

Note-1: OAS-3 is subject to reconfiguration with final FDP for office building and temporary parking.

**Land Use Summary Phase-II**

Floor Area/Units	Vehicle Parking Required Min/Max	Vehicle Parking Provided (4)	Vehicle Parking Ratio	Notes
Hotel - TRU (43,040 sf)	98 Rooms	87/121 sp	98 sp	Note-1
Commercial/Office	42,455 sf	142/212 sp	142 sp	Note-2
Multi-Family	289 du	306/399 sp	395	Note-3
Studio & 1 Bedroom	201 du	201/251 sp	n/a	
2 Bedrooms	73 du	92/128 sp	1.25/1.75	
3 Bedrooms	9 du	14/21 sp	1.5/2.25	
Multi-Family Floor Area Detail				
Bldg-3/4 Main Bldg.	245,558 sf			5-sty.
Bldg-5 South Bldg.	72,280 sf			5-sty.
Total	317,838 sf			

**Notes: Does not include on-street visitor parking**

- 1 - Construction of Ph-II Parking Deck-1 eliminates all but 55 Hotel surface parking. 43 spaces on 2nd level to share with Office uses.
- 2 - 71 sp. 2nd Level Pkg. Deck-1 + 55 sp. shared Hotel surface parking + 16 sp. Pkg. Deck-2 shared with office = 142 sp Total
3. Total Resid. Parking Provided = 395 sp (6-Sty. Deck-2 w/ 367 sp + Bldg-5 Garage w/ 28 sp)
4. Parking Provided Represents Total Peak Demand Met - See Note (5) for Actual Parking Constructed
5. Actual Parking To Be Constructed = 465 sp. (Deck-1=126 sp + Deck-2=367 sp + Bldg-5=28 sp)

**Recreation Space Calculations**

Recreation Space (Residential)	Gross Residential Land Area	% of Land Area Allocated to Residential (Based on 317,838 sf resid. floor area)	Total Recreation Space Required On-Site (50% of Total 12% Requirement)	Total Recreation Space Provided On-Site
Total Required	303,787 sf	239,393 sf	14,364 sf	18,138 sf

**Notes:**

- 1 - Total Recreation Space Provided (18,138 sf) Exceeds 50% On-Site Requirement
- 2 - Interior Pool Courtyard shown = 12,300 sf. Recreation Space + 5,838 sf Interior Club = 18,138 sf
- 3 - Total Recreation Space Provided + 50% Payment In-Lieu Proposed
- 4 - See architectural plans for detailed layout of Clubroom and Pool Courtyard.

**Build-To Frontages Required/Provided - Phase-II**

Street ID	Frontage Type	Build-To % Required	Street Frontage (Inc Wraps) (LF)	Facade & OAS in BTZ Req'd. (LF)	Building Facade in BTZ (LF)	OAS Frontage (LF)	Total Bldg & OAS Frontage (LF)	% of Bldg. & OAS Provided	Notes
<b>Novus Lane Total</b>	<b>A1</b>	<b>80%</b>	<b>1067.0 LF</b>	<b>853.8 LF</b>	<b>755.0 LF</b>	<b>101.0 LF</b>	<b>856.0 LF</b>	<b>80.2%</b>	
Block 1 - (Phase-II Only)	A1	80%	221.0 LF	176.8 LF	120.0 LF	101.0 LF	221.0 LF	100.0%	Note-1
Block 2	A1	80%	502.0 LF	401.6 LF	343.0 LF	0.0 LF	343.0 LF	68.3%	
Block 3	A1	80%	344.0 LF	275.2 LF	292.0 LF	0.0 LF	292.0 LF	85%	
<b>Legion Rd. - Total Frontage</b>			<b>142.0 LF</b>	<b>85.2 LF</b>	<b>75.0 LF</b>	<b>26.0 LF</b>	<b>101.0 LF</b>	<b>71.1%</b>	
Legion Rd.	A2	60%	142.0 LF	85.2 LF	75.0 LF	26.0 LF	101.0 LF	71%	
<b>New Street-A North - Total Frontage</b>			<b>385.0 LF</b>	<b>231.0 LF</b>	<b>152.0 LF</b>	<b>157.0 LF</b>	<b>309.0 LF</b>	<b>80.3%</b>	
New Street-A Bldg 2 + OAS	A3	60%	385.0 LF	231.0 LF	152.0 LF	157.0 LF	309.0 LF	80.3%	Note-1
<b>New Street-A South - Total Frontage</b>			<b>550.0 LF</b>	<b>330.0 LF</b>	<b>424.0 LF</b>	<b>67.0 LF</b>	<b>491.0 LF</b>	<b>89.3%</b>	
New Street-A Bldg 3/4 + OAS	A3	60%	550.0 LF	330.0 LF	424.0 LF	67.0 LF	491.0 LF	89.3%	Note-2
<b>New Street-B North - Total Frontage</b>			<b>159.0 LF</b>	<b>63.6 LF</b>	<b>76.0 LF</b>	<b>0.0 LF</b>	<b>77.0 LF</b>	<b>48.4%</b>	
New Street-B Bldg 3/4	A1 + D	40%	159.0 LF	63.6 LF	77.0 LF	0.0 LF	77.0 LF	48.4%	DA-4a
<b>New Street-B South - Total Frontage</b>			<b>132.0 LF</b>	<b>79.2 LF</b>	<b>71.0 LF</b>	<b>20.0 LF</b>	<b>91.0 LF</b>	<b>68.9%</b>	
New Street-B Bldg 5	A1 + D	60%	132.0 LF	79.2 LF	71.0 LF	20.0 LF	91.0 LF	68.9%	

**Summary of Design Alternates Relevant to Building Facade in BTZ Requirements**

DA-3a: COA approved encroachment of 4th & 5th floor into BTZ along Novus Lane (block-2).

DA-4a: COA approved a reduction from 60% to a 40% Total Build-to-Zone Frontage along Street-B.

DA-4b: VOID with Reclassified Type-D Frontage

DA-5: VOID with Reclassified Type-D Frontage

DA-21 COA approved building setback exemptions Buildings 3 & 5

**Notes:**

Note-1: Street frontage measured to functional limits of street and does not include frontage along Advance Auto boundary.

Note-2: Street frontage measured to functional limits of street and does not include frontage along Jiffy Lube boundary.

**SCOTT MURRAY LAND PLANNING, INC.**

Landscape Architecture | Environmental Design | Project Management

**Scott Murray Land Planning, Inc.**  
274 Botetourt Ct. Boynton, VA 23917  
252-213-9501 434-689-2925 (fax)  
www.stmlandplan.com  
smurray@stmlandplan.com

Project:

**Tarheel Lodging Redevelopment**  
Chapel Hill, North Carolina

Developer:

**Tarheel Lodging, LLC and Unicorn Group Fifteen, LLC**  
6110 Falconbridge Rd. ste. 200  
Chapel Hill, North Carolina 27517

Sheet Title::

**Zoning Plan Phase-II**

4	6-13-23	Phase-II Final Arch Revisions
3	2-1-23	Phase-II Revisions + COA approval of Design Alternates 11-22-22
2	2-6-20	Phase-I Sidewalk realignment at Fordham & public street light adjustments per TCH/DE
1	10-25-19	Staff Comments 10-22-19; adjust street/area lights per Duke Energy & OWASA reqmnts.
No.	Date:	Issue Notes:

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1"=30'-0" @ D-Size

Date:

September 26, 2019

Drawn By:

STM

Drawing No.:

na

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