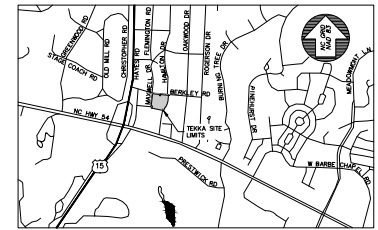


DEVELOPMENT AGREEMENT COMPLIANCE PERMIT (DACP) DRAWINGS

FOR LINK APARTMENTS CALYX II GLEN LENNOX - BLOCK 4 - PHASE 2

CHAPEL HILL, NORTH CAROLINA



VICINITY MAP
SCALE: N.T.S.

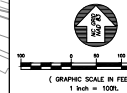
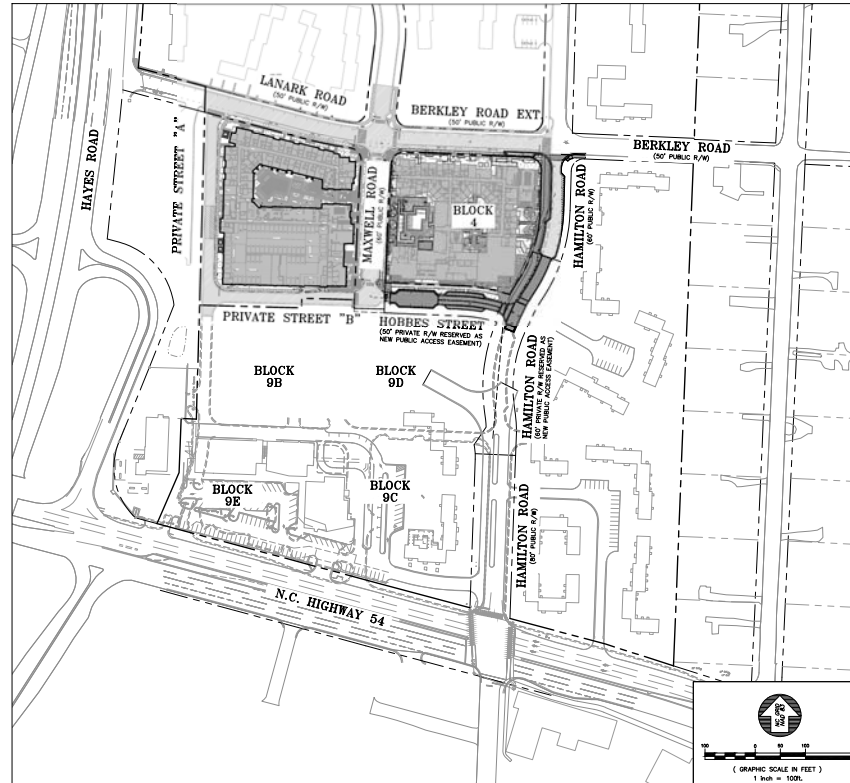
DRAWING LIST

SHEET	DRAWING TITLE	LATEST ISSUE DATE
80001-2	COVER SHEET - PHASE 2	12 AUG 22
C0001-2	AREA MAP - PHASE 2	12 AUG 22
C0101-2	EXISTING CONDITIONS PLAN - PHASE 2	12 AUG 22
C0102-2	GLEN LENNOX TREE SURVEY OVERVIEW - PHASE 2	12 AUG 22
C0103-2	ENLARGED GLEN LENNOX TREE SURVEY - NORTH - PHASE 2	12 AUG 22
C0104-2	ENLARGED GLEN LENNOX TREE SURVEY - SOUTH - PHASE 2	12 AUG 22
C0105-2	OVERALL GLEN LENNOX TREE LIST - PHASE 2	12 AUG 22
C1001-2	SITE PLAN - PHASE 2	12 AUG 22
C1002-2	STAKING PLAN	12 AUG 22
C1003-2	WASTE MANAGEMENT PLAN	12 AUG 22
C1004-2	OPEN SPACE PLAN	12 AUG 22
C1005-2	ENLARGED OPEN SPACE PLAN	12 AUG 22
C1006-2	BLOCK 4 IMPERVIOUS COMPLIANCE PLAN	12 AUG 22
C1007-2	PUBLIC STREET NETWORK EXHIBIT	12 AUG 22
C1008-2	OVERALL GLEN LENNOX TREE CANOPY COVERAGE	12 AUG 22
C1009-2	PIRE ACCESS PLAN	12 AUG 22
C1010-2	OVERALL GLEN LENNOX PARKING SUMMARY EXHIBIT	12 AUG 22
C1101-2	UTILITY PLAN - PHASE 2	12 AUG 22
C1301-2	GRADING & DRAINAGE PLAN - PHASE 2	12 AUG 22
C1302-2	EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 2	12 AUG 22
C1303-2	NOI/01 REQUIREMENTS - PHASE 2	12 AUG 22
C5001-2	SITE DETAILS - PHASE 2	12 AUG 22
C5010-2	UTILITY DETAILS - PHASE 2	12 AUG 22
C5011-2	UTILITY DETAILS - PHASE 2	12 AUG 22
C5012-2	UTILITY DETAILS - PHASE 2	12 AUG 22
C5013-2	STORM DRAINAGE DETAILS - PHASE 2	12 AUG 22
C5014-2	EROSION CONTROL DETAILS - PHASE 2	12 AUG 22
L-100	PARKS PLAN	10 JUN 22
L-101	STREETSCAPE LAYOUT PLAN	10 JUN 22
L-102	STREETSCAPE MATERIALS PLAN	12 AUG 22
L-103	COURTYARD 'A' LAYOUT & MATERIALS PLAN	12 AUG 22
L-104	COURTYARD 'B' LAYOUT & MATERIALS PLAN	12 AUG 22
L-105	POCKET PARK LAYOUT & MATERIALS PLAN	12 AUG 22
L-2.00	SITE DETAILS	10 JUN 22
L-2.01	SITE DETAILS	12 AUG 22
L-2.02	SITE DETAILS	12 AUG 22
L-2.03	SITE DETAILS	08 APR 22
L-2.04	SITE DETAILS	12 AUG 22
L-3.00	OVERALL LANDSCAPE PLAN	10 JUN 22
L-3.01	STREETSCAPE LANDSCAPE PLAN	10 JUN 22
L-3.02	COURTYARD 'A' & 'B' LANDSCAPE PLAN	10 JUN 22
L-3.03	POCKET PARK LANDSCAPE PLAN	10 JUN 22
L-3.04	IRRIGATION LIMITS PLAN	10 JUN 22
L-4.00	LANDSCAPE DETAILS	08 APR 22
L-5.00	OVERALL AMENITY GRADING PLAN	10 JUN 22
L-5.01	COURTYARD AMENITY GRADING PLAN	12 AUG 22
L-5.02	POCKET PARK GRADING PLAN	10 JUN 22
L-6.00	SITE LIGHTING PLAN	12 AUG 22
L-6.01	SITE LIGHTING DETAILS	08 APR 22
C-A1.01	OVERALL PLAN - LEVEL 1	12 AUG 22
C-A1.02	OVERALL PLAN - LEVEL 2	12 AUG 22
C-A1.03	OVERALL PLAN - LEVEL 3	12 AUG 22
C-A1.04	OVERALL PLAN - LEVEL 4	12 AUG 22
C-A1.05	OVERALL PLAN - LEVEL 5	12 AUG 22
C-A1.06	OVERALL PLAN - LEVEL 6	12 AUG 22
C-A1.07	OVERALL PLAN - ROOF	12 AUG 22
C-A2.01	BUILDING ELEVATIONS	12 AUG 22
C-A2.02	BUILDING ELEVATIONS	12 AUG 22
C-A5.01	BUILDING SECTIONS	12 AUG 22
C-A5.02	BUILDING SECTIONS	12 AUG 22
C-A10.01	DACP DIAGRAMS	12 AUG 22
E-4.1	COURTYARD LIGHTING PHOTOMETRIC ANALYSIS	28 JUL 22
E-4.2	COURTYARD LIGHTING PHOTOMETRIC ANALYSIS	28 JUL 22
E-4.3	DUKE ENERGY LIGHTING PHOTOMETRIC PLAN	24 JUN 22

REVIEW DRAWING
NOT FOR CONSTRUCTION

SITE DATA TABLE	
PROJECT NAME:	LINK APARTMENTS CALYX II (GLEN LENNOX BLOCK 4)
PROPERTY PIN NUMBER:	9798260180
PROPERTY LOCATION:	TOWN OF CHAPEL HILL
CURRENT LAND OWNER:	GLEN LENNOX APARTMENTS, LLC 4001 PARK ROAD, SUITE 100 CHAPEL HILL, NC 27514
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD CONSERVATION DISTRICT (NO. 80) OVERLAY
SETBACKS:	BERKLEY = 16' (FROM BACK OF CURB) MAXWELL (WEST) = 16' (FROM BACK OF CURB) MAXWELL (SOUTH) = 12' (FROM BACK OF CURB) HAMILTON = 24' (FROM BACK OF CURB)
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
PROPOSED BLOCK SIZE:	76,464 S.F. (1.76 AC)
TOTAL GROSS S.F. (PHASE 2):	280,802 S.F.
BUILDING ADDRESS:	44 MAXWELL ROAD & 10 HAMILTON ROAD
TOTAL PROPOSED APARTMENT UNITS:	291
EXISTING IMPERVIOUS SURFACE AREA DEMOLITION:	0 S.F. (PHASE 2)
PROPOSED IMPERVIOUS SURFACE AREA (NET):	64,800 S.F. (PHASE 2) 64,800 S.F. (TOTAL PHASE 1 & 2) INCLUDES 237 S.F. IMPERVIOUS ALLOWANCE
PROPOSED IMPERVIOUS SURFACE AREA OFFSET:	11,096 S.F. (PHASE 2) 32,463 S.F. (TOTAL PHASE 1 & 2)
TOTAL IMPERVIOUS SURFACE AREA INCREASE:	76,396 S.F. (PHASE 2) 42,757 S.F. (TOTAL PHASE 1 & 2)
OPEN SPACE, REQUIRED:	1,030,630 S.F. (23.66 AC) = 33.0%
OPEN SPACE, PRE-BLOCK 4:	1,030,630 S.F. (23.66 AC) = 33.0%
OPEN SPACE, POST-BLOCK 4:	1,190,216 S.F. (27.33 AC) = 38.5%
VEHICULAR PARKING SUMMARY (RESIDENTIAL):	REQUIRED: 1.25/DU = 1,250 S.F. (28.91 DU) = 364 SPACES PROVIDED: N/A*
VEHICULAR PARKING SUMMARY (COMMERCIAL):	REQUIRED: 4.75K S.F. = 6,644,700/1000 = 6,645 SPACES PROVIDED: N/A*
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 8 SPACES PROVIDED: N/A*
BIKE PARKING SUMMARY (RESIDENTIAL):	REQUIRED: 1/4 DU = 73 SPACES 80% CLASS I 10% CLASS II TOTAL PROVIDED: CLASS I: 146 SPACES CLASS II: 5 SPACES
BIKE PARKING SUMMARY (COMMERCIAL):	REQUIRED: 412 PER 2,000 SF = 10 SPACES 20% CLASS I 80% CLASS II TOTAL PROVIDED: CLASS I: 2 SPACES CLASS II: 10 SPACES

* REQUIRED PARKING FOR LINK CALYX II APARTMENTS IS PROVIDED IN THE SHARED PARKING DECK CONSTRUCTED FOR THE LINK CALYX APARTMENTS PROJECT AND THE FUTURE SHARED PARKING DECK TO BE CONSTRUCTED WITH THE DEVELOPMENT OF BLOCK 1B.

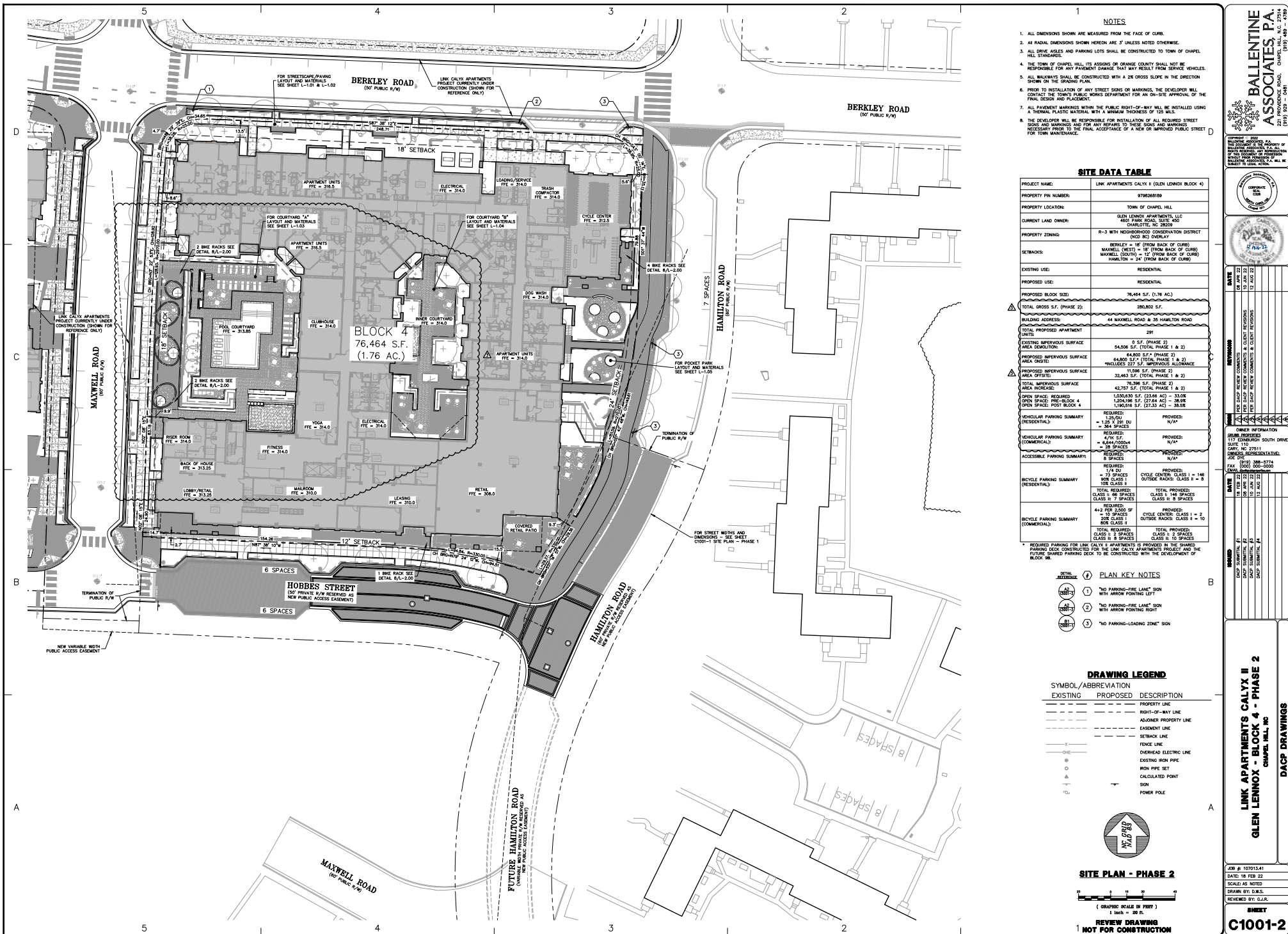


BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, NC 27514
(919) 482-1000

**LINK APARTMENTS CALYX II
GLEN LENNOX - BLOCK 4 - PHASE 2
CHAPEL HILL, NC
DACP DRAWINGS**

G0001-2

DATE	BY	REVISION
12 AUG 22	1	ISSUED FOR PERMIT
12 AUG 22	2	ISSUED FOR PERMIT
12 AUG 22	3	ISSUED FOR PERMIT
12 AUG 22	4	ISSUED FOR PERMIT
12 AUG 22	5	ISSUED FOR PERMIT
12 AUG 22	6	ISSUED FOR PERMIT
12 AUG 22	7	ISSUED FOR PERMIT
12 AUG 22	8	ISSUED FOR PERMIT
12 AUG 22	9	ISSUED FOR PERMIT
12 AUG 22	10	ISSUED FOR PERMIT
12 AUG 22	11	ISSUED FOR PERMIT
12 AUG 22	12	ISSUED FOR PERMIT
12 AUG 22	13	ISSUED FOR PERMIT
12 AUG 22	14	ISSUED FOR PERMIT
12 AUG 22	15	ISSUED FOR PERMIT
12 AUG 22	16	ISSUED FOR PERMIT
12 AUG 22	17	ISSUED FOR PERMIT
12 AUG 22	18	ISSUED FOR PERMIT
12 AUG 22	19	ISSUED FOR PERMIT
12 AUG 22	20	ISSUED FOR PERMIT
12 AUG 22	21	ISSUED FOR PERMIT
12 AUG 22	22	ISSUED FOR PERMIT
12 AUG 22	23	ISSUED FOR PERMIT
12 AUG 22	24	ISSUED FOR PERMIT
12 AUG 22	25	ISSUED FOR PERMIT
12 AUG 22	26	ISSUED FOR PERMIT
12 AUG 22	27	ISSUED FOR PERMIT
12 AUG 22	28	ISSUED FOR PERMIT
12 AUG 22	29	ISSUED FOR PERMIT
12 AUG 22	30	ISSUED FOR PERMIT
12 AUG 22	31	ISSUED FOR PERMIT
12 AUG 22	32	ISSUED FOR PERMIT
12 AUG 22	33	ISSUED FOR PERMIT
12 AUG 22	34	ISSUED FOR PERMIT
12 AUG 22	35	ISSUED FOR PERMIT
12 AUG 22	36	ISSUED FOR PERMIT
12 AUG 22	37	ISSUED FOR PERMIT
12 AUG 22	38	ISSUED FOR PERMIT
12 AUG 22	39	ISSUED FOR PERMIT
12 AUG 22	40	ISSUED FOR PERMIT
12 AUG 22	41	ISSUED FOR PERMIT
12 AUG 22	42	ISSUED FOR PERMIT
12 AUG 22	43	ISSUED FOR PERMIT
12 AUG 22	44	ISSUED FOR PERMIT
12 AUG 22	45	ISSUED FOR PERMIT
12 AUG 22	46	ISSUED FOR PERMIT
12 AUG 22	47	ISSUED FOR PERMIT
12 AUG 22	48	ISSUED FOR PERMIT
12 AUG 22	49	ISSUED FOR PERMIT
12 AUG 22	50	ISSUED FOR PERMIT
12 AUG 22	51	ISSUED FOR PERMIT
12 AUG 22	52	ISSUED FOR PERMIT
12 AUG 22	53	ISSUED FOR PERMIT
12 AUG 22	54	ISSUED FOR PERMIT
12 AUG 22	55	ISSUED FOR PERMIT
12 AUG 22	56	ISSUED FOR PERMIT
12 AUG 22	57	ISSUED FOR PERMIT
12 AUG 22	58	ISSUED FOR PERMIT
12 AUG 22	59	ISSUED FOR PERMIT
12 AUG 22	60	ISSUED FOR PERMIT
12 AUG 22	61	ISSUED FOR PERMIT
12 AUG 22	62	ISSUED FOR PERMIT
12 AUG 22	63	ISSUED FOR PERMIT
12 AUG 22	64	ISSUED FOR PERMIT
12 AUG 22	65	ISSUED FOR PERMIT
12 AUG 22	66	ISSUED FOR PERMIT
12 AUG 22	67	ISSUED FOR PERMIT
12 AUG 22	68	ISSUED FOR PERMIT
12 AUG 22	69	ISSUED FOR PERMIT
12 AUG 22	70	ISSUED FOR PERMIT
12 AUG 22	71	ISSUED FOR PERMIT
12 AUG 22	72	ISSUED FOR PERMIT
12 AUG 22	73	ISSUED FOR PERMIT
12 AUG 22	74	ISSUED FOR PERMIT
12 AUG 22	75	ISSUED FOR PERMIT
12 AUG 22	76	ISSUED FOR PERMIT
12 AUG 22	77	ISSUED FOR PERMIT
12 AUG 22	78	ISSUED FOR PERMIT
12 AUG 22	79	ISSUED FOR PERMIT
12 AUG 22	80	ISSUED FOR PERMIT
12 AUG 22	81	ISSUED FOR PERMIT
12 AUG 22	82	ISSUED FOR PERMIT
12 AUG 22	83	ISSUED FOR PERMIT
12 AUG 22	84	ISSUED FOR PERMIT
12 AUG 22	85	ISSUED FOR PERMIT
12 AUG 22	86	ISSUED FOR PERMIT
12 AUG 22	87	ISSUED FOR PERMIT
12 AUG 22	88	ISSUED FOR PERMIT
12 AUG 22	89	ISSUED FOR PERMIT
12 AUG 22	90	ISSUED FOR PERMIT
12 AUG 22	91	ISSUED FOR PERMIT
12 AUG 22	92	ISSUED FOR PERMIT
12 AUG 22	93	ISSUED FOR PERMIT
12 AUG 22	94	ISSUED FOR PERMIT
12 AUG 22	95	ISSUED FOR PERMIT
12 AUG 22	96	ISSUED FOR PERMIT
12 AUG 22	97	ISSUED FOR PERMIT
12 AUG 22	98	ISSUED FOR PERMIT
12 AUG 22	99	ISSUED FOR PERMIT
12 AUG 22	100	ISSUED FOR PERMIT





NOTES

1. PER "IMPERVIOUS SURFACE PLAN" OF THE GLEN LENNOX AREA NEIGHBORHOOD CONSERVATION DISTRICT PLAN FOR CD-50. PERVIOUS AREAS CAN INCLUDE PERVIOUS PAVING AND POROUS PAVING. PERVIOUS PAVING ARE NOT COUNTED ON THIS EXHIBIT AS IMPERVIOUS COVER.

IMPERVIOUS AREA LEGEND

HIGH DENSITY AREA IMPERVIOUS
MAX. IMPERVIOUS ALLOWED: 80.5% = 64,994 SF
IMPERVIOUS AREA PROPOSED: 84.7% = 64,800 SF
INCLUDES 227 SF IMPERVIOUS ALLOWANCE

PERVIOUS PAVING
AREA PROPOSED: 1.3% = 999 SF



GRAPHIC SCALE IN FEET
1 inch = 50 FT.

REVIEW DRAWING
NOT FOR CONSTRUCTION

BLOCK 4 IMPERVIOUS COMPLIANCE PLAN

BALLENTINE ASSOCIATES, P.A.
228 PROSPERITY ROAD, CHAPEL HILL, NC 27514
(919) 487-1234

REVISION	DATE	BY	CHKD	DATE	BY	CHKD
FOR DUMP FILLER COMMENTS	18 APR 22			18 APR 22		
FOR DUMP FILLER COMMENTS & CLIENT REQUESTS	12 AUG 22			12 AUG 22		

OWNER INFORMATION

DEVELOPER
117 ELMWOOD SOUTH DRIVE
CHPE, NC 27511
OWNER REPRESENTATIVE:
JAY DUE
FAX: (919) 487-1234
CELL: (919) 487-1234

REVISION	DATE	BY	CHKD	DATE	BY	CHKD
DUMP FILLER, #1	18 FEB 22			18 FEB 22		
DUMP FILLER, #2	10 JUN 22			10 JUN 22		
DUMP FILLER, #3	12 JUL 22			12 JUL 22		
DUMP FILLER, #4	12 JUL 22			12 JUL 22		

LINK APARTMENTS CALYX II
GLEN LENNOX - BLOCK 4 - PHASE 2
CHAPEL HILL, NC
DACP EXHIBITS

JOB #: 107013.41
DATE: 18 FEB 22
SCALE: AS NOTED
DRAWN BY: D.M.S.
REVIEWED BY: C.L.B.

SHEET
C1006-2