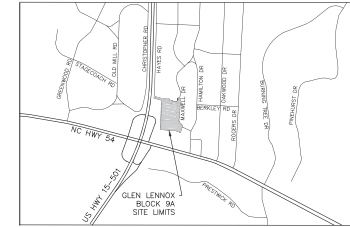


DEVELOPMENT AGREEMENT COMPLIANCE PERMIT (DACP) DRAWINGS

FOR LINK APARTMENTS CALYX GLEN LENNOX - BLOCK 9A - PHASE 1

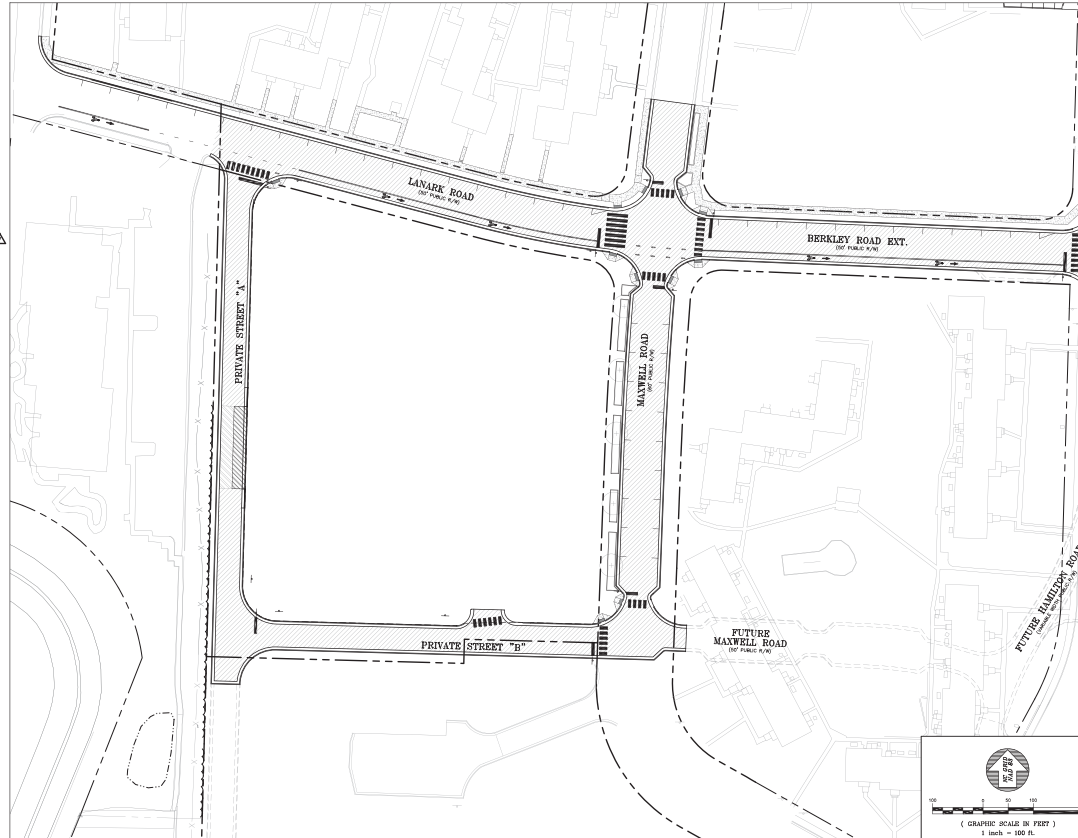
CHAPEL HILL, NORTH CAROLINA



VICINITY MAP
SCALE: 1"=1,000'

SITE DATA TABLE

PROJECT NAME:	LINK APARTMENTS CALYX (GLEN LENNOX BLOCK 9A)
PROPERTY PIN NUMBER:	979626154
PROPERTY LOCATION:	TOWN OF CHAPEL HILL
CURRENT LAND OWNER:	ELIX LINKS APARTMENTS, LLC 4601 PARK ROAD, SUITE 400 CHAPEL HILL, NC 27514
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD CONSERVATION DISTRICT (NCD) 801 OVERLAY
SETBACKS:	LANARK = 18' (FROM BACK OF CURB) MAXWELL = 18' (FROM BACK OF CURB) PERMETER = 36' (FROM PROPERTY LINE)
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
PROPOSED LOT SIZE (AC):	155,772 S.F. (3.43 AC)
EXISTING IMPERVIOUS SURFACE AREA (SQ. FT.):	116,275 S.F.
PROPOSED IMPERVIOUS SURFACE AREA (SQ. FT.):	18,000 S.F. (PHASE 1) *INCLUDES IMPERVIOUS ALLOWANCE
PROPOSED IMPERVIOUS SURFACE AREA (SQ. FT.):	48,820 S.F.
TOTAL IMPERVIOUS SURFACE AREA (SQ. FT.):	48,895 S.F.
VEHICULAR PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2) PROVIDED: 0 (SEE PHASE 2)
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2) PROVIDED: 0 (SEE PHASE 2)
BICYCLE PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2) PROVIDED: 0 (SEE PHASE 2)



DRAWING LIST

SHEET	DRAWING TITLE	LATEST ISSUE DATE
G0001	COVER SHEET - PHASE 1	18 JAN 22
C0001	AREA MAP - PHASE 1	18 JAN 22
C0101	EXISTING CONDITIONS PLAN - PHASE 1	18 JAN 22
C0102	GLEN LENNOX TREE SURVEY OVERVIEW	18 JAN 22
C0103	ENLARGED GLEN LENNOX TREE SURVEY - NORTH	18 JAN 22
C0104	ENLARGED GLEN LENNOX TREE SURVEY - SOUTH	18 JAN 22
C0105	OVERALL GLEN LENNOX TREE LIST	18 JAN 22
C0201	DEMOLITION & LANDSCAPE PROTECTION PLAN - PHASE 1	18 JAN 22
C1001	SITE PLAN - PHASE 1	18 JAN 22
C1101	UTILITY PLAN - PHASE 1	18 JAN 22
C1201	GRADING & DRAINAGE PLAN - PHASE 1	18 JAN 22
C1210	STORM DRAINAGE PROFILES - PHASE 1	18 JAN 22
C1301	EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 1	18 JAN 22
C1302	SEDIMENT BASIN ENLARGEMENT - PHASE 1	18 JAN 22
C1303	NOG01 REQUIREMENTS - PHASE 1	18 JAN 22
C1401	STAGE 1 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1	18 JAN 22
C1402	STAGE 2 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1	18 JAN 22
C3101	LANARK ROAD PLAN & PROFILE - PHASE 1	18 JAN 22
C3102	MAXWELL ROAD PLAN & PROFILE - PHASE 1	18 JAN 22
C3103	PRIVATE ROAD A PLAN & PROFILE - PHASE 1	18 JAN 22
C3104	PRIVATE ROAD B PLAN & PROFILE - PHASE 1	18 JAN 22
C3105	BERKLEY ROAD EXTENSION PLAN & PROFILE - PHASE 1	18 JAN 22
C3201	TYPICAL ROAD SECTIONS - PHASE 1	18 JAN 22
C3202	TYPICAL ROAD SECTIONS - PHASE 1	18 JAN 22
C4201	SCM #1 ENLARGEMENT AND SECTIONS - PHASE 1	18 JAN 22
C5001	SITE DETAILS - PHASE 1	18 JAN 22
C5002	SITE DETAILS - PHASE 1	18 JAN 22
C5101	UTILITY DETAILS - PHASE 1	18 JAN 22
C5102	UTILITY DETAILS - PHASE 1	18 JAN 22
C5201	STORM DRAINAGE DETAILS - PHASE 1	18 JAN 22
C5301	EROSION CONTROL DETAILS - PHASE 1	18 JAN 22
C5302	EROSION CONTROL DETAILS - PHASE 1	18 JAN 22
C5401	TRAFFIC CONTROL DETAILS - PHASE 1	18 JAN 22

DACP - Phase 1 Modification
Approval
2/10/2022
33 pages
Anya Grahn, Planning Dept.



DEVELOPER:

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ARCHITECT:

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CHAPEL HILL, NC 27514
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CIVIL ENGINEERING:

221 PROVIDENCE ROAD, CHAPEL HILL, NC 27514
(919) 489-0481



LANDSCAPE ARCHITECTURE:

403 HAZARD STREET, SUITE 10,
CHAPEL HILL, NC 27514
(919) 414-2000

REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, NC 27514
(919) 489-0481



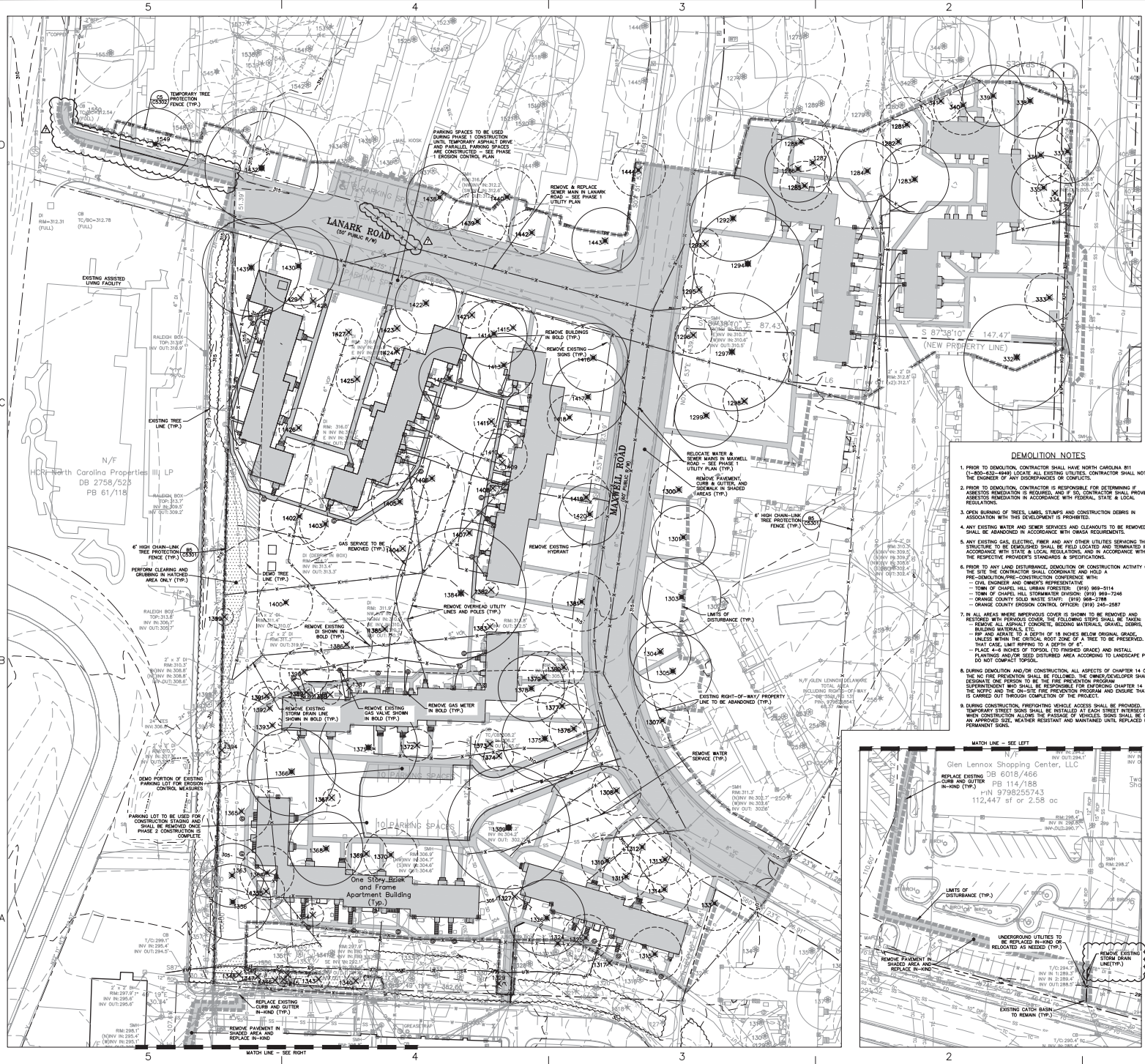
DATE	REVISIONS
18 JAN 22	1. REVISED PER COMMENTS
18 JAN 22	2. REVISED PER COMMENTS
18 JAN 22	3. REVISED PER COMMENTS
18 JAN 22	4. REVISED PER COMMENTS
18 JAN 22	5. REVISED PER COMMENTS
18 JAN 22	6. REVISED PER COMMENTS
18 JAN 22	7. REVISED PER COMMENTS
18 JAN 22	8. REVISED PER COMMENTS
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DATE	REVISIONS
18 JAN 22	1. REVISED PER COMMENTS
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18 JAN 22	9. REVISED PER COMMENTS
18 JAN 22	10. REVISED PER COMMENTS

LINK APARTMENTS CALYX
GLEN LENNOX - BLOCK 9A
CHAPEL HILL, NC
DACP DRAWINGS

JOB # 107013.91
DATE: 12 FEB 21
SCALE: AS NOTED
DRAWN BY: J.G.S.
REVIEWED BY: J.G.S.

SHEET
G0001



TREE LEGEND:

Symbol	Tree Type
○	RARE DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
○	SPECIMEN DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
○	RARE/SPERMATOPHYTES SHOWING CRITICAL ROOT ZONE
○	RARE CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE
○	SPECIMEN CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE
○	RARE/SPERMATOPHYTES CONIFEROUS TREE TO BE REMOVED

TREE SUMMARY

EXISTING TREES TO BE REMOVED	RARE	SPECIMEN	TOTAL
38	90	129	

SEE SHEET C0200 FOR TREE LIST

DEMOLITION CONSTRUCTION SEQUENCE:

1. OBTAIN ZONING COMPLIANCE, DEMOLITION AND GRADING PERMITS.
2. HOLD PRE-DEMOLITION/PROTECTION CONFERENCE (SEE DEMOLITION NOTE #1).
3. INSTALL STANDARD TREE PROTECTION FENCE (SHOWN HEREON) AND ALL BROOKS CONTROL MEASURES (C1301) EXCEPT TEMPORARY SEGMENT BARS.
4. CALL TOWN OF CHAPEL HILL URBAN FORESTER AT (919) 968-5114 FOR AN INSPECTION OF TREE PROTECTION FENCE. CALL ORANGE COUNTY AT (919) 242-3069 FOR AN INSPECTION OF THE EROSION CONTROL MEASURES SHOWN ON SHEET C3301.
5. IF TREE PROTECTION FENCING AND EROSION CONTROL MEASURES ARE APPROVED, PROCEED WITH DEMOLITION AS SHOWN ON THIS SHEET.
6. INSTALL REMAINING EROSION CONTROL MEASURES PER CONSTRUCTION SEQUENCE ON SHEET 13301.

TREE PROTECTION NOTES

1. A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER PRIOR TO BEGINNING SITE WORK (SEE DEMOLITION NOTE #1).
2. TREE PROTECTION FENCING AS SHOWN ON THIS PLAN SHALL BE INSTALLED AND INSPECTED BY THE TOWN PRIOR TO ANY DEMOLITION ACTIVITY OR LAND DISTURBANCE.
3. ANY TREE ROOTS DAMAGED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
4. THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES SHALL NOT BE DISRUPTED OR OTHERWISE DISTURBED DURING DEMOLITION AND LANDSCAPING.
5. A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRADING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.

OSCW CONSTRUCTION WASTE REQUIREMENTS

1. ALL EXISTING STRUCTURES 100 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DECONTAMINATION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY DECONTAMINATION OFFICER AT 919-688-2788 TO ARRANGE FOR THE ASSESSMENT.
2. PURSUANT TO THE COUNTY'S RMO, ALL HAULERS OF WASTE CONSTRUCTION AND DEMOLITION WASTE MUST INCLUDE ANY REGULATED RECYCLABLE MATERIALS MUST BE RECYCLED BY ORANGE COUNTY.
3. PURSUANT TO THE COUNTY'S RMO, ALL HAULERS OF WASTE CONSTRUCTION AND DEMOLITION WASTE MUST INCLUDE ANY REGULATED RECYCLABLE MATERIALS MUST BE RECYCLED BY ORANGE COUNTY.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PROTECTION CONFERENCE WITH SOIL WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DECONTAMINATION/DECONTAMINATION OFFICIALS.
5. THE PRESENCE IF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE AND FEDERAL REGULATIONS AND GUIDELINES.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	DEMO	DESCRIPTION
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	EXISTENCE LINE
---	---	---	FENCE LINE
---	---	---	STORM DRAIN LINE
---	---	---	WATER LINE
---	---	---	SANITARY SEWER LINE
---	---	---	UNDERGROUND ELECTRIC LINE
---	---	---	UNDERGROUND GAS LINE
---	---	---	TELEPHONE LINE
---	---	---	LIMITS OF DISTURBANCE
---	---	---	TREE PROTECTION FENCE
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	CLEAR & GRUB
---	---	---	EXISTING IRON PIPE
---	---	---	IRON PIPE SET
---	---	---	CALCULATED POINT
---	---	---	SIGN
---	---	---	DROP INLET
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT
---	---	---	BACKFLOW PREVENTER
---	---	---	SANITARY SEWER MANHOLE
---	---	---	SANITARY SEWER CLEANOUT
---	---	---	GAS VALVE
---	---	---	POWER POLE
---	---	---	ELECTRIC TRANSFORMER
---	---	---	PAVEMENT/CONCRETE

PROPERTY LINE

- CLEAR & GRUB
- EXISTING IRON PIPE
- IRON PIPE SET
- △ CALCULATED POINT
- SIGN
- DROP INLET
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- BACKFLOW PREVENTER
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- GAS VALVE
- POWER POLE
- ELECTRIC TRANSFORMER
- PAVEMENT/CONCRETE



DEMOLITION & LANDSCAPE PROTECTION PLAN - PHASE 1

(GRAPHIC SCALE IN FEET)
1 inch = 30 ft

REVIEW DRAWING
NOT FOR CONSTRUCTION

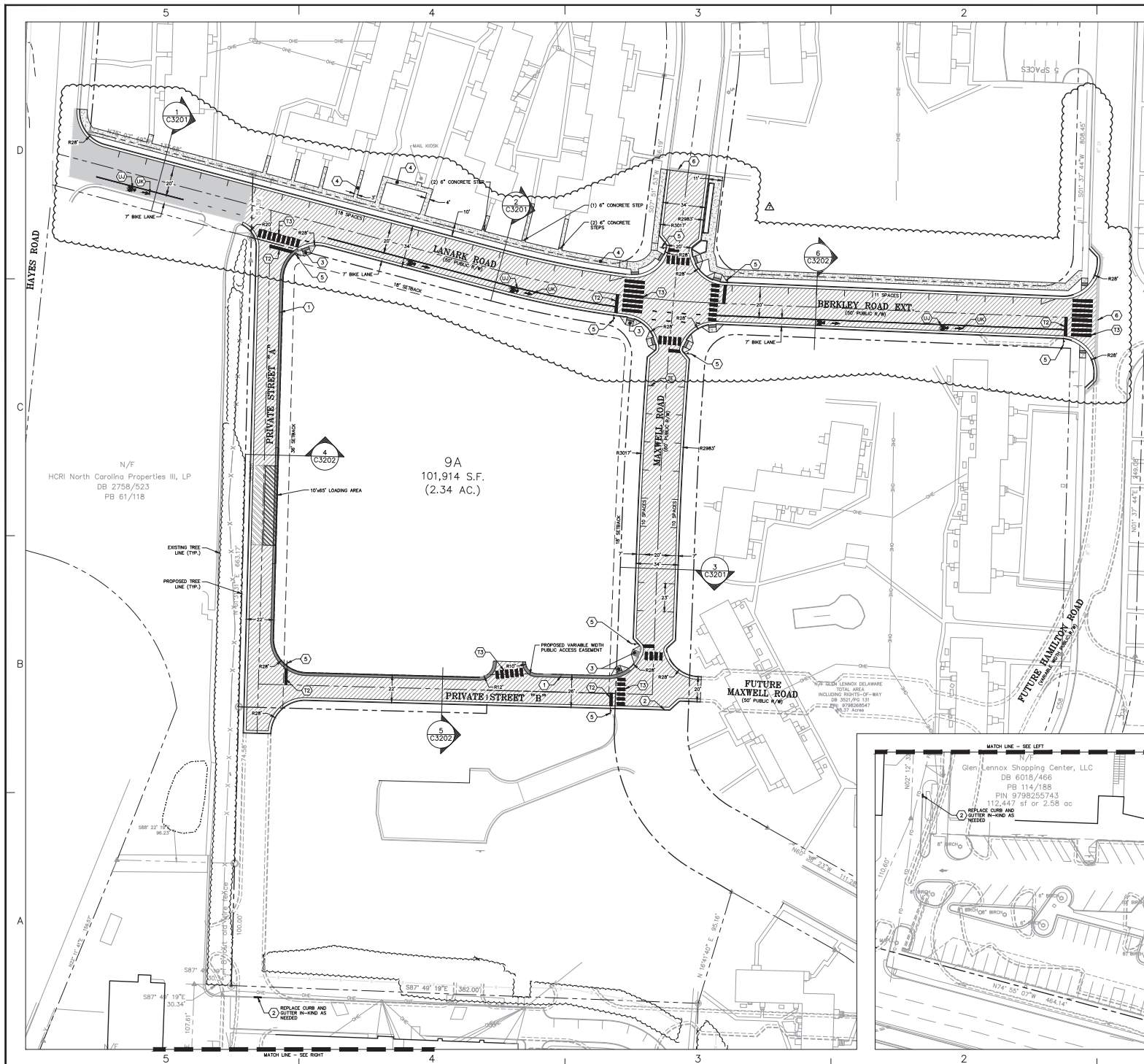
BALLENTINE ASSOCIATES, P.A.
228 PROGRESS ROAD, CHAPEL HILL, NC 27614
(919) 952-1000 FAX (919) 952-1001

**LINK APARTMENTS CALVX
GLEN LENNOX - BLOCK 9A
CHAPEL HILL, NC**

DACP DRAWINGS

JOB # 10705391
DATE: 12 FEB 21
SCALE: AS NOTED
DRAWN BY: G.M.S.
REVIEWED BY: G.M.S.

**SHEET
C0201**



SITE DATA TABLE	
PROJECT NAME:	LINK APARTMENTS CALYX (GLEN LENNOX BLOCK 9A)
PROPERTY PIN NUMBER:	979808534
PROPERTY LOCATION:	TOWN OF CHAPEL HILL
CURRENT LAND OWNER:	GLEN LENNOX APARTMENTS, LLC 401 PARK ROAD, SUITE 400 CHAPEL HILL, NC 27610
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD CONSERVATION DISTRICT HUND RED OVERLAY
SETBACKS:	LANARK = 15' (FROM BACK OF CURB) BERKLEY = 15' (FROM BACK OF CURB) PERMETER = 30' (FROM PROPERTY LINE)
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
PROPOSED LOT SIZE (A4):	105,772 S.F. (2.41 AC.)
EXISTING IMPERVIOUS SURFACE AREA DEMOLITION:	116,575 S.F.
PROPOSED IMPERVIOUS SURFACE AREA (PHASE 1):	19,000 S.F. (PHASE 1) INCLUDES IMPERVIOUS ALLOWANCE
PROPOSED IMPERVIOUS SURFACE AREA (PHASE 2):	48,820 S.F.
TOTAL IMPERVIOUS SURFACE AREA (PHASE 2):	~68,820 S.F.
VEHICULAR PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2) PROVIDED: 0 (SEE PHASE 2)
ACCESSIBLE PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2) PROVIDED: 0 (SEE PHASE 2)
BICYCLE PARKING SUMMARY:	REQUIRED: 0 (SEE PHASE 2) PROVIDED: 0 (SEE PHASE 2)

- NOTES**
- ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB.
 - ALL RADIAL DIMENSIONS SHOWN HEREON ARE 7' UNLESS NOTED OTHERWISE.
 - ALL DRIVE AISLES AND PARKING LOTS SHALL BE CONSTRUCTED TO TOWN OF CHAPEL HILL STANDARDS.
 - THE TOWN OF CHAPEL HILL ITS ASSIGNS OR ORANGE COUNTY SHALL NOT BE RESPONSIBLE FOR ANY PAVEMENT DAMAGE THAT MAY RESULT FROM SERVICE VEHICLES.
 - ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A 2% CROSS SLOPE IN THE DIRECTION SHOWN ON THE GRADING PLAN.
 - PRIOR TO INSTALLATION OF ANY STREET SIGNS OR MARKINGS, THE DEVELOPER WILL CONTACT THE TOWN OF CHAPEL HILL PUBLIC WORKS DEPARTMENT FOR AN ON-SITE APPROVAL OF THE FINAL DESIGN AND PLACEMENT.
 - ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE INSTALLED USING A THERMAL PLACING MATERIAL WITH A MINIMUM THICKNESS OF 1/2 INCH.
 - THE DEVELOPER WILL BE RESPONSIBLE FOR INSTALLATION OF ALL REQUIRED STREET SIGNS AND MARKINGS AND FOR ANY REPAIRS TO THESE SIGNS AND MARKINGS NECESSARY PRIOR TO THE FINAL ACCEPTANCE OF A NEW OR IMPROVED PUBLIC STREET FOR TOWN MAINTENANCE.

PAVEMENT MARKING LEGEND

SEE DETAIL REFERENCE **M-2000**

- 12" WHITE STOPWALL (24" x 120 MIL)
- 12" WHITE CROSSWALK LINE (24" x 120 MIL)
- 12" WHITE SOLID LANE LINE (24" x 120 MIL)
- 12" WHITE DASHED LANE LINE (24" x 120 MIL)
- 12" WHITE SOLID SHOULDER LINE (24" x 120 MIL)
- 12" WHITE SOLID BICYCLE LANE LINE (24" x 120 MIL)
- 12" WHITE SOLID BICYCLE STRAIGHT AHEAD LANE LINE (24" x 120 MIL)

PAVING LEGEND

- HEAVY DUTY ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- 2" DEEP MILL AND 2" 50/50 SURFACE COURSE OVERLAY
- CONCRETE
- BRICK PAVERS

PLAN KEY NOTES

- 30" CONCRETE SPILL CURB & GUTTER (TYP.)
- 30" CONCRETE CURB & GUTTER (TYP.)
- ACCESSIBLE RAMP (TYP.)
- 6" WIDE CONCRETE SIDEWALK (TYP. UNLESS OTHERWISE NOTED)
- "STOP" SIGN
- PAVEMENT MILLING DETAIL

DRAWING LEGEND

SYMBOL	ABBREVIATION	DESCRIPTION
---	EXISTING	PROPERTY LINE
---	PROPOSED	RIGHT-OF-WAY LINE
---	PROPOSED	ADJOINING PROPERTY LINE
---	PROPOSED	ROAD CENTERLINE
---	PROPOSED	EASEMENT LINE
---	PROPOSED	FENCE LINE
---	PROPOSED	OVERHEAD ELECTRIC LINE
---	PROPOSED	EXISTING IRON PIPE
---	PROPOSED	IRON PIPE SET
---	PROPOSED	COLLOCATED POINT
---	PROPOSED	SIGN
---	PROPOSED	POWER POLE

SITE PLAN - PHASE 1

(GRAPHIC SCALE IN FEET)
1 inch = 30 ft.

REVIEW DRAWING
NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
228 PROSPERITY ROAD, CHAPEL HILL, NC 27614
(704) 525-1000

**LINK APARTMENTS CALYX
GLEN LENNOX - BLOCK 9A
CHAPEL HILL, NC**

DACP DRAWINGS

DATE	REVISION	BY	CHK	APP
18 APR 21	1	DAKP	DAKP	DAKP
12 FEB 21	2	DAKP	DAKP	DAKP
11 JAN 21	3	DAKP	DAKP	DAKP
28 JAN 21	4	DAKP	DAKP	DAKP
28 JAN 21	5	DAKP	DAKP	DAKP
28 JAN 21	6	DAKP	DAKP	DAKP
28 JAN 21	7	DAKP	DAKP	DAKP
28 JAN 21	8	DAKP	DAKP	DAKP
28 JAN 21	9	DAKP	DAKP	DAKP
28 JAN 21	10	DAKP	DAKP	DAKP

REVIEW

DATE: 12 FEB 21
SCALE: AS NOTED
DRAWN BY: D.A.K.
CHECKED BY: C.A.K.

SHEET
C1001

PLAN KEY NOTES

1. 4" GATE VALVE & VALVE BOX
2. 6" GATE VALVE & VALVE BOX
3. 8" GATE VALVE & VALVE BOX
4. 4" DUCTILE IRON DOMESTIC WATER LINE (TYP.)
5. 6" DUCTILE IRON DOMESTIC/WATER LINE (TYP.)
6. 8" DUCTILE IRON WATER MAIN (TYP.)
7. 8" x 8" TEE
8. 8" x 8" TEE
9. TAPPING SLEEVE & VALVE ASSEMBLY
10. FIRE HYDRANT
11. STREET BLOWING - INSTALL AT ALL TEES, TAPS & BENDS AS REQUIRED
12. VERTICAL BEND, RODDING & BLOWING (IF REQUIRED - TYP.)
13. BLOW-OFF ASSEMBLY
14. DOORHOUSE SANITARY SEWER MANHOLE
15. PRECAST CONCRETE SANITARY SEWER MANHOLE
16. 8" DUCTILE IRON SEWER MAIN (TYP.)
17. 8" DI SEWER SERVICE AT 1.08 MIN.
18. 8" DI SEWER 35 PVC SEWER SERVICE AT 1.08 MIN.
19. 8" DI SEWER SERVICE CONNECTION & CLEANOUT ASSEMBLY
20. PAVEMENT PATCH
21. DUNE ELECTRIC SERVICE
22. WATER LINE ABANDONMENT
23. SANITARY SEWER MANHOLE COVER GRADE ADJUSTMENT
24. 4" DI SEWER SERVICE AT 1.08 MIN.
25. 4" DI SEWER 35 PVC SEWER SERVICE AT 1.08 MIN.
26. 6" DI SEWER SERVICE AT 1.08 MIN.

9A
101,914 S.F.
(2.34 AC.)

PRIVATE STREET "A"

PRIVATE STREET "B"

UNDERGROUND ELECTRIC IN CONDUIT (TURNED FOR FUTURE CONNECTION)

8" DI WATER MAIN

8" DI WATER MAIN

8" DI WATER MAIN

8" DI WATER MAIN

8" DI WATER MAIN

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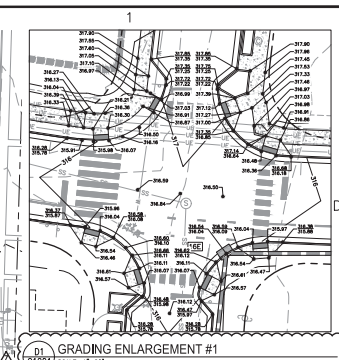
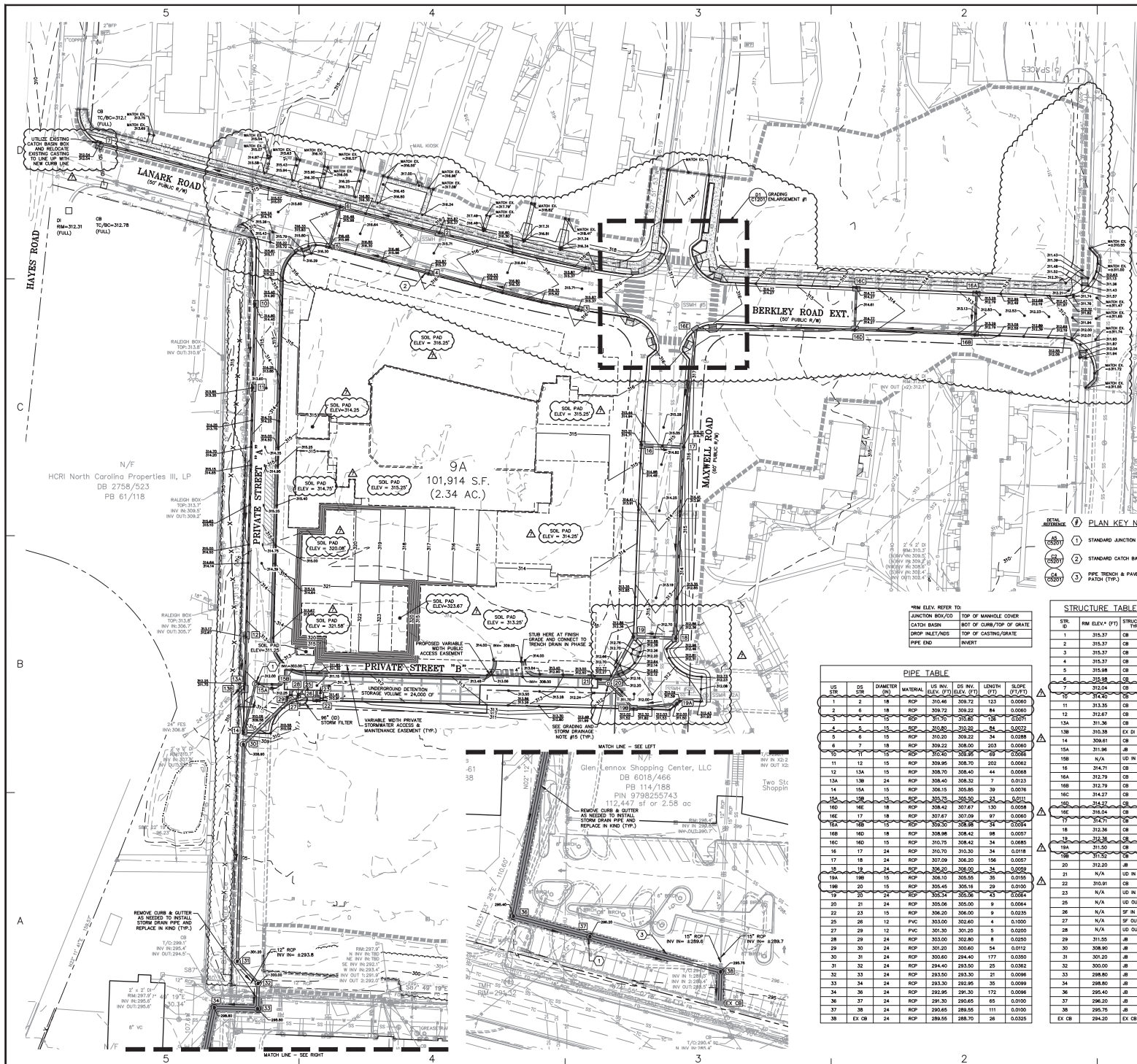
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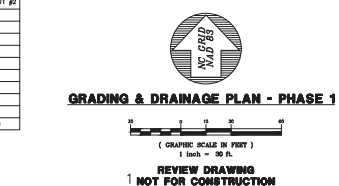
8" DI WATER MAIN



- ### GRADING AND STORM DRAINAGE NOTES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL, NORTH CAROLINA, ORDINANCES AND STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-6949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 18 INCHES AND LARGER SHALL BE CAST IRON PIPE. SMALLER PIPING MATERIAL IS TO BE OF AS STORM.
 - ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE CROSS-SLOPE DOES NOT EXCEED 2% IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
 - NO PART OF ANY ACCESSIBLE PARKING SPACE OR ADJACENT ACCESSIBLE SIDEWALK SHALL BE GRADED TO A SLOPE OF 2% OR GREATER IN ANY DIRECTION. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
 - A FINAL STORMWATER MANAGEMENT INSPECTION MUST BE SCHEDULED WITH THE TOWN OF CHAPEL HILL STORMWATER DIVISION AT LEAST 14 DAYS IN ADVANCE OF REQUESTING THE CERTIFICATE OF OCCUPANCY.
 - PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY THE ENGINEER OF RECORD SHALL SUBMIT AS-BUILT PLANS AND LOCATION OF ALL EXISTING STORMWATER PIPING HAVE BEEN CONSTRUCTED PER THE APPROVED CONSTRUCTION PLANS.
 - HVAC CONDENSATE AND FLOOR DRAIN UNDER A ROOF, AND SUMP PITS SERVING OR RELATED TO HYDRAULIC OR MECHANICAL EQUIPMENT (ELEVATORS) SHALL NOT BE DISCHARGED INTO STORM SEWER NETWORK.
 - NO POOL BACKWASH WATER ALLOWED TO DISCHARGE INTO STORM SEWER NETWORK.
 - DETENTERS OF THE POOL WATER INTO STORM SEWER NETWORK IS NOT ALLOWED UNLESS AS-DESIGNED.
 - SALT WATER POOL DISCHARGE IS PROHIBITED TO THE STORM SEWER NETWORK.
 - ALL ROOF DRAIN PLUMBING INTENDED TO DISCHARGE TO STORM SEWER PIPE NOT SHOWN OR APPROVED PLAN SHEET ARE NOT APPROVED. ANY DISCHARGE TO STORM SEWER PIPE NOT APPROVED WILL NEED A REVIEW AND APPROVAL FROM THE STORMWATER MANAGEMENT DIVISION.
 - ALL SOWS TO BE PRIVATELY MAINTAINED.
 - NO PERMANENT SLOPES SHALL BE STEEPER THAN 2:1 AND THE CONSTRUCTION OF ANY SLOPE STEEPER THAN 2:1 SHALL BE ORDERED BY A GEOTECHNICAL ENGINEER'S REPRESENTATIVE TO ENSURE PROPER COMPACTION AND STABILIZATION.
 - STORM STRUCTURES 15A, 20, & 22 SHALL HAVE AN 18" SUMP. SUMP SHALL HAVE 1" DIAMETER WEEP HOLES TO DRAIN.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJACENT PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	FENCE LINE
---	---	---	STORM DRAIN LINE
---	---	---	WATER LINE
---	---	---	SEWER LINE
---	---	---	UNDERGROUND ELECTRIC LINE
---	---	---	OVERHEAD ELECTRIC LINE
---	---	---	GAS LINE
---	---	---	TELEPHONE LINE
---	---	---	TREE LINE
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	LIMITS OF DISTURBANCE
---	---	---	EXISTING ROOF PILE
---	---	---	ROOF PILE SET
---	---	---	CALCULATED POINT
---	---	---	SIGN
---	---	---	CATCH BASIN
---	---	---	STORM INLET
---	---	---	JUNCTION BOX
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT
---	---	---	FIRE DEPARTMENT CONNECTION
---	---	---	BACKFLOW PREVENTER
---	---	---	BLOW OFF VALVE
---	---	---	SAFETY SEWER MANHOLE
---	---	---	SAFETY SEWER CLEANOUT
---	---	---	POWER POLE
---	---	---	ELECTRIC TRANSFORMER
---	---	---	GAS METER



BALLENTINE ASSOCIATES, P.A.
228 PROGRESS ROAD, CHAPEL HILL, NC 27514
(919) 482-1000 FAX (919) 482-1001

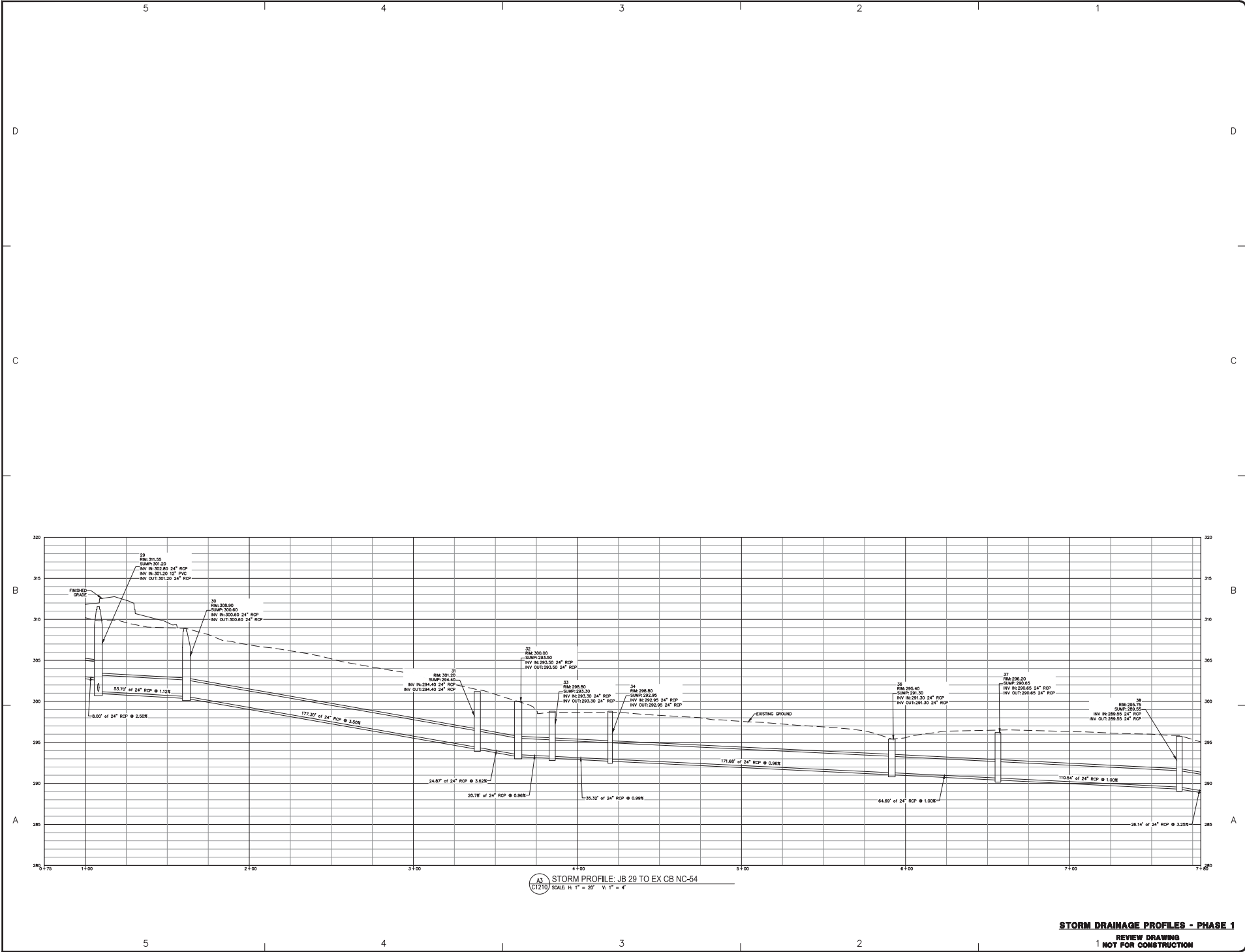
LINK APARTMENTS CALVYX GLEN LENNOX - BLOCK 9A
Chapel Hill, NC

DACP DRAWINGS

DATE: 12/21/21
SCALE: AS NOTED
DRAWN BY: G.S.
REVIEWED BY: G.S.

REVIEW DRAWING
NOT FOR CONSTRUCTION

C1201



BALLENTINE ASSOCIATES, P.A.
 228 PROMENADE ROAD, CHARLOTTE, N.C. 27244
 (704) 363-0041

DATE	REVISIONS
18 APR 21	FOR DACP REVIEW COMMENTS
15 JUN 21	FOR DACP REVIEW COMMENTS
28 JUN 21	FOR DACP REVIEW COMMENTS
28 JUN 21	FOR DACP REVIEW COMMENTS
28 JUN 21	FOR DACP REVIEW COMMENTS
18 JUN 21	FOR CLIENT REQUESTED REVISIONS

OWNER INFORMATION
 117 ELMENDORF SOUTH DRIVE
 SUITE 110
 CHARLOTTE, NC 27211
 OWNER REPRESENTATIVE:
 JAC, P.E.
 (704) 366-2074
 (704) 366-2000

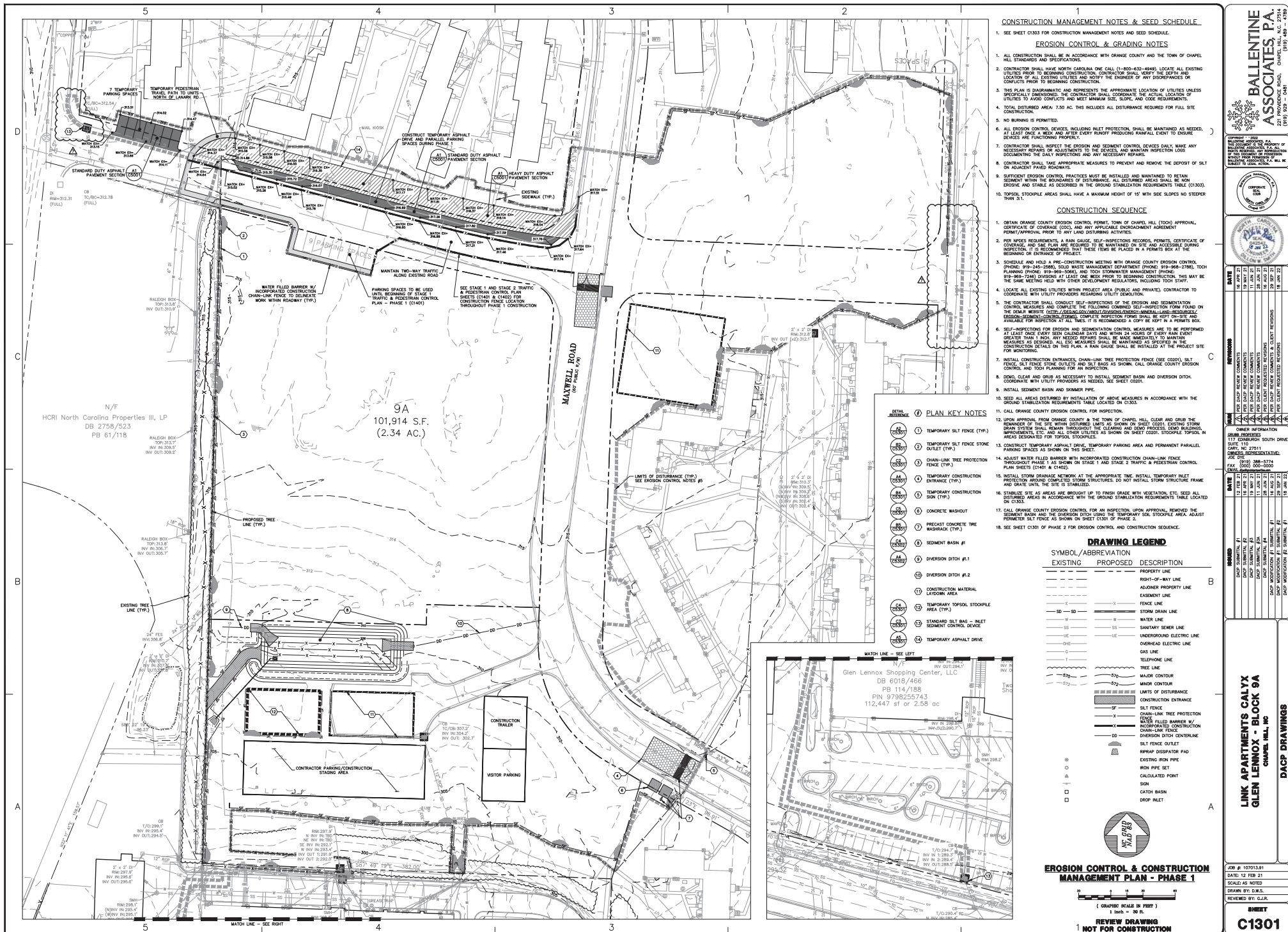
DATE	REVISIONS
12 FEB 21	FOR DACP REVIEW COMMENTS
19 MAR 21	FOR DACP REVIEW COMMENTS
11 JUN 21	FOR DACP REVIEW COMMENTS
18 JUN 21	FOR DACP REVIEW COMMENTS
28 SEP 21	FOR DACP REVIEW COMMENTS
10 JAN 21	FOR DACP REVIEW COMMENTS

LINK APARTMENTS CALYX GLEN LENHOX - BLOCK 9A
 CHARTER, LLC, NC

DACP DRAWINGS

JOB # 107013.91
 DATE: 12 FEB 21
 SCALE: AS NOTED
 DRAWN BY: D.W.S.
 REVIEWED BY: C.J.A.

SHEET
C1210



**BALLENTINE
ASSOCIATES, P.A.**
SCIENCE ROAD, CHAPEL HILL, N.C. 27514
0481 (919) 489 - 4789

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16 APR 21	16 APR 21
19 MAY 21	19 MAY 21
11 JUN 21	11 JUN 21
26 JUN 21	26 JUN 21
16 AUG 21	16 AUG 21
29 SEP 21	29 SEP 21
18 JAN 22	18 JAN 22

PER DADP REVIEW COM	PER DADP REVIEW COM	PER DADP REVIEW COM	PER DADP REVIEW COM	PER CLIENT REQUESTED	PER DADP REVIEW COM	PER CLIENT REQUESTED
Y	Y	Y	Y	Y	Y	Y

OWNER INFORMATION

SUBM PROPERTIES

17 EDINBURGH SOUTH DRIVE
 SUITE 110
 BRYN, NC 27511

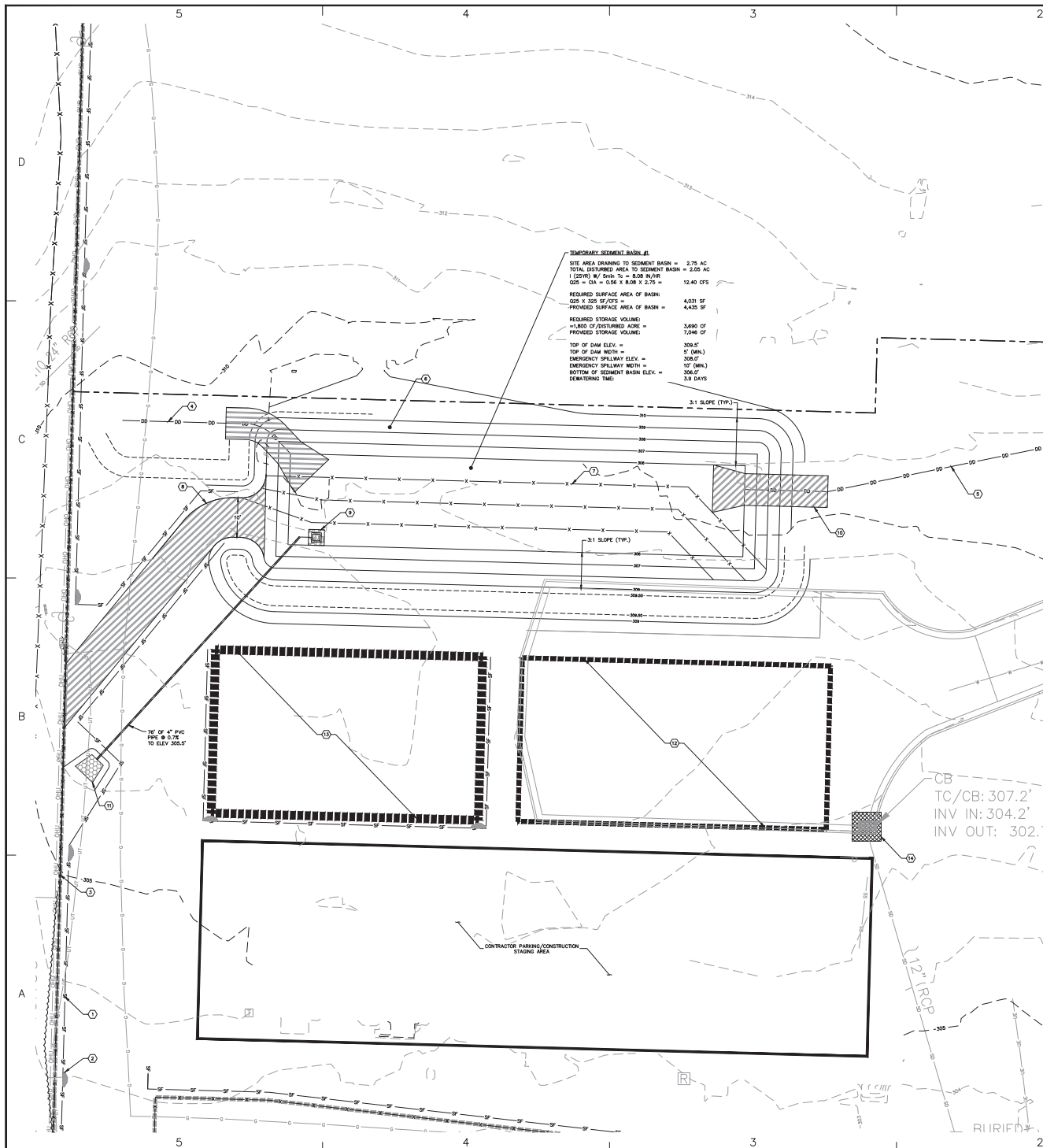
OWNERS REPRESENTATIVE:
 DAVE DYE
 (919) 388-5774

12 FEB 21	DACP SUBMITTAL #1
10 APR 21	DACP SUBMITTAL #2
19 MAY 21	DACP SUBMITTAL #3
11 JUN 21	DACP SUBMITTAL #3A
28 JUN 21	DACP SUBMITTAL #4
16 AUG 21	DACP MODIFICATION #1 SUBMITTAL #1
29 SEP 21	DACP MODIFICATION #1 SUBMITTAL #2
18 JUN 22	DACP MODIFICATION #2 SUBMITTAL #1

**LINK APARTMENTS CALYX
GLEN LENNOX - BLOCK 9A
CHAPEL HILL, NC**

DB #: 107013.91
DATE: 12 FEB 21
SCALE: AS NOTED
DRAWN BY: D.W.S.
REVIEWED BY: G.J.R.

C1301



- PLAN KEY NOTES**
- TEMPORARY SILT FENCE (TYP.)
 - TEMPORARY SILT FENCE STONE OUTLET (TYP.)
 - CHAIN-LINK TREE PROTECTION FENCE (TYP.)
 - DIVERSION DITCH #1
 - DIVERSION DITCH #2
 - LINE ALL SEDIMENT BASIN SLOPES WITH STRAIN BLANKET MATTING NORTH AMERICAN GREEN (5150)
 - TEMPORARY COR FIBER BAFFLE (TYP.)
 - POLY LINER AT SEDIMENT BASIN SPILLWAY
 - TEMPORARY 4.0" SKIMMER W/ 2.5" ORIFICE
 - DIVERSION DITCH OUTLET AT SKIMMER BASIN
 - RP-RAP APRON (ELEV. = 305.0')
 - CONSTRUCTION MATERIAL LAYDOWN AREA
 - TEMPORARY TOPSOIL STOCKPILE AREA (TYP.)
 - STANDARD SILT BAG - INLET SEDIMENT CONTROL, 5000

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJACENT PROPERTY LINE
---	---	---	EASEMENT LINE
X	X	X	FENCE LINE
SD	SD	SD	STORM DRAIN LINE
W	W	W	WATER LINE
SS	SS	SS	SEWAGE LINE
GE	GE	GE	UNDERGROUND ELECTRIC LINE
OE	OE	OE	OVERHEAD ELECTRIC LINE
G	G	G	GAS LINE
T	T	T	TELEPHONE LINE
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	LIMITS OF DISTURBANCE
---	---	---	CONSTRUCTION ENTRANCE
---	---	---	SILT FENCE
---	---	---	CHAIN-LINK TREE PROTECTION FENCE
---	---	---	DIVERSION DITCH CENTERLINE
---	---	---	SILT FENCE OUTLET
---	---	---	RAPRAP DISSEMINATOR PAD
---	---	---	EXISTING IRON PIPE
---	---	---	IRON PIPE SET
---	---	---	CALCULATED POINT
---	---	---	SOIL
---	---	---	CATCH BASIN
---	---	---	DROP INLET
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT
---	---	---	FIRE DEPARTMENT CONNECTION
---	---	---	BACKFLOW PREVENTER
---	---	---	BLOW OFF VALVE
---	---	---	SANITARY SEWER MANHOLE
---	---	---	SANITARY SEWER CLEANOUT
---	---	---	POWER POLE
---	---	---	ELECTRIC TRANSFORMER
---	---	---	GAS METER

**SEDIMENT BASIN
ENLARGEMENT - PHASE 1**

(GRAPHIC SCALE IN FEET)
 1 inch = 10 ft.

**REVIEW DRAWING
NOT FOR CONSTRUCTION**

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 228 PROSPERITY ROAD, CHAPEL HILL, N.C. 27514
 919.333.1000 FAX 919.333.1001

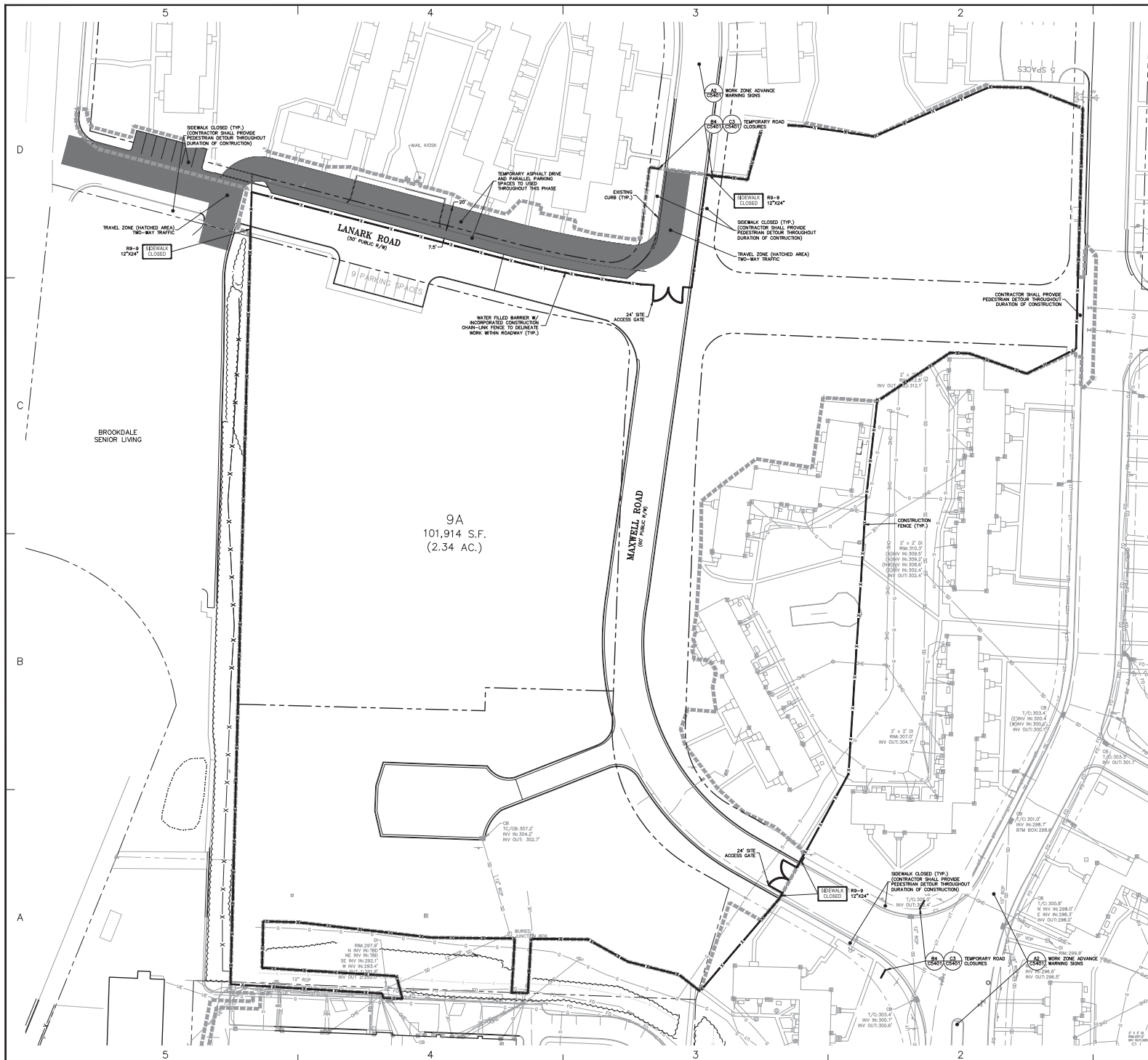
**LINK APARTMENTS CALYX
GLEN LENHOX - BLOCK 9A
CHAPEL HILL, NC**

DACP DRAWINGS

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19 APR 21	100	DAKP	DAKP	DAKP

JOB # 107013.91
 DATE: 12 FEB 21
 SCALE: AS NOTED
 DRAWN BY: D.K.S.
 CHECKED BY: G.L.S.

**SHEET
C1302**



TRAFFIC CONTROL NOTES

ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH APPLICABLE MUTCD AND MUTCD STANDARDS.

ADAPT THE TRAFFIC CONTROL CONCEPTS, WHEN DIRECTED BY THE ENGINEER, TO MEET THE NEEDS OF THE PROJECT. THE TRAFFIC CONTROL PLAN SHALL BE REVISED AS REQUIRED WHEN PHYSICAL DIMENSIONS IN THE DETAIL DRAWINGS, STANDARD DETAILS AND ROADWAY STATUS ARE NOT ATTAINABLE OR RESULT IN DUPLICATION OF UNDESIRABLE OVERLAPPING OF DEVICES. MODIFICATION MAY INCLUDE: MOVING, SUPPLEMENTING, DELETING OR REMOVING DEVICES.

THE FOLLOWING GENERAL NOTES APPLY AT ALL TIMES FOR THE DURATION OF THE CONSTRUCTION PROJECT, EXCEPT WHEN OTHERWISE NOTED IN THE PLAN OR DIRECTED BY THE ENGINEER.

TIME RESTRICTIONS:

- THERE SHALL BE NO TIME RESTRICTIONS CONCERNING THE PROPOSED TRAFFIC MANAGEMENT PLAN.
- DO NOT CONDUCT ANY HAULING OPERATIONS AGAINST THE FLOW OF TRAFFIC ON OPEN TRAVELWAY UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL OR OTHERWISE DIRECTED BY THE ENGINEER.

LANE AND SHOULDER CLOSURE REQUIREMENTS:

- REMOVE LANE CLOSURE DEVICES FROM THE LANE WHEN WORK IS NOT BEING PERFORMED BEHIND THE LANE CLOSURE OR WHEN A LANE CLOSURE IS NO LONGER NEEDED, OR AS DIRECTED BY THE ENGINEER.
- WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING WITHIN 40 FT OF AN OPEN TRAVEL LANE, CLOSE THE NEAREST OPEN TRAVEL LANE USING ROADWAY STANDARD DRAWING NO. 101.02 UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL.
- WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING ON THE SHOULDER ADJACENT TO AN UNDIVIDED FACILITY AND WITHIN 5 FT OF AN OPEN TRAVEL LANE, CLOSE THE NEAREST OPEN TRAVEL LANE USING ROADWAY STANDARD DRAWING NO. 101.02 UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL.
- WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING WITHIN A LANE OR TRAVEL LANE OF AN UNDIVIDED FACILITY, CLOSE THE LANE ACCORDING TO THE ENGINEER'S CONVEYANCE OF THE WORK SO THAT ALL PERSONNEL AND/OR EQUIPMENT REMAIN WITHIN THE CLOSED TRAVEL LANE.
- DO NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVELWAY, WITHIN THE SAME LOCATION, ON A TWO-LANE, TWO-WAY ROAD.
- DO NOT PERFORM WORK INVOLVING HEAVY EQUIPMENT WITHIN 15 FT OF THE EDGE OF TRAVELWAY WHEN WORK IS BEING PERFORMED BEHIND A LANE CLOSURE ON THE OPPOSITE SIDE OF THE TRAVELWAY.

PAVEMENT EDGE, DROP OFF, REQUIREMENTS:

- WHEN A 1:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPEN TRAVEL LANE THAT HAS A DROP-OFF AS APPROVED BY THE ENGINEER.
- BACKFILL WITH SUITABLE COMPACTED MATERIAL, AS APPROVED BY THE ENGINEER.
- DO NOT EXCEED A DIFFERENCE OF 1.5 INCHES IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC. INSTALL ADVANCE WARNING "UNEVEN LANES" SIGNS (WB-11) 500 FT IN ADVANCE OF THE UNEVEN AREA.

SIGNING:

- INSTALL ADVANCE WORK ZONE WARNING SIGNS WHEN WORK IS WITHIN 100 FT FROM THE EDGE OF TRAVEL LANE AND NO MORE THAN THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- WHEN NO WORK IS BEING CONDUCTED FOR A PERIOD LONGER THAN ONE WEEK, REMOVE OR COVER ALL ADVANCE WORK ZONE WARNING SIGNS AS DIRECTED BY THE ENGINEER.
- PROVIDE PERMANENT SIGNING.
- ENSURE ALL NECESSARY SIGNING IS IN PLACE PRIOR TO ALTERING ANY TRAFFIC PATTERN.
- SPACE CHANNELIZING DEVICES IN WORK AREAS NO GREATER THAN TWICE THE POSTED SPEED LIMIT (MPH), EXCEPT 15 FT ON-CENTER IN RURAL AND 10 FT OFF THE EDGE OF AN OPEN TRAVELWAY WHEN LANE CLOSURES ARE NOT IN EFFECT.
- PLACE SETS OF THREE DRUMS PERPENDICULAR TO THE EDGE OF THE TRAVELWAY ON 300 FT CENTERS WHEN UNDIVIDED LANES ARE CLOSED TO TRAFFIC. THESE DRUMS SHALL BE IN ADDITION TO CHANNELIZING DEVICES.

EQUIPMENT MARKINGS AND MARKERS:

- INSTALL PAVEMENT MARKINGS AS SHOWN ON PLAN SHEETS.
- REFER TO SECTION 100 OF THE MUTCD STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, LATEST EDITION, JANUARY 2003 FOR APPLICATION TIMES AND PLACEMENT OF PAVEMENT MARKINGS.
- PLACE AT LEAST TWO APPLICATIONS OF PAINT PAVEMENT MARKINGS ON THE FINAL WEARING SURFACE ON NEW ASPHALT PAVEMENT. PLACE ADDITIONAL APPLICATIONS OF PAINT UPON SUFFICIENT DRYING TIME, AS DETERMINED BY THE ENGINEER.
- REPLACE ANY PAVEMENT MARKINGS THAT HAVE BEEN DAMAGED BY THE END OF EACH DAY'S OPERATION.
- PLACE AT LEAST TWO APPLICATIONS OF PAINT ON NEW ASPHALT WITH TEMPORARY TRAFFIC PATTERNS WHICH WILL REMAIN IN PLACE OVER THREE (3) MONTHS. PLACE ADDITIONAL APPLICATIONS OF PAINT UPON SUFFICIENT DRYING TIME, AS DETERMINED BY THE ENGINEER.
- CONTRACTOR SHALL MAINTAIN ALL TEMPORARY PAVEMENT MARKINGS UNTIL COMPLETION OF THERMOPLASTIC PAVEMENT MARKING INSTALLATION.
- BEFORE SHIFTING TRAFFIC TO NEW LOCATIONS, CONTRACTOR SHALL REMOVE ANY MARKINGS WHICH CONFLICT WITH THE NEW TRAFFIC PATTERNS.

PEDESTRIAN AND BICYCLIST SAFETY:

- PEDESTRIAN AND BICYCLIST SAFETY MUST BE MAINTAINED AT ALL TIMES BY ADEQUATE PROJECT LIMITS, FENCING, AND SIGNAGE.
- STOODUPLE EXISTING SIGNS FOR USE WHEN NEEDED IN TEMPORARY LOCATIONS.
- ACCESS SHALL BE MAINTAINED TO ALL RESIDENCES AND BUSINESSES AT ALL TIMES.

IN THE EVENT A "TE-IN" CANNOT BE MADE IN ONE DAY'S TIME, BRING THE "TE-IN" AREA TO AN APPROPRIATE ROADWAY LOCATION AS DETERMINED BY THE ENGINEER. PLACE BLACK OR ORANGE LOGIC GRADE SIGNS (WB-17) AND BLACK OR ORANGE "PAVEMENT DIRT" SIGNS (WB-3) AND RESPECTIVELY IN ADVANCE OF THE WORK AREA. USE DRUMS TO DELINEATE THE EDGE OF ROADWAY ALONG UNPAVED AREAS.

DRAWING LEGEND

SYMBOL	DESCRIPTION
	PORTABLE SIGN
	DIRECTION OF TRAFFIC FLOW
	NODOT SHINY DRUM
	DETOUR ROUTE
	PEDESTRIAN DETOUR ROUTE
	CONSTRUCTION CHAIN-LINK FENCE
	WATER FILLED BARRIER BY INCORPORATED CONSTRUCTION CHAIN-LINK FENCE
	TEMPORARY SIGN WITH SIZE AND STANDARD
	NOTED REFERENCE #

STAGE 1 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1

1. REVIEW DRAWING NOT FOR CONSTRUCTION

(GRAPHIC SCALE IN FEET)
1 inch = 30 ft

BALLENTINE ASSOCIATES, P.A.
225 PROGRESS ROAD, CHAMPELLE, ILL. 60120
TEL: 630.251.1000 FAX: 630.251.1001

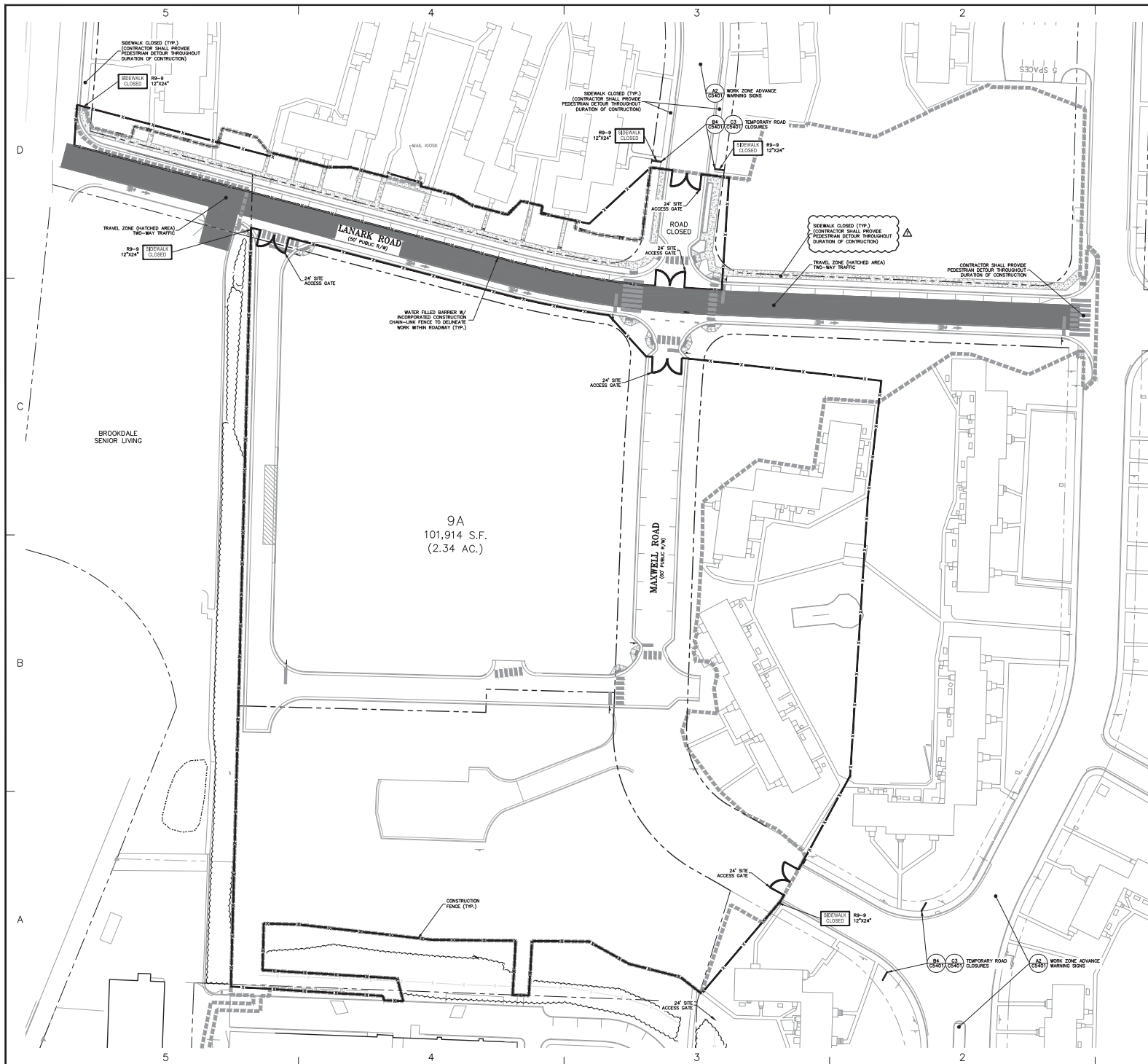
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18 OCT 21	7. REVISED PER COMMENTS
18 NOV 21	8. REVISED PER COMMENTS
18 DEC 21	9. REVISED PER COMMENTS
18 JAN 22	10. REVISED PER COMMENTS

LINK APARTMENTS CALVY GLEN LENOX - BLOCK 9A
CHAMPELLE, ILL. NO.

DACP DRAWINGS

JOB # 10703.91
DATE: 12 FEB 21
SCALE: AS NOTED
DRAWN BY: D.M.S.
REVIEWED BY: J.L.S.

SHEET C1401



TRAFFIC CONTROL NOTES

ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH APPLICABLE MUTCD AND MUTCD STANDARDS.

ADAPT THE TRAFFIC CONTROL CONCEPTS, WHEN DIRECTED BY THE ENGINEER, TO MEET BEST CONDITIONS IN REGARD TO TRAFFIC SAFETY AND EFFICIENT TRAFFIC MOVEMENT. CHANGES MAY BE REQUIRED WHEN PHYSICAL DIMENSIONS IN THE DETAIL DRAWINGS, STANDARD DETAILS AND ROADWAY STANDARDS ARE NOT ATTAINABLE OR RESULT IN DUPLICATION OF UNDESIRABLE OVERLAPPING OF DEVICES. MODIFICATION MAY INCLUDE: MOVING, SUPPLEMENTING, COVERING OR REMOVING DEVICES.

THE FOLLOWING GENERAL NOTES APPLY AT ALL TIMES FOR THE DURATION OF THE CONSTRUCTION PROJECT, EXCEPT WHEN OTHERWISE NOTED IN THE PLAN, OR DIRECTED BY THE ENGINEER.

TIME RESTRICTIONS:

- A) THERE SHALL BE NO TIME RESTRICTIONS CONCERNING THE PROPOSED TRAFFIC MANAGEMENT PLAN.
- B) DO NOT CONDUCT ANY HAULING OPERATIONS AGAINST THE FLOW OF TRAFFIC OF AN OPEN TRAVELWAY UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL OR OTHERWISE DIRECTED BY THE ENGINEER.

LANE AND SHOULDER CLOSURE REQUIREMENTS:

- C) REMOVE LANE CLOSURE DEVICES FROM THE LANE WHEN WORK IS NOT BEING PERFORMED BEHIND THE LANE CLOSURE OR WHEN A LANE CLOSURE IS NO LONGER NEEDED, OR AS DIRECTED BY THE ENGINEER.
- D) WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING WITHIN 40 FT OF AN OPEN TRAVELWAY, CLOSE THE NEAREST OPEN SHOULDER USING ROADWAY STANDARD DRAWING NO. 101.02 UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL.
- E) WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING WITHIN A LANE OF TRAVEL OF AN UNDIVIDED OR DIVIDED FACILITY, CLOSE THE LANE ACCORDING TO THE ENGINEER'S CONVEYANCE OF THE ROADWAY SO THAT ALL PERSONNEL AND/OR EQUIPMENT REMAIN WITHIN THE CLOSED TRAVEL LANE.
- F) DO NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVELWAY, WITHIN THE SAME LOCATION, ON A TWO-WAY TWO-WAY TRAFFIC.
- G) DO NOT PERFORM WORK INVOLVING HEAVY EQUIPMENT WITHIN 15 FT OF THE EDGE OF TRAVELWAY WHEN WORK IS BEING PERFORMED BEHIND A LANE CLOSURE ON THE OPPOSITE SIDE OF THE TRAVELWAY.

EQUIPMENT, EDGE DROP-OFF REQUIREMENTS:

- H) BACKFILL AT A 4:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPENED TRAVEL LANE THAT HAS A DROP-OFF AS FOLLOWS:
BACKFILL DROP-OFFS THAT EXCEED 3 INCHES ON ROADWAYS WITH POSTED SPEED LIMITS LESS THAN 45 MPH.
BACKFILL WITH SUITABLE COMPACTED MATERIAL, AS APPROVED BY THE ENGINEER.
- I) DO NOT EXCEED A DIFFERENCE OF 1.5 INCHES IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC. INSTALL ADVANCE WARNING "UNEVEN LANE" SIGNS (WB-11) 500 FT IN ADVANCE OF THE UNEVEN AREA.

SIGNING:

- J) INSTALL ADVANCE WORK ZONE WARNING SIGNS WHEN WORK IS WITHIN 100 FT FROM THE EDGE OF TRAVEL LANE AND NO MORE THAN THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- K) WHEN NO WORK IS BEING CONDUCTED FOR A PERIOD LONGER THAN ONE WEEK, REMOVE OR COVER ALL ADVANCE WORK ZONE WARNING SIGNS AS DIRECTED BY THE ENGINEER.
- L) PROVIDE PERMANENT SIGNING.
- M) ENSURE ALL NECESSARY SIGNING IS IN PLACE PRIOR TO ALTERING ANY TRAFFIC PATTERN.

TRAFFIC CONTROL DEVICES:

- N) SPACE CHANNELIZING DEVICES IN WORK AREAS NO GREATER THAN TWICE THE POSTED SPEED LIMIT (MPH), EXCEPT 10 FT ON-CENTER IN RADIUS AND 15 FT OFF THE EDGE OF AN OPEN TRAVELWAY WHEN LANE CLOSURES ARE NOT IN EFFECT.
- O) PLACE SETS OF THREE DRUMS PERPENDICULAR TO THE EDGE OF THE TRAVELWAY ON 300 FT CENTERS WHEN UNDIVIDED LANES ARE CLOSED TO TRAFFIC. THESE DRUMS SHALL BE IN ADDITION TO CHANNELIZING DEVICES.

EQUIPMENT MARKINGS AND MARKERS:

- P) INSTALL PAVEMENT MARKINGS AS SHOWN ON PLAN SHEETS.
- Q) REFER TO SECTION 1005 OF THE MUTCD STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, LATEST EDITION, JANUARY 2003, FOR APPLICATION TIMES AND ADDITIONAL INFORMATION.
- R) PLACE AT LEAST TWO APPLICATIONS OF PAINT PAVEMENT MARKINGS ON THE FINAL WEARING SURFACE ON NEW ASPHALT PAVEMENT. PLACE ADDITIONAL APPLICATIONS OF PAINT UPON SUFFICIENT DRYING TIME, AS DETERMINED BY THE ENGINEER.
- S) THE PROPOSED PAVEMENT MARKING LINES TO EXISTING PAVEMENT MARKING LINES.
- T) REPLACE ANY PAVEMENT MARKINGS THAT HAVE BEEN DAMAGED BY THE END OF EACH DAYS OPERATION.
- U) PLACE AT LEAST TWO APPLICATIONS OF PAINT ON NEW ASPHALT WITH TEMPORARY TRAFFIC PATTERNS WHICH WILL REMAIN IN PLACE OVER THREE (3) MONTHS. PLACE ADDITIONAL APPLICATIONS OF PAINT UPON SUFFICIENT DRYING TIME, AS DETERMINED BY THE ENGINEER.
- V) CONTRACTOR SHALL MAINTAIN ALL TEMPORARY PAVEMENT MARKINGS UNTIL COMPLETION OF THERMOPLASTIC PAVEMENT MARKING INSTALLATION.
- W) BEFORE SHIFTING TRAFFIC TO NEW LOCATIONS, CONTRACTOR SHALL REMOVE ANY MARKINGS WHICH CONFLICT WITH THE NEW TRAFFIC PATTERNS.
- X) PEDESTRIAN AND BICYCLIST SAFETY:
- Y) POLICE MAY BE USED TO MAINTAIN TRAFFIC THROUGH INTERSECTIONS.
- Z) STOOPPILE EXISTING SIGNS FOR USE WHEN NEEDED IN TEMPORARY LOCATIONS.
- AA) ACCESS SHALL BE MAINTAINED TO ALL RESIDENCES AND BUSINESSES AT ALL TIMES.
- BB) IN THE EVENT A TE-IN CANNOT BE MADE IN ONE DAYS TIME, BRING THE TE-IN AREA TO AN APPROPRIATE ROADWAY ELEVATION AS DETERMINED BY THE ENGINEER. PLACE BLACK OR ORANGE LOGS (ORANGE LOGS (ORANGE LOGS) AND BLACK OR ORANGE "PAVEMENT DIRT" SIGNS (WB-3) AND RESPECTIVELY IN ADVANCE OF THE WORK AREA. USE DRUMS TO DELINEATE THE EDGE OF ROADWAY ALONG UNPAVED AREAS.

DRAWING LEGEND

SYMBOL	DESCRIPTION
	PORTABLE SIGN
	DIRECTION OF TRAFFIC FLOW
	NODOT SHINY DRUM
	DETOUR ROUTE
	PEDESTRIAN DETOUR ROUTE
	CONSTRUCTION CHAIN-LINK FENCE
	WATER FILLED BARRIER W/ INCORPORATED CONSTRUCTION CHAIN-LINK FENCE
	TEMPORARY SIGN WITH SIZE AND STANDARD
	WORK ZONE ADVANCE WARNING SIGN
	TEMPORARY ROAD CLOSURE

STAGE 2 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1

(GRAPHIC SCALE IN FEET)
1 inch = 30 ft

REVIEW DRAWING
NOT FOR CONSTRUCTION

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225 PROGRESS ROAD
CHAMPELAIN, N.C. 27514
(919) 285-1000

DATE: 12 FEB 21
SCALE: AS NOTED
DRAWN BY: D.M.S.
REVIEWED BY: C.L.S.

LINK APARTMENTS CALYX GLEN LENOX - BLOCK 9A
CHAMPELAIN, N.C.
DACP DRAWINGS

JOB # 10703.91
DATE: 12 FEB 21
SCALE: AS NOTED
DRAWN BY: D.M.S.
REVIEWED BY: C.L.S.

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