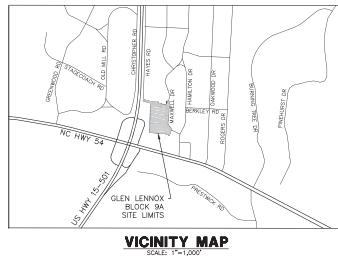


DEVELOPMENT AGREEMENT COMPLIANCE PERMIT (DACP) DRAWINGS

FOR LINK APARTMENTS CALYX

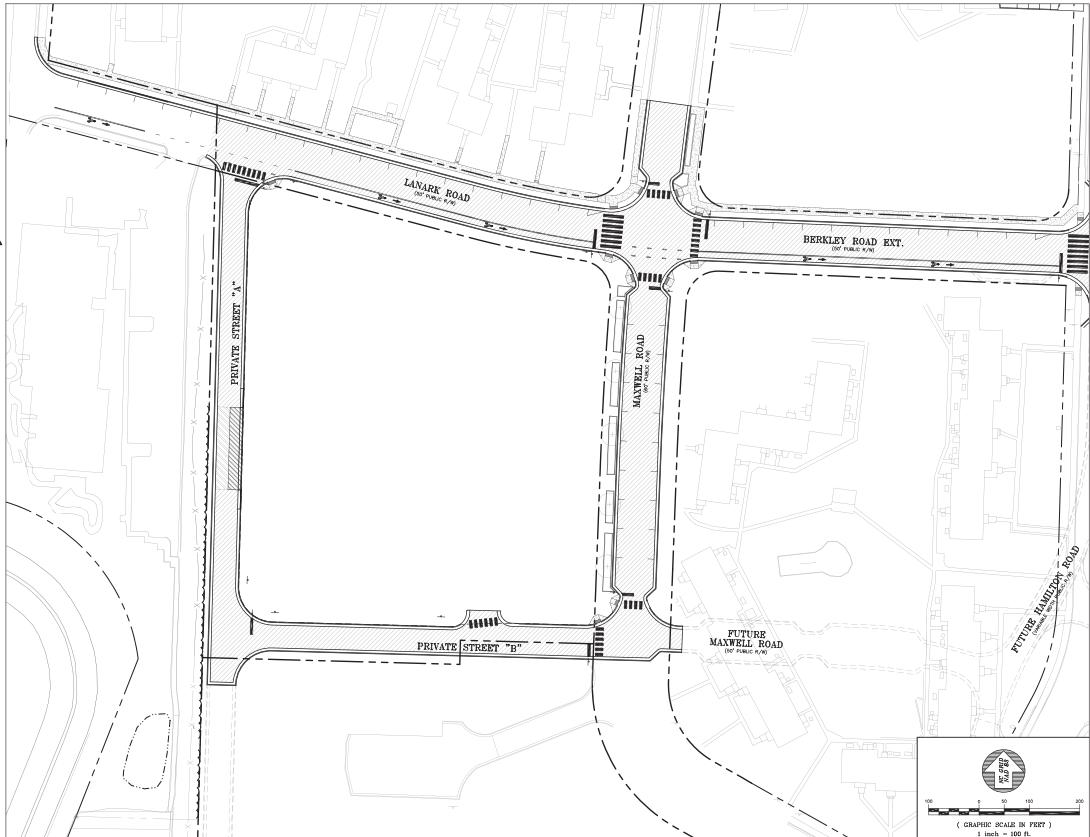
GLEN LENNOX - BLOCK 9A - PHASE 1

CHAPEL HILL, NORTH CAROLINA



SITE DATA TABLE

PROPERTY NAME:	LINK APARTMENTS CALYX (GLEN LENNOX BLOCK 9A)
PROPERTY PIN NUMBER:	9798265134
PROPERTY LOCATION:	TOWN OF CHAPEL HILL
CURRENT LAND OWNER:	GLEN LENNOX APARTMENTS, LLC 1436 WEST MOREHEAD STREET, SUITE 100 CHARLOTTE, NC 28209
PROPERTY ZONING:	R-3 WITH NEIGHBORHOOD REVITALIZATION DISTRICT (NCDRC) OVERLAY
SETBACKS:	LAWNS = 18' (FROM BACK OF CURB) MAXWELL = 18' (FROM BACK OF CURB) PERIMETER = 18' (FROM PROPERTY LINE)
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
PROPOSED LOT SIZE (SF):	105,777 S.F. (2.43 AC)
EXISTING IMPERVIOUS SURFACE AREA DEMOLITION:	-16,620 S.F.
PROPOSED IMPERVIOUS SURFACE AREA ONLY:	18,000 S.F. (PHASE 1) INCLUDES IMPERVIOUS ALLOWANCE
PROPOSED IMPERVIOUS SURFACE AREA AND DEMOLITION:	48,600 S.F.
TOTAL IMPERVIOUS SURFACE AREA INCREASE:	+48,600 S.F.
VEHICULAR PARKING SUMMARY:	0 (SEE PHASE 2) 0 (SEE PHASE 2) REQUIRED: PROVIDED: 0 (SEE PHASE 2) 0 (SEE PHASE 2)
BICYCLE PARKING SUMMARY:	0 (SEE PHASE 2) 0 (SEE PHASE 2) REQUIRED: PROVIDED: 0 (SEE PHASE 2) 0 (SEE PHASE 2)



DRAWING LIST

SHEET	DRAWING TITLE	LATEST ISSUE DATE
Q0001	COVER SHEET - PHASE 1	18 JAN 22
C0001	AREA MAP - PHASE 1	18 JAN 22
C0101	EXISTING CONDITIONS PLAN - PHASE 1	18 JAN 22
C0102	GLEN LENNOX TREE SURVEY OVERVIEW	18 JAN 22
C0103	ENLARGED GLEN LENNOX TREE SURVEY - NORTH	18 JAN 22
C0104	ENLARGED GLEN LENNOX TREE SURVEY - SOUTH	18 JAN 22
C0105	OVERALL GLEN LENNOX TREE LIST	18 JAN 22
C0201	DEMOLITION & LANDSCAPE PROTECTION PLAN - PHASE 1	18 JAN 22
C1001	SITE PLAN - PHASE 1	18 JAN 22
C1011	UTILITY PLAN - PHASE 1	18 JAN 22
C1201	GRADING & DRAINAGE PLAN - PHASE 1	18 JAN 22
C1210	STORM DRAINAGE PROFILES - PHASE 1	18 JAN 22
C1301	EROSION CONTROL & CONSTRUCTION MANAGEMENT PLAN - PHASE 1	18 JAN 22
C1302	SEDIMENT BASIN ENLARGEMENT - PHASE 1	18 JAN 22
C1303	NCGO1 REQUIREMENTS - PHASE 1	18 JAN 22
C1401	STAGE 1 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1	18 JAN 22
C1402	STAGE 2 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1	18 JAN 22
C3101	LANARK ROAD PLAN & PROFILE - PHASE 1	18 JAN 22
C3102	MAXWELL ROAD PLAN & PROFILE - PHASE 1	18 JAN 22
C3103	PRIVATE ROAD A PLAN & PROFILE - PHASE 1	18 JAN 22
C3104	PRIVATE ROAD B PLAN & PROFILE - PHASE 1	18 JAN 22
C3105	BERKLEY ROAD EXTENSION PLAN & PROFILE - PHASE 1	18 JAN 22
C3201	TYPICAL ROAD SECTIONS - PHASE 1	18 JAN 22
C3202	TYPICAL ROAD SECTIONS - PHASE 1	18 JAN 22
C4201	SCM #1 ENLARGEMENT AND SECTIONS - PHASE 1	18 JAN 22
C5001	SITE DETAILS - PHASE 1	18 JAN 22
C5002	SITE DETAILS - PHASE 1	18 JAN 22
C5101	UTILITY DETAILS - PHASE 1	18 JAN 22
C5102	UTILITY DETAILS - PHASE 1	18 JAN 22
C5201	STORM DRAINAGE DETAILS - PHASE 1	18 JAN 22
C5301	EROSION CONTROL DETAILS - PHASE 1	18 JAN 22
C5302	EROSION CONTROL DETAILS - PHASE 1	18 JAN 22
C5401	TRAFFIC CONTROL DETAILS - PHASE 1	18 JAN 22

DACP - Phase 1 Modification Approval 2/10/2022 33 pages Anya Grahn, Planning Dept.

**BALLENTINE ASSOCIATES, P.A.
221 PROVINCE ROAD, CHAPEL HILL, NC 27514
(919) 929-0481 (919) 489-4789**



DATE	REVISION	REVISIONS
12 FEB 21	PER DAP REVIEW COMMENTS	
16 FEB 21	PER DAP REVIEW COMMENTS	
17 FEB 21	PER DAP REVIEW COMMENTS	
28 FEB 21	PER DAP REVIEW COMMENTS	
16 MARCH 21	PER DAP REVIEW COMMENTS	
28 MARCH 21	PER DAP REVIEW COMMENTS	
15 APRIL 21	PER DAP REVIEW COMMENTS	
18 APRIL 21	PER DAP REVIEW COMMENTS	
12 FEB 21	OWNER INFORMATION GRUES PROPERTIES 111 EDWARD STREET CARY, NC 27511 336-433-2700 JOE DYE (919) 333-0000 FAX: (919) 333-0000 EMAIL: JOE.DYE@GRUESPROPERTIES.COM	

**LINK APARTMENTS CALYX
GLEN LENNOX - BLOCK 9A
CHAPEL HILL, NC**

DACP DRAWINGS

JOB # 100115.01
DATED: 12-FEB-21
SCALE: AS NOTED
DRAWN BY: GWS
REVIEWED BY: GJW
SHEET
G0001



GRUES PROPERTIES
People who care. Places that matter.
401 PARK ROAD,
CHARLOTTE, NC 28209
(704) 334-1716



BB+M
ARCHITECTURE
1436 WEST MOREHEAD STREET,
SUITE 100, CHARLOTTE, NC 28209
(704) 334-1716



CIVIL ENGINEERING
BALLENTINE
ASSOCIATES, P.A.
221 PROVINCE ROAD, CHAPEL HILL, NC 27514
(919) 929-0481 (919) 489-4789



LANDSCAPE ARCHITECTURE:
LITTLE
LITTLE LANDSCAPE ARCHITECTURE
401 BUCKNELL STREET, SUITE 10
CHAPEL HILL, NC 27514
(919) 474-2600

REVIEW DRAWING
READY FOR CONSTRUCTION

NOTES

1. EXISTING CONDITIONS SHOWN ARE BASED UPON SITE SURVEYS PERFORMED BY BALLENTEINE ASSOCIATES AND GS INFORMATION FROM THE TOWN OF CHAPEL HILL.

2. THE PROPERTY DOES NOT USE A SPECIAL FLOOD INSURANCE RATE MAP. HABITATIONAL PROPERTY IS NOT SUBJECT TO FLOOD INSURANCE RATE MAPS.

3. DEVELOPER SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4249) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ONE CALL OF PROPOSED UTILITY DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ONE CALL OF PROPOSED OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.

4. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE POSITION OF EXISTING UTILITIES AS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL POSITION OF EXISTING UTILITIES WITH ONE CALL AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.

TREE LEGEND:

- RARE DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- SPECIMEN DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- RARE CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE
- SPECIMEN CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE



DATE	REFERENCE
16 APR 21	PER DAP REVIEW COMMENTS
12 MAY 21	PER DAP REVIEW COMMENTS
16 MAY 21	PER DAP REVIEW COMMENTS
11 JUN 21	PER DAP REVIEW COMMENTS
28 JUN 21	PER DAP REVIEW COMMENTS
16 JUL 21	PER DAP REVIEW COMMENTS
29 SEP 21	PER DAP REVIEW COMMENTS & CLIENT RECORDS
9 APR 21	DAP REASSESS RECORDS

OWNER INFORMATION

GRANITE GROUP INC.

117 EDINBURGH SOUTH DRIVE

CARY, NC 27513

JOE DYE (000)

FAX (919) 377-0330

E-MAIL

EDINBURGH@GMAIL.COM

EDINBURGH



DEMOLITION & LANDSCAPE PROTECTION PLAN FOR THE GLEN LENNOX SHOPPING CENTER, INC. PROPERTY LOCATED AT 117 EDINBURGH SOUTH DRIVE, CARY, NC 27513

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DRAFT: 12 APR 21
REVISIONS: 12 MAY 21
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TREE LEGEND:

- PARE DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- SPECIMEN DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- RARE/SCARCE DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- RARE/SCARCE CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE
- RARE/SCARCE CONIFEROUS TREE TO BE REMOVED

TREE SUMMARY

NAME	SPECIMEN	TOTAL
EXISTING TREES	39	90
TO BE REMOVED	39	90

*SEE SHEET CO205 FOR TREE LIST

DEMOLITION CONSTRUCTION SEQUENCE

1. OBTAIN ZONING COMPLIANCE, DEMOLITION AND GRADING PERMIT
2. HOLD PRE-DEMOLITION/PRE-CONSTRUCTION (SEE DEMOLITION NOTE #6).
3. INSTALL STANDARD TREE PROTECTION FENCE (SHOW HEDGEROW) AND ALL EROSION CONTROL MEASURES (SEE DEMOLITION NOTE #6 EXCEPT TEMPORARY FOREST).
4. HOLD INSPECTION OF TREE PROTECTION FENCE FOR APPROVAL FOR CONSTRUCTION ACTIVITY OR HOLD UNTIL APPROVAL IS RECEIVED.
5. HOLD TREE PROTECTION FENCE AS CONSTRUCTION ACTIVITY CONTINUES.
6. HOLD FOREST FENCE UNTIL APPROVAL IS RECEIVED FOR CONSTRUCTION ACTIVITY.

DEMOLITION NOTES

1. ALL EXISTING SCAFFOLDING AND CONCRETE FORMS SHALL BE ASSESSED PRIOR TO DEMOLITION. CONTRACTOR SHALL DETERMINE IF ANY EXISTING SCAFFOLDING OR CONCRETE FORMS ARE IN DANGER OF COLLAPSE DURING DEMOLITION. CONTRACTOR SHALL NOTIFY OWNER OF DANGER AND TAKE APPROPRIATE ACTION.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL DETERMINE IF ANY EXISTING SCAFFOLDING OR CONCRETE FORMS ARE IN DANGER OF COLLAPSE DURING DEMOLITION. CONTRACTOR SHALL NOTIFY OWNER OF DANGER AND TAKE APPROPRIATE ACTION.
3. PRIOR TO DEMOLITION, CONTRACTOR SHALL DETERMINE IF ANY EXISTING SCAFFOLDING OR CONCRETE FORMS ARE IN DANGER OF COLLAPSE DURING DEMOLITION. CONTRACTOR SHALL NOTIFY OWNER OF DANGER AND TAKE APPROPRIATE ACTION.
4. PURSUANT TO THE COUNTY RDMO, CLEAR WOOD, SCRAP METAL, AND OTHER WASTE MATERIALS FROM THE SITE. THESE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
5. PURSUANT TO THE COUNTY RDMO, ALL HALLERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE SHALL BE LICENSED BY ORANGE COUNTY.
6. PURSUANT TO THE COUNTY RDMO, ALL CONSTRUCTION AND DEMOLITION WASTE SHALL BE RECYCLED OR REUSED. UNLESS WITH THE APPROVAL OF THE SOLID WASTE STAFF, THIS MAY BE THE SAME PRE-DEMOLITION CONSTRUCTION ACTIVITY.
7. IN ALL AREAS WHERE IMPERVIOUS COVER IS SHOWN TO BE REMOVED AND RESTORED, THE DEPTH OF 18 INCHES BELOW ORIGINAL GRADE, UNLESS WITHIN THE CRITICAL ROOT ZONE OF A TREE, IS REQUIRED. IN THAT CASE, THE DEPTH OF 18 INCHES BELOW THE CRITICAL ROOT ZONE OF A TREE IS REQUIRED.
8. PLACE 4-6 INCHES OF TOPSOIL (TO FINISHED GRADE) AND INSTALL PLANTING BEDS IN THE RESTORED AREA ACCORDING TO LSCA PLAN. DO NOT COMPACT TOPSOIL.
9. DURING DEMOLITION AND CONSTRUCTION, ALL OTHERS PRESENT ON THE SITE SHALL FOLLOW THE FIRE PREVENTION PROGRAM SUBMITTED TO THE OWNER AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENURE THAT IT IS FOLLOWED.
10. DURING CONSTRUCTION, FREIGHTING VEHICLE ACCESS SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION AND APPROVED BY THE OWNER. THE APPROVED ACCESS SHALL BE MAINTAINED UNTIL REPLACED BY AN APPROVED SIZE, WEATHER RESISTANT AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.

DEMOLITION & LANDSCAPE PROTECTION PLAN - PHASE 1

DRAWING LEGEND

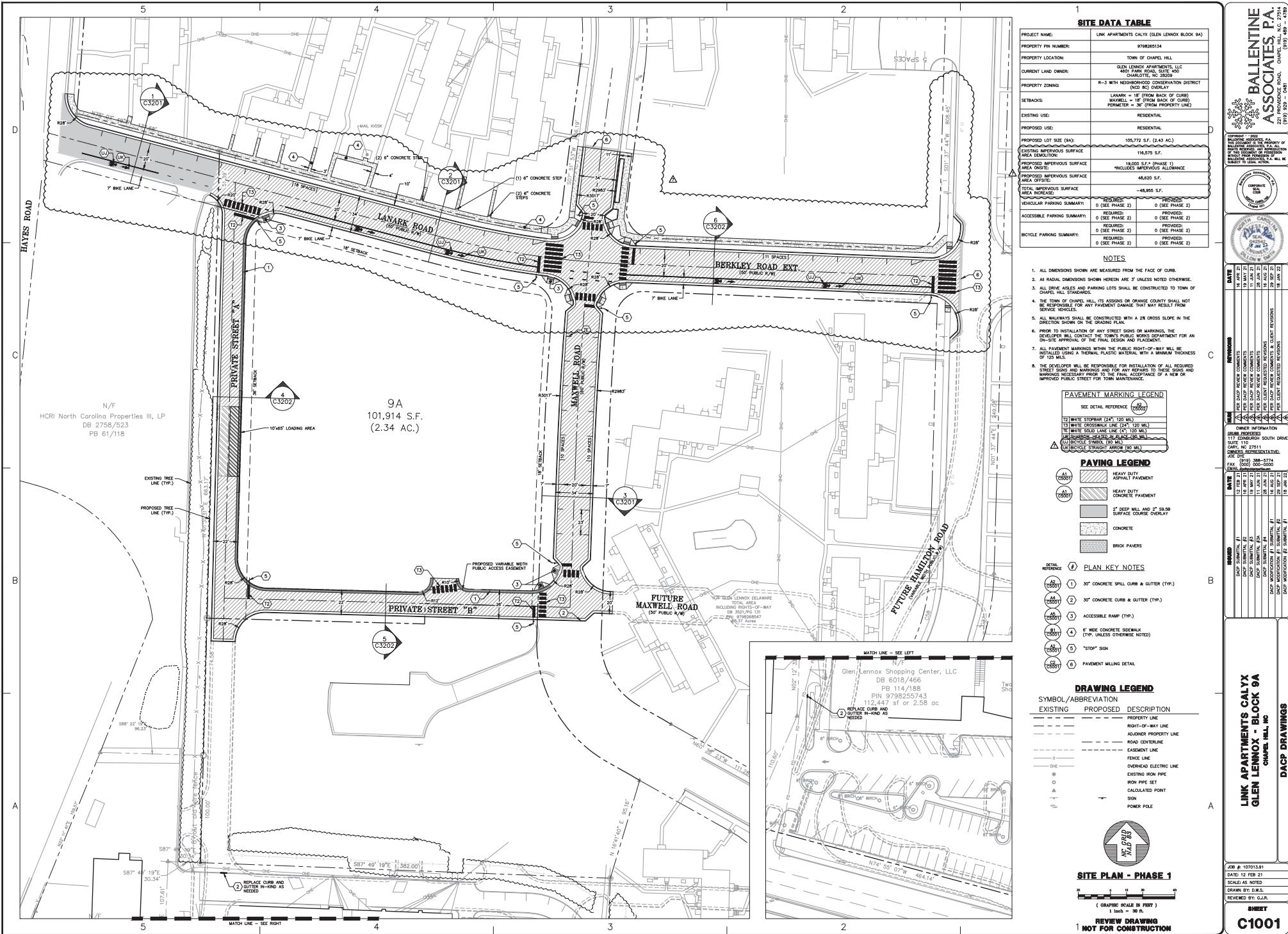
SYMBOL/ABBREVIATION	DESCRIPTION
PROPERTY LINE	RIGHT-OF-WAY LINE
RIGHT-OF-WAY LINE	ADJOINER PROPERTY LINE
EASEMENT LINE	EASEMENT LINE
SD	STORM DRAIN LINE
WATER LINE	WATER LINE
SS	SANITARY SEWER LINE
SE	SANITARY SEWER MANHOLE
ONE	OVERHEAD ELECTRIC LINE
OVE	GAS LINE
TEL	TELEPHONE LINE
TFP	LIMITS OF DISTURBANCE
TPF	TREE PROTECTION FENCE
TL	MAJOR CONTOUR
ML	MINOR CONTOUR
CLEAR	IRON PIPE
PIPE SET	IRON PIPE SET
CALCULATED POINT	CALCULATED POINT
SIGN	SIGN
DROP INLET	DROP INLET
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
BACKFILL CENTER	BACKFILL CENTER
SANITARY SEWER CLEANOUT	SANITARY SEWER CLEANOUT
GAS VALVE	GAS VALVE
POWER POLE	POWER POLE
PAVEMENT/CONCRETE	PAVEMENT/CONCRETE

**LINK APARTMENTS CALYX
GLEN LENNOX - BLOCK 9A**

DACP DRAWINGS

DEMOLITION & LANDSCAPE PROTECTION PLAN - PHASE 1

DEMOLITION & LANDSCAPE

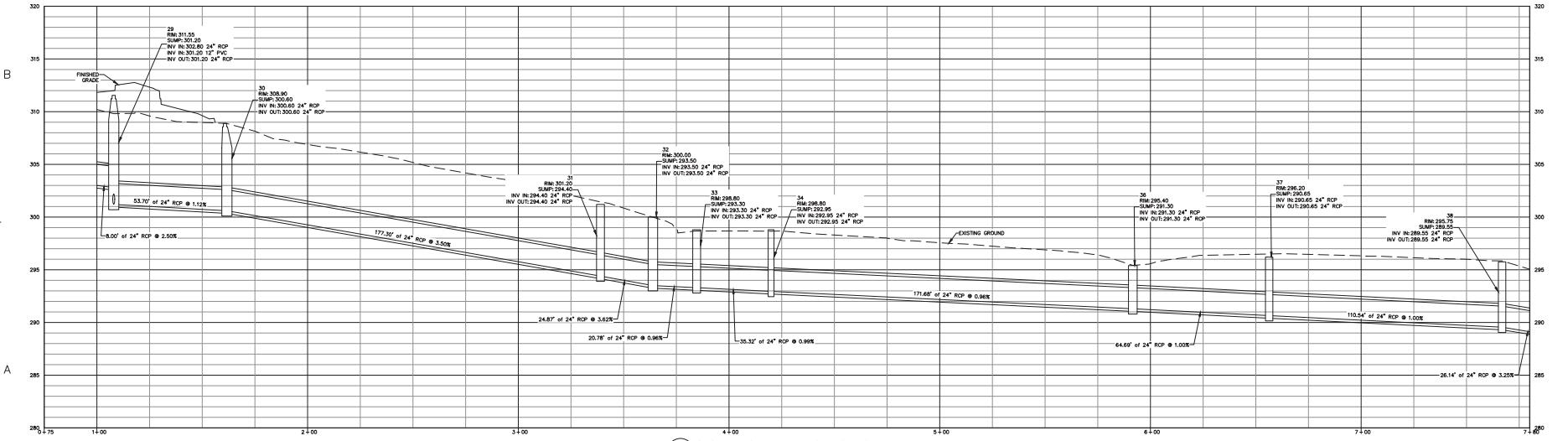






D

C



A3 STORM PROFILE: JB 29 TO EX CB NC-54
C1210 SCALE: H: 1" = 20° V: 1" = 4°

STORM DRAINAGE PROFILES - PHASE 1

REVIEW DRAWING
1 NOT FOR CONSTRUCTION

**BALLENTINE
ASSOCIATES, P.A.**
221 PROVIDENCE ROAD,
CHAPEL HILL, N.C. 27514
(919) 489-7481
(919) 929 - 0451

A circular blue ink stamp. The outer ring contains the text "UNIVERSITY OF WYOMING LIBRARIES" at the top and "LARAMIE, WYO." at the bottom. The center of the stamp contains the word "SEAL" at the top, followed by the date "18 JAN 22" in the middle, and "DILLON W. SMITH" at the bottom.

OWNER INFORMATION	PER DACP REVIEW COMMENTS	16 JUN
	PER DACP REVIEW COMMENTS	19 MAY
	PER DACP REVIEW COMMENTS	11 JUN
	PER DACP REVIEW COMMENTS	28 JUN
	PER CLIENT REQUESTED REVISIONS	16 AUG
	PER DACP REVIEW COMMENTS & CLIENT REVISIONS	29 SEP
	PER CLIENT REQUESTED REVISIONS	18 JUN

77 EDINBURGH SOUTH DRIVE
SUITE 110
ARY, NC 27511
OWNERS REPRESENTATIVE:
DE DYE
(919) 388-5774
(000) 000-0000
FAX: dyed@interbeam.com

12 FEB
16 APR
19 MAY
11 JUN
28 JUN
16 AUG
29 SEP
18 JUN

DACP SUBMITTAL #1
DACP SUBMITTAL #2
DACP SUBMITTAL #3
DACP SUBMITTAL #3A
DACP SUBMITTAL #4
MODIFICATION #1 SUBMITTAL #
MODIFICATION #1 SUBMITTAL #
MODIFICATION #2 SUBMITTAL #
MODIFICATION #2 SUBMITTAL #

DNCP
DNCP
DNCP

98
YX

WINGS
L, NC

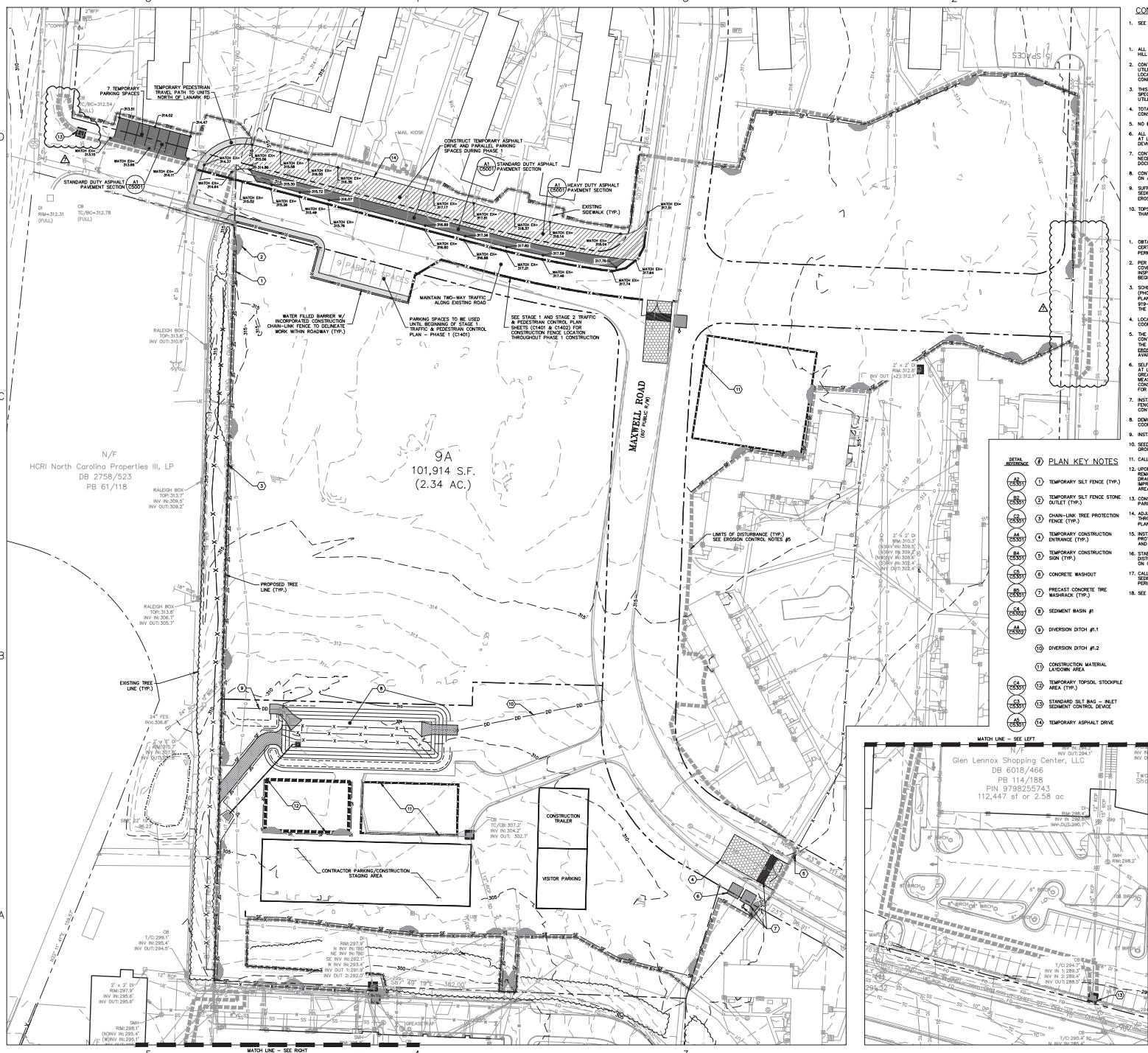
K APARTMENT
LENNOX -
CHAPEL HALL
DACP DRAW

ЛИНГ

08 # 107013.91
DATE: 12 FEB 21

SCALE: AS NOTED
DRAWN BY: D.W.S.
REVIEWED BY: G.J.R.
SHEET

C1210



CONSTRUCTION MANAGEMENT NOTES & SCHEDULE

CONSTRUCTION SEQUENCE

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
—	—	—	RIGHT-OF-WAY LINE
—	—	—	ADJACENT PROPERTY LINE
—	—	—	EASEMENT LINE
X	—	X	FENCE LINE
SD SD	—	—	STONE DRAIN LINE
W	—	—	SMART SERVICE LINE
SS	—	SS	UNDERGROUND ELECTRIC LINE
UE	—	UE	OVERHEAD ELECTRIC LINE
CHE	—	—	GAS LINE
C	—	—	TELEPHONE LINE
T	—	—	TREE LINE
— 570 —	—	570	MAJOR CONTOUR
— 570 —	—	—	MINOR CONTOUR
—	—	—	LIMITS OF DISTURBANCE
[Hatched]	—	—	BELT FENCE
—	X	—	CHAIN-LINK TREE PROTECT
—	—	WATER FLOWED BARRIER W/	WATER FLOWED BARRIER W/
—	—	CHAIN-LINK FENCE	CHAIN-LINK FENCE
—	—	WATER FLOWED CENTRIFUGAL	WATER FLOWED CENTRIFUGAL
—	—	SILT FENCE OUTLET	SILT FENCE OUTLET
—	—	RIPRAP DISPERSER PAD	RIPRAP DISPERSER PAD
—	—	EXISTING IRON PIPE	EXISTING IRON PIPE
—	—	IRON PIPE SET	IRON PIPE SET
—	—	CALCULATED POINT	CALCULATED POINT
—	—	SIGN	SIGN
—	—	CATCH BASIN	CATCH BASIN
—	—	SWALE	SWALE

**EROSION CONTROL & CONSTRUCTION
MANAGEMENT PLAN - PHASE 1**

(GRAPHIC SCALE IN FEET)
1 inch = 30 ft.

REVIEW DRAWING
1. NOTE FOR CONSTRUCTION

**BALLENTIN
ASSOCIATES, P.**
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27516
(919) 929-0481 (919) 489-4881



16	APR 21	PER DACP REVIEW COMMENTS
17	JUN 21	PER DACP REVIEW COMMENTS
18	JUN 21	PER DACP REVIEW COMMENTS
19	JUN 21	PER DACP REQUESTED REVISIONS
20	JUN 21	PER DACP REVIEW COMMENTS & CLIENT REVISIONS
21	JUN 21	PER DACP REQUESTED REVISIONS
22	JUN 21	PER DACP REQUESTED REVISIONS

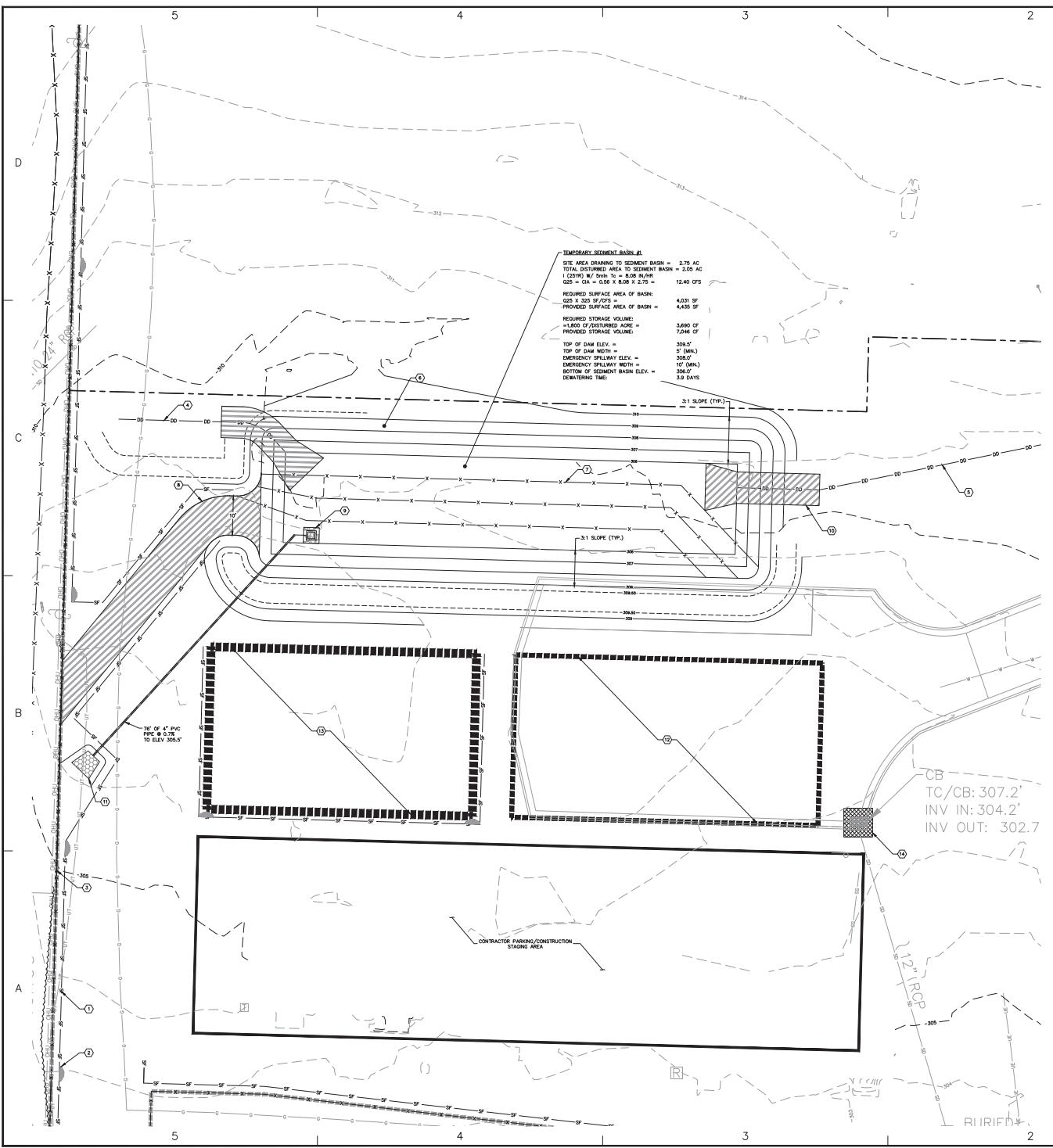
OWNER INFORMATION
BURN Properties
17 EDINBURGH SOUTH DRIVE
SUITE 110
MURRY, NC 27511
OWNER'S REPRESENTATIVE:
None
DATE OF BIRTH: 388-5774
PHONE: (000) 000-0000
MAIL: burn_properties@msn.com

12 FEB 21	16 APR 21	19 MAY 21	11 JUN 21	29 JUN 21
L #1	L #1	L #2	L #1	L #1
16 AUG 21	29 SEP 21	18 JAN 22		

**LINK APARTMENTS CALYX
BLEN LENNOX - BLOCK 9A**
CHAPEL HILL, NC

DACP DRAWINGS

DB # 107013.91
DATE 12 FEB 21
SCALE AS NOTED
DRAWN BY: D.W.S.
REVIEWED BY: G.J.R.
SHEET
C1301



PLAN KEY NOTES

- A2** ~~DESIGN~~ ① TEMPORARY SILT FENCE (TYP.)
- B2** ~~DESIGN~~ ② OUTLET DITCH (TYP.)
- C2** ~~DESIGN~~ ③ CHAIN-LINK TREE PROTECTION FENCE (TYP.)
- A4** ~~DESIGN~~ ④ DIVERSION DITCH #1.1
- B4** ~~DESIGN~~ ⑤ DIVERSION DITCH #1.2
- C4** ~~DESIGN~~ ⑥ ULL ALL SEDIMENT BASIN SLOPES
- D4** ~~DESIGN~~ ⑦ STRAW BLANKET MATTING (NORTH AMERICAN GREEN)
- E4** ~~DESIGN~~ ⑧ TEMPORARY CORR FABRIC BARRIER (TYP.)
- F4** ~~DESIGN~~ ⑨ POLY LINER AT SEDIMENT BASIN SPILL AREA
- A1** ~~DESIGN~~ ⑩ TEMPORARY 4.0" SUMMER W/ 2.5"
- B1** ~~DESIGN~~ ⑪ DIVERSION DITCH OUTLET AT STREAMBED
- C1** ~~DESIGN~~ ⑫ RIP-RAP APRON (ELEV = 305.5)
- D1** ~~DESIGN~~ ⑬ CONSTRUCTION MATERIAL LANDFILL AREA
- E1** ~~DESIGN~~ ⑭ TEMPORARY TOPSOIL STOCKPILE AREA (TYP.)
- F1** ~~DESIGN~~ ⑮ STANDARD SILT BAG + INLET SEGMENT CONTROL DEVICE

	REMARKS	DATE
1	PER DAIRY REVIEW COMMENTS	16 APR 21
2	PER DAIRY REVIEW COMMENTS	19 MAY 21
3	PER DAIRY REVIEW COMMENTS	11 JUN 21
4	PER DAIRY REVIEW COMMENTS	28 JUN 21
5	PER CLIENT REQUESTED REVISIONS	16 AUG 21
6	PER DAIRY REVIEW COMMENTS & CLIENT REVISIONS	29 SEP 21
7	PER CLIENT REQUESTED REVISIONS	18 JAN 22

LINK APARTMENTS CALYX
GLEN LENNOX - BLOCK 9A



**SEDIMENT BASIN
ENLARGEMENT - PHASE 1**

(GRAPHIC SCALE IN FEET)
1 inch = 10 ft.

REVIEW DRAWING
1 NOT FOR CONSTRUCTION

C1302

**BALLENTINE
ASSOCIATES, P.A.**

DEPARTMENT OF
ENVIRONMENTAL QUALITY
DIVISION OF
WATER RESOURCES
WATER POLLUTION
PERMITTING
AND
DISCHARGE
PERMITTING
SECTION 3
GENERAL
PERMITTING
REGULATIONS
FOR
WATER
DISCHARGES
INTO
WATERS
OF THE
COMMONWEALTH
OF VIRGINIA
2017
EDITION
(911)
2017
EDITION
(911)







CARY, NC 27513

Corporate Seal

221 Pinewood Road

Cary, NC 27513

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www.carychamber.org

www.visitcary.org

www.visitnc.com

www.visitcarolinahomes.com

TRAFFIC CONTROL NOTES

ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH APPLICABLE NC DOT AND MUTCD STANDARDS.
ADAPT THE TRAFFIC CONTROL CONCEPTS, WHEN DIRECTED BY THE ENGINEER, TO MEET FIELD CONDITIONS TO PROVIDE SAFE AND EFFICIENT TRAFFIC MOVEMENT. CHANGES MAY BE MADE IN THE TRAFFIC CONTROL CONCEPTS AS DETERMINED BY THE ENGINEER. LANE AND ROADWAY DETAILS ARE NOT ATTACHED OR RESULT IN DUPPLICATE, OR UNDESIRABLE DESCRIPTIONS. THE FOLLOWING GENERAL NOTES APPLY AT ALL TIMES FOR THE DURATION OF THE CONSTRUCTION PROJECT, EXCEPT WHERE OTHERWISE NOTED IN THE PLAN, OR DIRECTED BY THE ENGINEER.

- A) THERE ARE NO TIME RESTRICTIONS CONCERNING THE PROPOSED TRAFFIC MANAGEMENT PLAN.
- B) DO NOT CONDUCT ANY HAULING OPERATIONS AGAINST THE FLOW OF TRAFFIC OF AN OPEN TRAVELWAY UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARD RAIL, OR AS DIRECTED BY THE ENGINEER.
- C) REMOVE LANE CLOSURE DEVICES FROM THE LANE WHEN WORK IS NOT BEING NEEDED, OR AS DIRECTED BY THE ENGINEER.
- D) WHEN PERSONNEL, AND/OR EQUIPMENT ARE WORKING WITHIN 40 FT OF AN OPEN TRAVELWAY, PLACE A 24" SITE ACCESS GATE IN THE TRAVELWAY. SEE DRAWING NO. 110.04 UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARD RAIL.
- E) WHEN PERSONNEL, AND/OR EQUIPMENT ARE WORKING WITHIN A LANE OF TRAVEL WAY, PLACE A 24" SITE ACCESS GATE IN THE TRAVELWAY. SEE DRAWING NO. 110.02 UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARD RAIL.
- F) DO NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVELWAY, WITHIN THE SAME LOCATION, ON A TWO-LANE, TWO-WAY ROAD.
- G) DO NOT PERFORM WORK INVOLVING HEAVY EQUIPMENT WITHIN 15 FT OF THE EDGE OF THE TRAVELWAY. WHEN WORK IS BEING CONDUCTED BEHIND A LANE CLOSURE OR PAVEMENT EDGE DROP-OFF REQUIREMENTS:

- ① BACKFILL AT A 1:6 SLOPE TO THE EDGE AND ELEVATION OF EXISTING DROP-OFF, AS FOLLOWS:
BACKFILL DROPS OFF AT LEAST 3 INCHES ON ROADSWAYS WITH POSTED SPEED LIMITS THAT ARE 30 MPH OR LESS.
- ② BACKFILL DROPS OFF AT LEAST 6 INCHES ON ROADSWAYS WITH POSTED SPEED LIMITS THAT ARE 45 MPH OR LESS.
- ③ DO NOT EXCEED A DIFFERENCE OF 1.5 INCHES IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC. INSTALL ADVANCE WARNING "UNEVEN LANES" SIGNS (WB-11) 500 FT ADVANCE OF THE UNLEVEL AREA.

SIGNING:

- I) INSTALL ADVANCE WORK ZONE WARNING SIGNS WHEN WORK IS WITHIN 100 FT FROM THE EDGE OF TRAVEL LANE, AND NO MORE THAN THREE (3) DAYS PRIOR TO THE COMMENCEMENT OF WORK. WHEN NO WORK IS CONDUCTED FOR ONE WEEK, REMOVE ALL ADVANCE WORK ZONE WARNING SIGNS, AS DIRECTED BY THE ENGINEER.
- J) PROVIDE PERMANENT SIGNING.
- K) ENSURE ALL NECESSARY SIGNING IS IN PLACE PRIOR TO ALTERING ANY TRAFFIC PATTERNS.

TRAFFIC CONTROL Devices:

- L) SPACE CHANNELING DEVICES IN WORK AREAS NO GREATER THAN THREE TIMES THE POSTED SPEED LIMIT (MPH), EXCEPT 10 FT ON-CENTER IN RADII, AND 3 FT OFF CENTER IN STRAIGHTAWAYS, AS DIRECTED BY THE ENGINEER.
- M) PLACE SETS OF THREE DRUM PERFORATED AT THE EDGE OF THE TRAVELWAY ON 300 FT CENTERS WHEN UNPAVED LANES ARE CLOSED TO TRAFFIC. THESE DEVICES ARE TO BE REMOVED WHEN THE UNPAVED LANES ARE OPENED.

PARKING, MARKINGS, AND MARKERS:

- N) INSTALL PARKING MARKINGS AS SHOWN ON PLAN SHEETS.
- O) REFER TO SECTION 1106 OF THE NC DOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES DATED 2010 FOR APPLICATION TIMES AND MATERIALS.
- P) PLACE AT LEAST TWO APPLICATIONS OF PAINT PAVEMENT MARKINGS ON THE FINAL SURFACE OF NEW ASPHALT WITH TEMPORARY MARKINGS. PLACE ADDITIONAL APPLICATIONS OF PAINT ON NEW ASPHALT AS DETERMINED BY THE ENGINEER. PLACE ADDITIONAL APPLICATIONS OF PAINT UPON SUFFICIENT DRYING TIME.
- Q) REPLACE ANY PAINT MARKINGS THAT HAVE BEEN DAMAGED BY THE END OF EACH DAY'S OPERATION.

- R) PLACE AT LEAST TWO APPLICATIONS OF PAINT ON NEW ASPHALT WITH TEMPORARY MARKINGS. PLACE ADDITIONAL APPLICATIONS OF PAINT UPON SUFFICIENT DRYING TIME.
- S) CONTRACTOR SHALL MAINTAIN ALL TEMPORARY PAINT MARKINGS UNTIL COMPLETION OF THE THERMOPLASTIC PAINT MARKING INSTALLATION.

- T) BEFORE SHIFTING TRAFFIC TO NEW LOCATIONS, CONTRACTOR SHALL REMOVE ANY PAINT MARKINGS THAT HAVE BEEN DAMAGED BY THE END OF THE NEW TRAFFIC PATTERN.

PEDESTRIAN AND CYCLIST SAFETY:

- U) PEDESTRIAN AND CYCLIST SAFETY MUST BE MAINTAINED AT ALL TIMES BY ADEQUATE PROJECT LIMITS, FENCING, AND SIGNS.

MISCELLANEOUS:

- V) POLICE MAY BE USED TO MAINTAIN TRAFFIC THROUGH INTERSECTIONS.

- W) STOCKPILE EXISTING SIGNS FOR USE WHEN NEEDED IN TEMPORARY LOCATIONS.

- X) ACCESS SHALL BE MAINTAINED TO ALL RESIDENCES AND BUSINESSES AT ALL TIMES.

- Y) ENSURE A TIE-IN CANNOT BE MADE IN ONE DAY'S TIME, SINCE THE TIE-IN AREA IS AN APPROPRIATE ROADWAY ELEVATION AS DETERMINED BY THE ENGINEER. PLACE BLACK ORANGE LOGOS GRAVEL SIGNS (WB-7) AND BLACK LOGOS GRAVEL SIGNS (WB-8) ON THE SIDEWALKS AND IN THE UNPAVED AREAS. USE DRUMS TO DELINATE THE EDGE OF ROADWAY ALONG THE UNPAVED AREAS.

DRAWING LEGEND

SYMBOL	DESCRIPTION
	PORTABLE SIGN
	DIRECTION OF TRAFFIC FLOW
	NUGOT SKINNY DRUM
	DETOUR ROUTE
	PEDESTRIAN DETOUR ROUTE
	CONSTRUCTION CHAIN-LINE FENCE
	WATER FILLED BARRIER W/ INCORPORATED CONSTRUCTION CHAIN-LINE FENCE
	TEMPORARY SIGN WITH SIZE AND STANDARD MUTCD REFERENCE #

STAGE 2 TRAFFIC & PEDESTRIAN CONTROL PLAN - PHASE 1

(GRAPHIC SCALE IN FEET)
1 inch = 30 ft.

REVIEW DRAWING
1 NOT FOR CONSTRUCTION

**LINK APARTMENTS CALYX
GLEN VALLEY, NC**

JOB # 10201531
DATED: 12-29-21
SCALE: 1"=50' NOTES:
DRAWN BY: G.W.S.
REVIEWED BY: G.J.R.
SHEET
C1402

