

	RARE	SPECIMEN	TOTAL
EXISTING TREES	39	90	129
EXISTING TREES BE REMOVED	39	90	129

SEE SHEET C0105 FOR TREE LIST

- **TREE LEGEND:**
 - RARE DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
 - SPECIMEN DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
 - RARE/SPECIMEN DECIDUOUS TREE TO BE REMOVED
 - RARE CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE
 - SPECIMEN CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE
 - RARE/SPECIMEN CONIFEROUS TREE TO BE REMOVED

TREE SUMMARY

DEMOLITION CONSTRUCTION SEQUENCE

IF PROTECTION FENCE AND EROSION CONTROL MEASURES ARE APPROVED,
PROCEED WITH DEMOLITION AS SHOWN ON THIS SHEET.
INSTALL REMAINING EROSION CONTROL MEASURES FOR CONSTRUCTION SEQUENCE
ON SHEET 1301.

TREE PROTECTION NOTE

PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER PRIOR TO BEGINNING SITE WORK (SEE DEMOLITION NOTE #6).

TREE PROTECTION FENCING AS SHOWN ON THIS PLAN SHALL BE INSTALLED AND MAINTAINED BY THE TOWN PRIOR TO ANY DEMOLITION ACTIVITY OR LAND DISTURBANCE.

ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.

THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES SHALL NOT BE DROVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING, CONCRETE, OR OTHER CONSTRUCTION MATERIALS.

LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF NEW YORK AND IS RESPONSIBLE FOR MONITORING AND CONTROLLING CONSTRUCTION ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, SPREADING, AND MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.

OCSW CONSTRUCTION WASTE REQUIREMENTS

ALL EXISTING STRUCTURES, SQUARE FEET AND LAND AREA WILL BE ASSESSED BY THE COUNTY'S REGULATORY MATERIALS ENFORCEMENT OFFICER. FOR THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMRO) AND TO DETERMINE IF ADDITIONAL MATERIALS ARE RECYCLABLE, CONTACT THE ORANGE COUNTY SW ENFORCEMENT OFFICER AT (714) 777-4000 OR ARRANGE FOR A PRE-CONSTRUCTION MEETING.

TO DETERMINE IF MATERIALS PRESENT IN CONSTRUCTION OR DEMOLITION WASTE ARE RECYCLABLE AND CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE SHOULD BE RECYCLED.

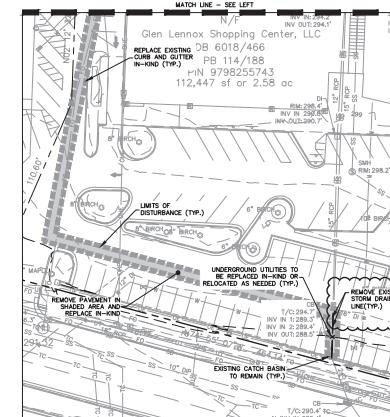
REFUGEE TO THE COUNTY'S RMRO, ALL HALLERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.

PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE CONTRACTOR SHALL PREPARE A PRE-CONSTRUCTION MEETING TO PRESENCE AND SOLID WASTE STATUS. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING AS THE PRE-DEMOLITION MEETING.

IN THE PRESENCE OF MATERIALS CONTAINING MATERIALS (ACID) AND/OR OTHER HAZARDOUS MATERIALS, SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL APPLICABLE STATE AND FEDERAL REGULATIONS.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	DEMO	DESCRIPTION
—	—	—	PROPERTY LINE
—	—	—	RIGHT-OF-WAY LINE
—	—	—	ADJACENT PROPERTY LINE
—	—	—	EASEMENT LINE
X	—	—	FENCE LINE
SD	—	—	STORM DRAIN LINE
W	—	—	WATER LINE
SS	—	—	SANITARY SEWER LINE
UE	—	—	UNDERGROUND ELECTRIC LINE
DHE	—	—	OVERHEAD ELECTRIC LINE
G	—	—	GROUND
T	—	—	TELEPHONE LINE
	—	—	LIMITS OF DISTURBANCE
	—	—	TREE PROTECTION FENCE
	—	—	TREE LINE
—	—	—	MAJOR CONTOUR
—	—	—	MINOR CONTOUR
—	—	—	CLEAR & GRAN
●	—	—	EXISTING IRON PIPE
○	—	—	IRON PIPE SET
▲	—	—	CALCULATED POINT
□	—	—	SDW
□	—	—	DROP INLET
■	—	—	WATER METER
■	—	—	WATER VALVE
■	—	—	WATER VALUE
■	—	—	FIRE HYDRANT
■	—	—	BACKFLOW PREVENTER
○	—	—	SANITARY SEWER MANHOLE
○	—	—	SANITARY SEWER CLEANOUT
○	—	—	GAS VALVE
○	—	—	POWER POLE
□	—	—	ELECTRIC TRANSFORMER
	—	—	BASMENT CONCRETE



DEMOLITION & LANDSCAPE PROTECTION PLAN - PHASE 1

(GRAPHIC SCALE IN FEET)

1 inch = 30 ft.

**BALLENTIN
ASSOCIATES, P.**
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27516
(919) 929-0481
(919) 489-4881

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subject to legal action.

A circular corporate seal for North Carolina, Chapel Hill, dated 1928. The outer ring contains the text "NORTH CAROLINA" at the top and "Chapel Hill" at the bottom. The inner circle contains the text "CORPORATE SEAL" at the top and "1928" at the bottom.

DATE	COMMENT
16 APR 21	PER DA/P REVIEWS COMMENTS
19 APR 21	PER DA/P REVIEWS COMMENTS
11 JUN 21	PER DA/P REVIEWS COMMENTS
16 JUL 21	PER DA/P REVIEWS COMMENTS
16 AUG 21	PER CLIENT REQUESTED REVISIONS
29 SEP 21	PER DA/P REVIEWS COMMENTS & CLIENT REVISIONS
18 JAN 22	PER CLIENT REQUESTED REVIEWS

OWNER INFORMATION
 2000 PROPERTIES
 17 EDINBURGH SOUTH DRIVE
 SUITE 110
 MARY, NC 27511
 OWNERS REPRESENTATIVE:
 DYE
 (919) 388-5774
 AX. (000) 000-0000
 MAIL: 2000properties@msn.com

LINK APARTMENTS CALYX
MILLEN LENNOX - BLOCK 9A

08 #: 107013.91
DATE: 12 FEB 21
CALE: AS NOTED

REVIEWED BY: G.J.R.

60201



SITE DATA TABLE

PROJECT NAME	LINK APARTMENTS CALYX (GLEN LENNOX BLOCK 9A)
PROPERTY PIN NUMBER	979826154
PROPERTY LOCATION	TOWN OF CHAPEL HILL
CURRENT LAND OWNER	GLEN LENNOX APARTMENTS, LLC 4500 BROAD ST. CHARLOTTE, NC 28209
PROPERTY ZONING	R-3 (WITH NEEDLESSLY OVERLAPPING RESIDENTIAL DISTRICT (NOD) (R-3) OVERLAY)
SETBACKS	10' FROM BACK OF CURB MAXIMUM IMPERVIOUS SURFACE PERIMETER = 36' (FROM PROPERTY LINE)
EXISTING USE	RESIDENTIAL
PROPOSED USE	RESIDENTIAL
PROPOSED LOT SIZE (A):	105,772 S.F. (2.43 AC.)
EXISTING IMPERVIOUS SURFACE AREA (SF):	116,575 S.F.
PROPOSED IMPERVIOUS SURFACE AREA (SF):	180,020 S.F. (INCLUDES PHASE 1)
PROPOSED IMPERVIOUS SURFACE AREA (SF):	180,020 S.F. (INCLUDES PHASE 1)
TOTAL IMPERVIOUS SURFACE AREA INCREASE:	+48,445 S.F.
VEHICULAR PARKING SUMMARY:	0 (REQUIRED) 0 (SEE PHASE 2) 0 (PROVIDED)
ACCESSIBLE PARKING SUMMARY:	0 (REQUIRED) 0 (SEE PHASE 2) 0 (PROVIDED)
BICYCLE PARKING SUMMARY:	0 (REQUIRED) 0 (SEE PHASE 2) 0 (PROVIDED)

NOTES

- ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB.
- ALL RADIAL DIMENSIONS SHOWN HEREIN ARE 3' UNLESS NOTED OTHERWISE.
- ALL DRIVE ALLEYS AND PARKING LOTS SHALL BE CONSTRUCTED TO TOWN OF CHAPEL HILL STANDARDS.
- THE TOWN OF CHAPEL HILL IS UNUSUAL IN CHARGE DELAY SURFACE. NOT ALL SURFACES ARE SUBJECT TO DELAY SURFACE DAMAGE THAT MAY RESET PRIOR TO THE DELAY SURFACE IN THE GRADING PLAN.
- WALKWAYS SHALL BE CONSTRUCTED WITH A 2% CROSS SLOPE IN THE DIRECTION OF GRAVITY.
- PRIOR TO INSTALLATION OF ANY STREET SIGNS OR MARKINGS, DEVELOPER WILL CONTACT THE TOWN'S PUBLIC WORKS DEPARTMENT FOR AN APPROVAL OF THE SIGN/MARKING DESIGN.
- ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE PAINTED IN A COLOR THAT IS A THERMAL PLASTIC MATERIAL WITH A MINIMUM THICKNESS OF 125 MILS.
- THE DEVELOPER WILL BE RESPONSIBLE FOR INSTALLATION OF ALL REQUIRED PAVEMENT MARKINGS, WHICH SHALL BE PAINTED IN A COLOR THAT IS A THERMAL PLASTIC MATERIAL WITH A MINIMUM THICKNESS OF 125 MILS.
- ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE PAINTED IN A COLOR THAT IS A THERMAL PLASTIC MATERIAL WITH A MINIMUM THICKNESS OF 125 MILS.

PAVEMENT MARKING LEGEND
SIDE DETAIL REFERENCE
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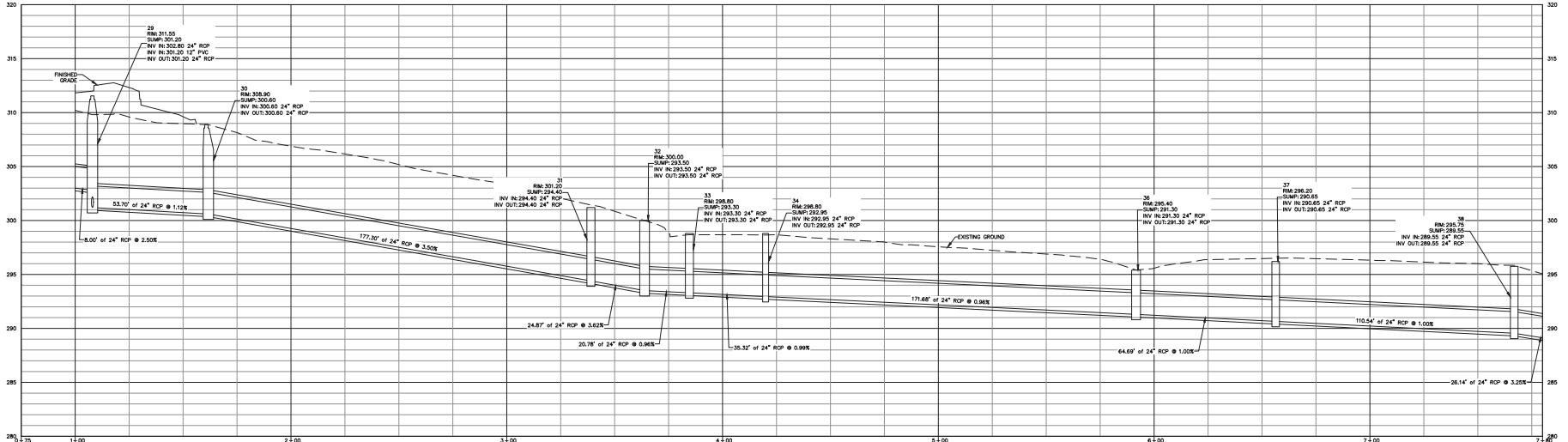
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**MR. BALLENTINE
ASSOCIATES, P.A.**
221 PINEWOOD ROAD, CARY, NC 27513
(919) 529-1481

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MR. BALLENTINE
ASSOCIATES, P.A.
CORPORATE HEADQUARTERS
CARY, NC 27513



DATE: 16-FEB-21
REF ID: 117-EDMURTH-SOUTH-DRIVE
OWNER INFORMATION
SUBJECT: 117 EDMURTH-SOUTH-DRIVE
117 EDMURTH-SOUTH-DRIVE
CARY, NC 27513
ARCHITECT: JOE DYE
FAX: (919) 529-0330
E-MAIL: 117-EDMURTH-SOUTH-DRIVE@AOL.COM

12-FEB-21
DACP SMITH, F1
15-FEB-21
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DACP SMITH, F3
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