

PROPOSED MIXED-USE DEVELOPMENT (1289 FORDHAM BLVD)

PIN: 9799343950, 9799340759, 9799340588

SUMMARY OF DESIGN ALTERNATIVES:
DA-1: A REQUEST TO APPROVE TREE SPECIES AND SPACING MODIFICATIONS ALONG EPHEBUS CHURCH ROAD AND FORDHAM BOULEVARD.
DA-2: A REQUEST TO APPROVE A REDUCTION TO THE STRUCTURED PARKING MINIMUM SETBACK FROM FRONT BUILDING FACADE ALONG PORTIONS OF THE LEGION ROAD EXTENSION TYPE A FRONTAGE.

CERTIFICATE OF APPROPRIATENESS
AND
DESIGN ALTERNATIVES

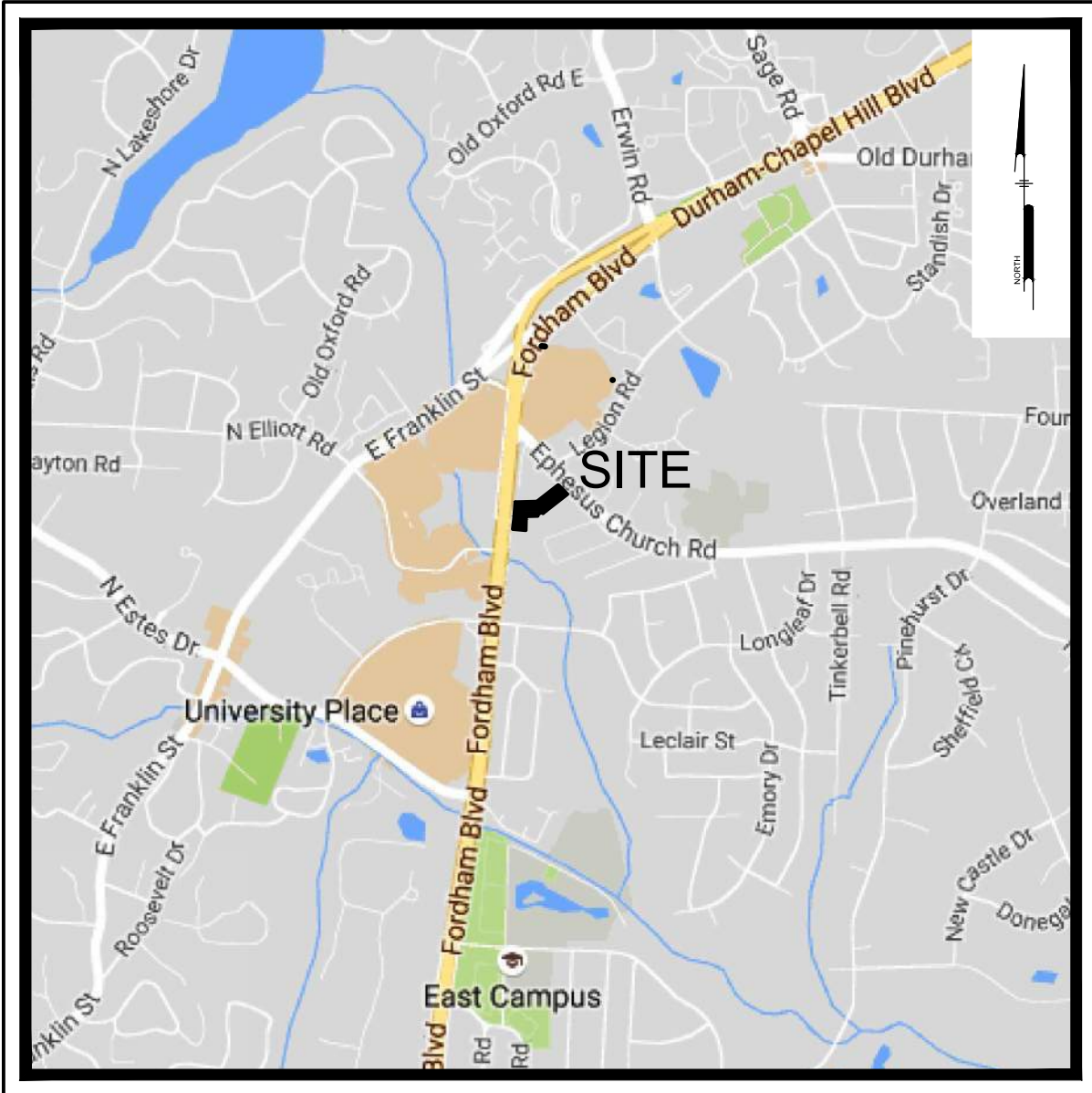
TOWN OF CHAPEL HILL, ORANGE COUNTY, N.C.
08/24/2021

PREPARED FOR:
DEVELOPER
TRINSIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

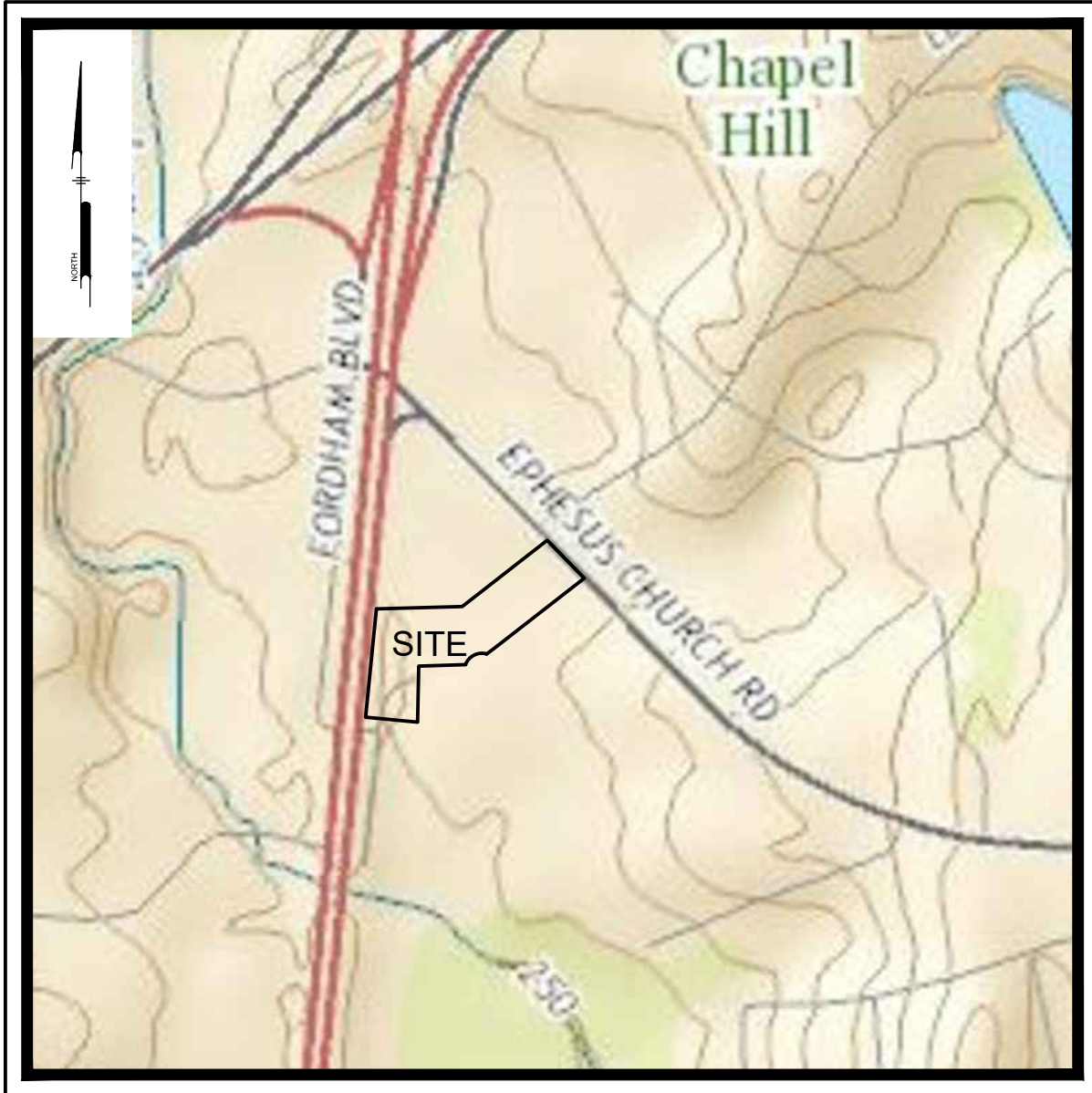
SHEET LIST TABLE		
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29	AR002	RENDERED VIEWS
30	A601	MATERIAL BOARD
31	A901	PROJECT DATA
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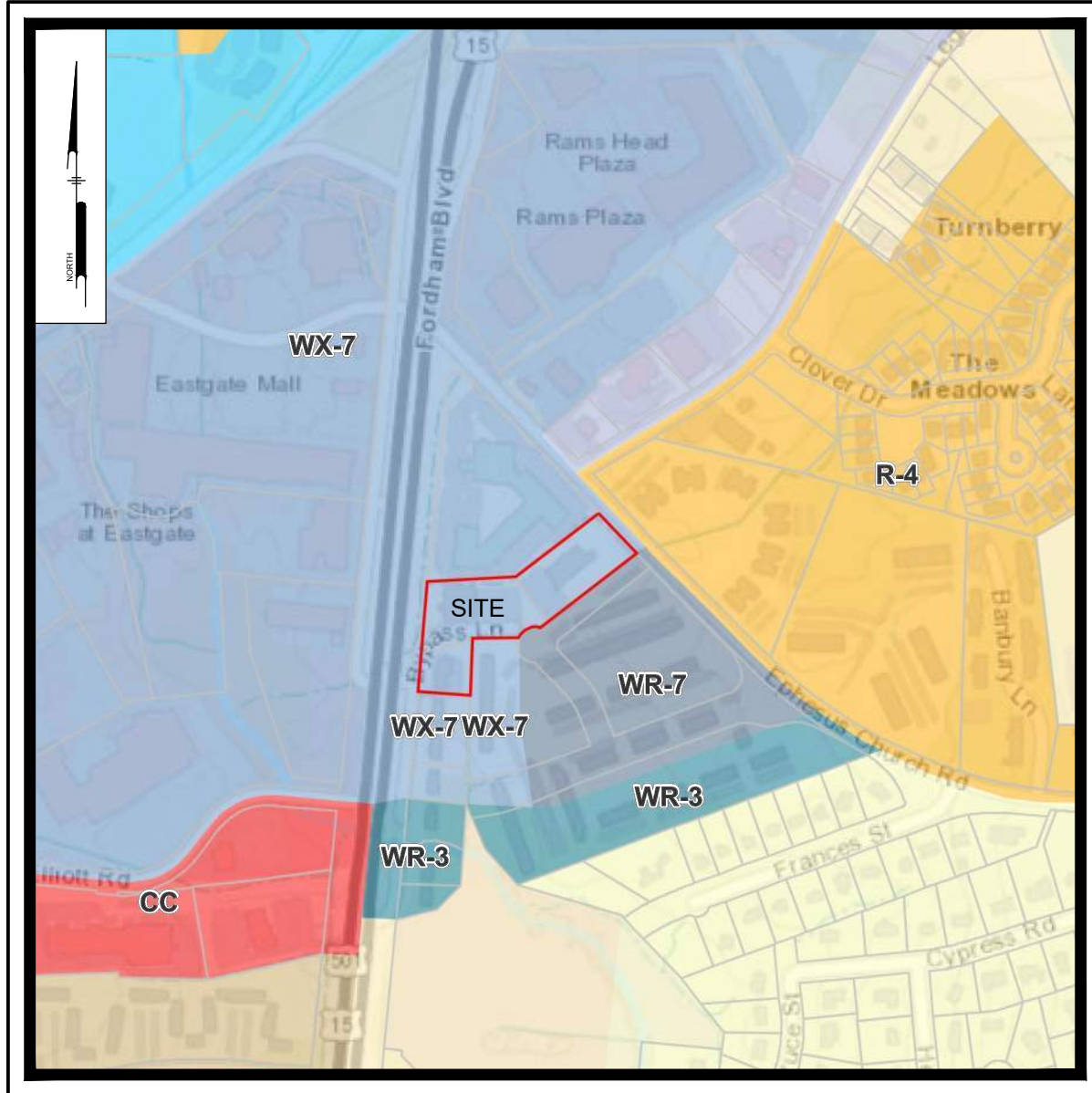
SOILS MAP
Scale: 1" = 500'



LOCATION MAP
1" = 2000'



USGS MAP
Scale: 1" = 500'



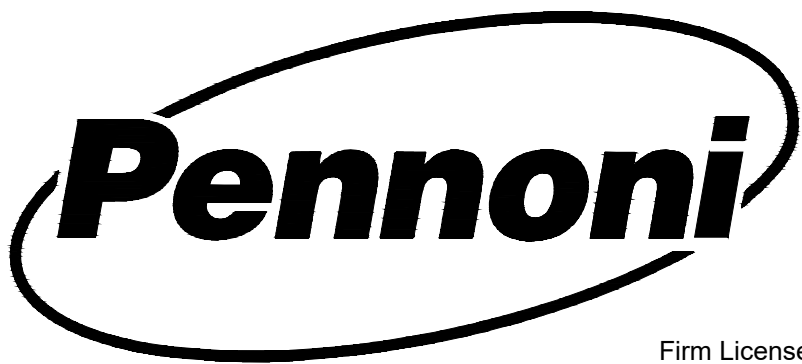
ZONING MAP
Scale: 1" = 500'

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PREPARED BY:
PENNONI ASSOCIATES INC.



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Know what's below.
Call before you dig.



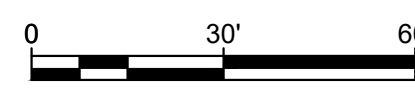
COVER SHEET
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NO.	DATE	REVISIONS	BY

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	KNB
APPROVED BY	ESM

CS0001
SHEET 1 OF 32



Pennoni

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EXISTING CONDITIONS
TRINSCIC RESIDENTIAL GROUP
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DURHAM, NC 27701

[illegible]

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	CRP
APPROVED BY	ESM

CS0201

SHEET 3 OF 32



NOT FOR CONSTRUCTION

U:\Accounts\TRNS\TRNS21001 - Chapel Hill Residential Development\CS1000 - COA Files - 16\Submittal\TRNS21001 - COA Rendering.dwg PLOTTED: 4/22/24 4:40 PM BY: Kimberly Brooks PROJECT STATUS: — PLOTTED: 4/22/24 4:40 PM BY: Kimberly Brooks

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PROJECT	TRINS21001		
DATE	2021/08/24		
DRAWING SCALE	AS SHOWN		
DRAWN BY	KNB		
APPROVED BY	ESM		

CS1000
SHEET 4 OF 32

CAURA
BLUE HILL
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
SITE PLAN RENDERING
TRINISC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

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U:\Account\TRINS21001 - Chapel Hill Residential Development\CS1002\1001 - CCA\Rev - 14\Submit\TRINS21001 - CCA\Rev.dwg PLOTTED: 4/20/24 4:40 PM BY: Kimberly Brooks PLOT STYLE: Pennon.VS.dwg PROJECT STATUS: —

DELINEATES OUTDOOR AMENITY SPACE

DELINEATES RECREATION AREA

DELINEATES COMMERCIAL AREA

FORDHAM BOULEVARD / NC 15-501
(VARIABLE WIDTH PUBLIC RW)

BYPASS LANE

BLDG B
5 OVER 1 MU BLDG
WX-7

7 TIER
PARKING GARAGE

BLDG A
5 OVER 1 MU BLDG
WX-7

ADJACENT DEVELOPMENT
MILLENNIUM CHAPEL HILL APARTMENTS

LEGION ROAD EXTENSION
(VARIABLE WIDTH PUBLIC RW)

ADJACENT DEVELOPMENT
PARK APARTMENTS

0 30' 60'

NORTH

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PROJECT	TRINS21001
DATE	2021/08/24
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APPROVED BY	ESM

CS1002

SHEET 6 OF 32

CAURA

BLUE HILL

1289 FORDHAM BLVD
CHAPEL HILL, NC 27514

ZONING PLAN

TRINISC RESIDENTIAL GROUP

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DESIGN ALTERNATIVE-1

Landscaping Standards Along Fordham Boulevard & Ephesus Church Road Frontages

FBC Requirement:

Sect. 3.11.4.2.D Landscaping Standards - Frontages

Frontages must be planted in accordance with the Town of Chapel Hill Design Manual

Site Constraints:

- 1. Utility poles with overhead lines exist along Fordham Boulevard and Ephesus Church Road frontages.
- 2. Utility company landscape requirements.

Design Alternative-1:

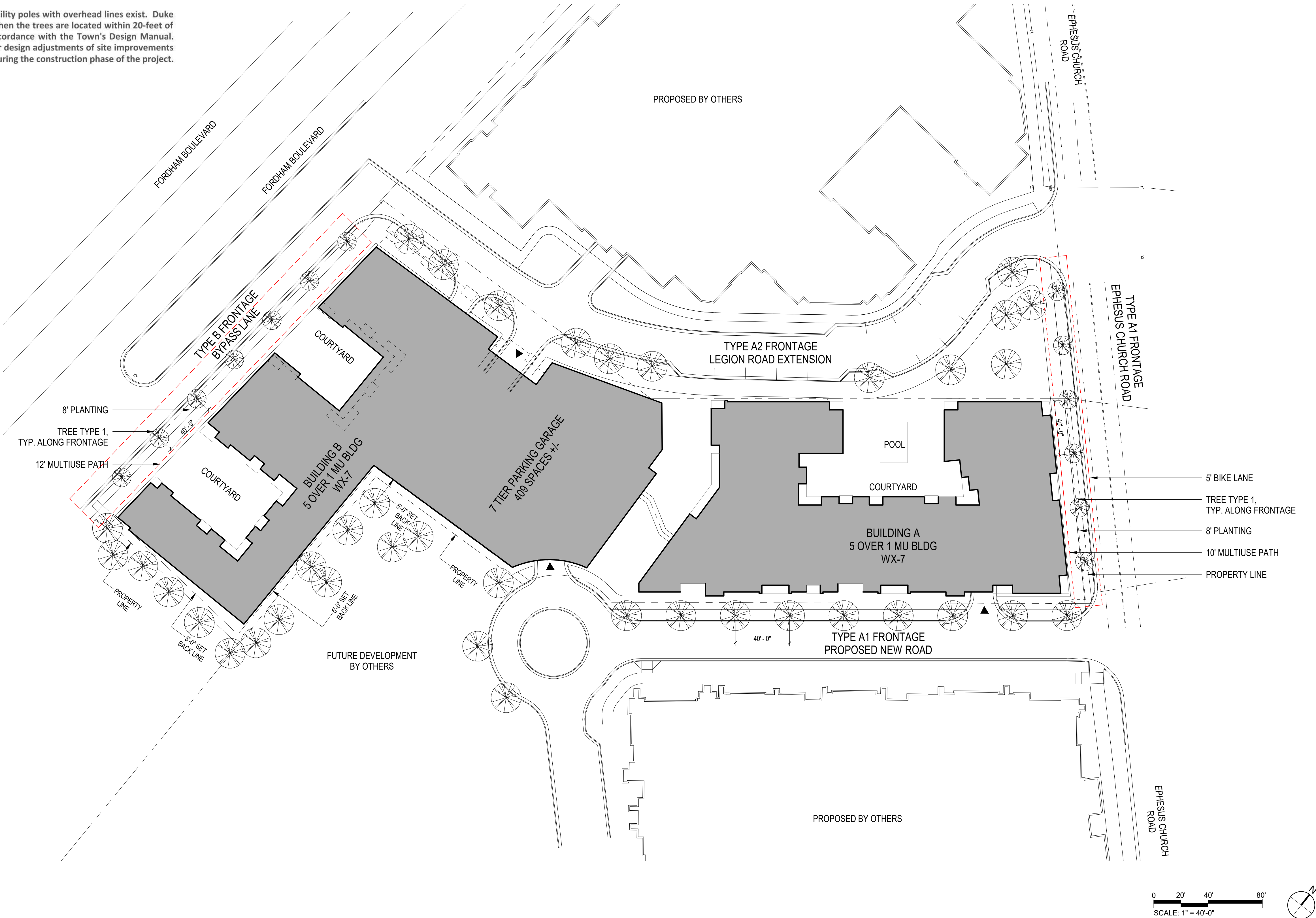
Allowance for the substitution of alternate street tree species and placement where overhead lines, sight triangles or fire access limits placement. Select/maintain trees with 15-foot maximum mature height (spacing to be approximately 40-feet on-center where provided) along Fordham Boulevard and Ephesus Church Road.

Mitigating Factors:

- 1. Presence of utility poles and overhead lines along the Fordham Boulevard and Ephesus Church Road frontages.

Narrative: Along the Fordham Boulevard and Ephesus Church Road frontages, utility poles with overhead lines exist. Duke Energy landscaping standards prohibit mature tree heights more than 15-feet when the trees are located within 20-feet of overhead lines. These requirements prohibit the planting of street trees in accordance with the Town's Design Manual. The request is also being made to allow for flexibility based upon possible minor design adjustments of site improvements and tree placement/species selection based upon site conditions encountered during the construction phase of the project.

DESIGN ALTERNATIVE 01 ZONE



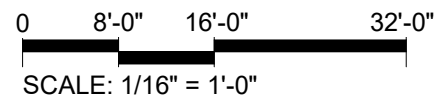
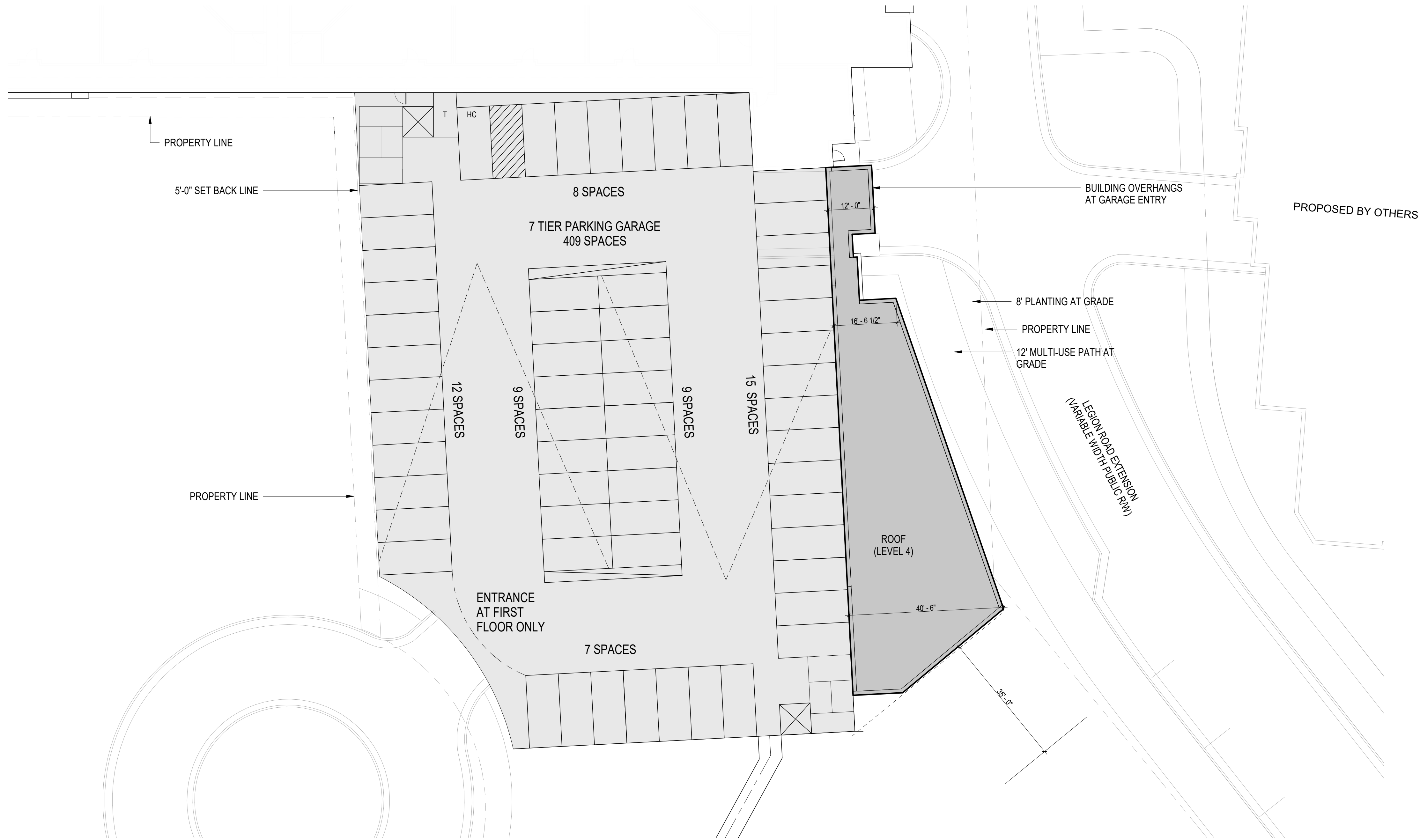
TREE TYPE 1
FLOWERING TREES @
FORDHAM BLVD & EPHESUS CHURCH RD

CHIONANTHUS VIRGINICUS
FRINGE TREE

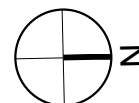


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DATE	2021/08/24
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SCALE: 1/16" = 1'-0"



DESIGN ALT 02
1/16" = 1'-0"

1

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DESIGN ALTERNATIVE-2

Minimum front building façade setback Standards for structured parking along portions of Legion Road for Type A Frontage.

FBC Requirement:

Sect. 3.11.2.5 Frontages

Parking Location – Structured or covered parking: 30' minimum behind front building façade for all floors. A smaller setback may be permitted for the second and third floors with a design alternative.

Site Constraints:

1. Project property width does not permit an efficient structured parking design when there are additional wrap requirements along Legion Road extension.
2. Overall site layout design intent of locating a garage access point across from the proposed University Inn development's garage access directly across Legion Road extension.

Design Alternative-1:

A Request for a reduction of the required minimum structured parking setback from the building façade along a segment of the Type A Legion Road extension frontage.

Mitigating Factors:

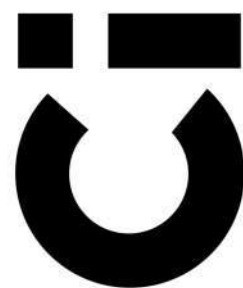
1. Property width limitations for adequate and efficient structured parking.

Narrative: A request is being made for the reduction in the minimum setback of the structured parking from the building façade along the Type A Legion road extension frontage. The structured parking is currently located at the widest portion of the site and due to the parking wrap requirements along Legion Road extension and the proposed multi-use path along Legion Road extension the 30' offset from structured parking depth to building façade cannot be maintained. The structured parking entrance along Legion Road extension has been located directly across from the proposed development site's garage to the north. This will allow for better coordination and transition between the two sites.



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1289 FORDHAM BLVD
CHAPEL HILL, NC 27514

DESIGN ALTERNATIVE 02

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DURHAM, NC 27701

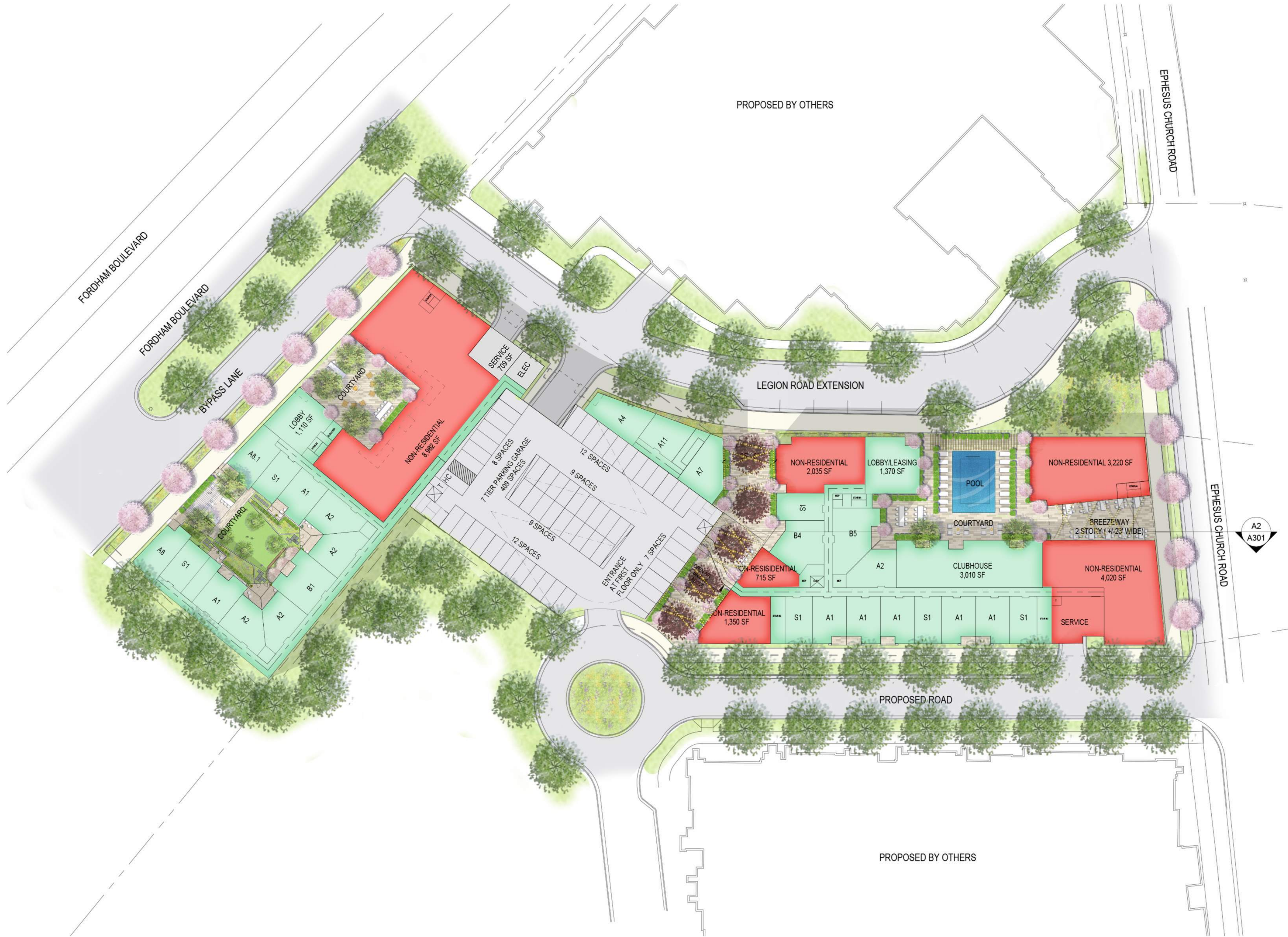
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PROJECT	TRINS21001
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DRAWING SCALE	AS SHOWN
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APPROVED BY	Checker

DA-02

SHEET 8 OF 32



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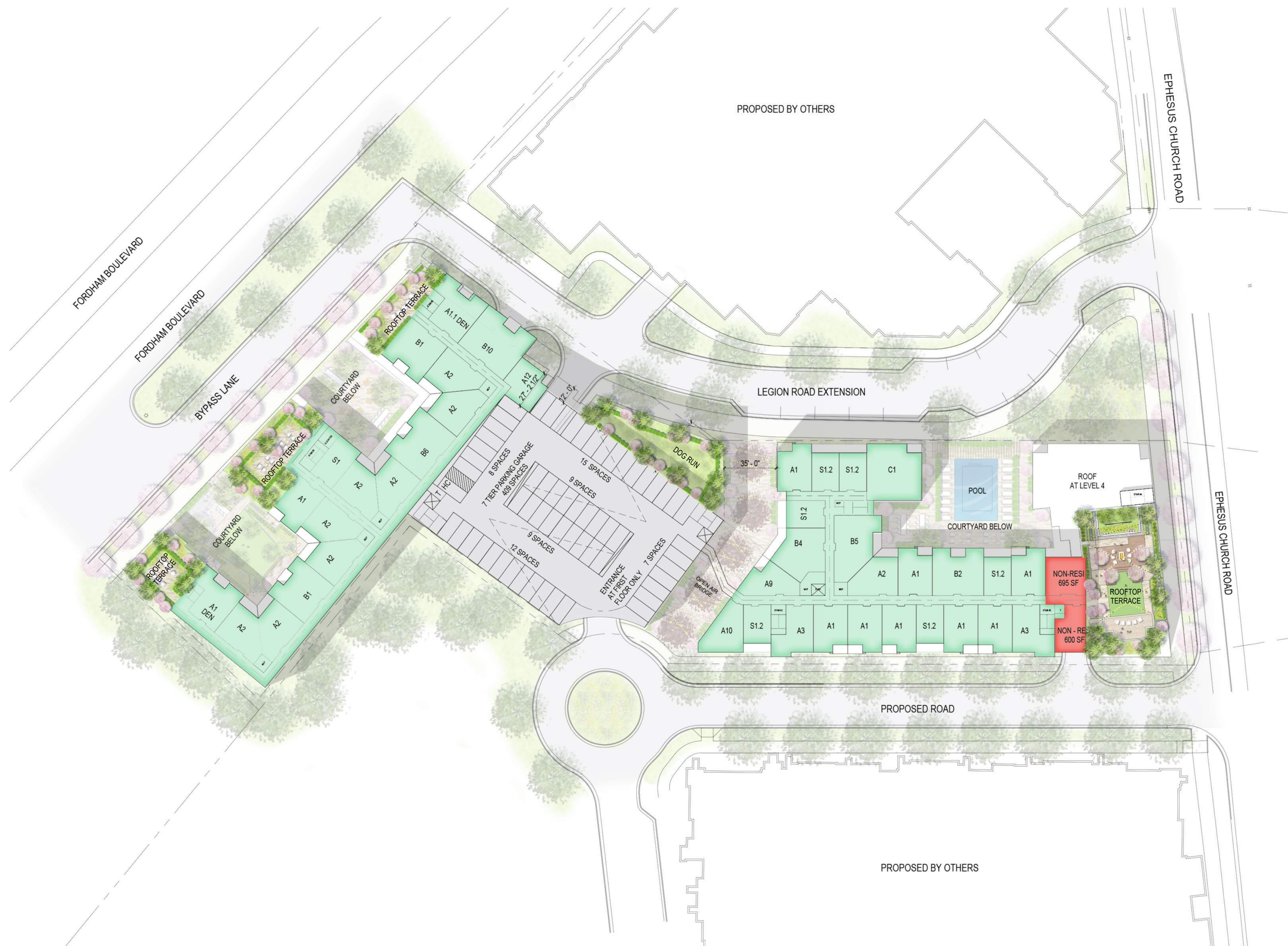
PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	Author
APPROVED BY	Checker

L001
SHEET 9 OF 32

C A U R A
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
GROUND LEVEL SITE RENDERING
TRINISIC RESIDENTIAL GROUP
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L002

SHEET 10 OF 32

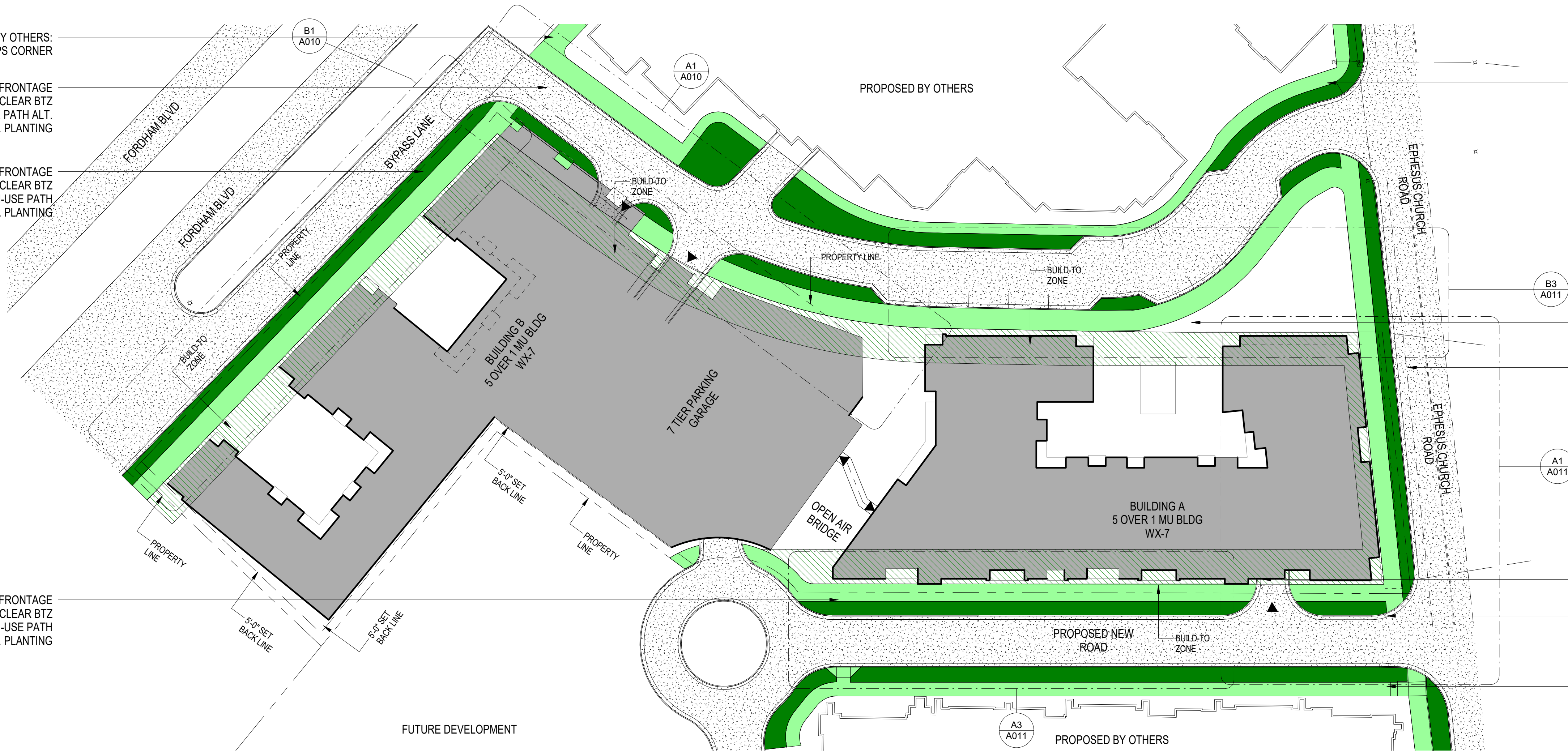
BIM 360://Aura Blue HillSite Model.rvt
8/23/2021 6:20:13 PM

PROPOSED BY OTHERS:
12' MULTI-USE PATH WRAPS CORNER

TYPE A-2 FRONTAGE
0-20' BUILD-TO ZONE, 9'-17' CLEAR BTZ
12' MIN. MULTI-USE PATH ALT.
8' MIN. PLANTING

TYPE B FRONTAGE
0-20' BUILD-TO ZONE, 2'-8' CLEAR BTZ
12' MIN. MULTI-USE PATH
8' MIN. PLANTING

TYPE B FRONTAGE
0-20' BUILD-TO ZONE, 4' CLEAR BTZ
12' MIN. MULTI-USE PATH
8' MIN. PLANTING



PROPOSED BY OTHERS:
6' MULTI-USE PATH AND 8' PLANTING

TYPE A2 FRONTAGE

TYPE A-1 FRONTAGE
0-10' BUILD-TO ZONE, 5'-9' CLEAR BTZ
10' MIN. MULTI-USE PATH
8' MIN. PLANTING

NEW ROW APPROX. 4'
FROM EX.PROPERTY LINE.

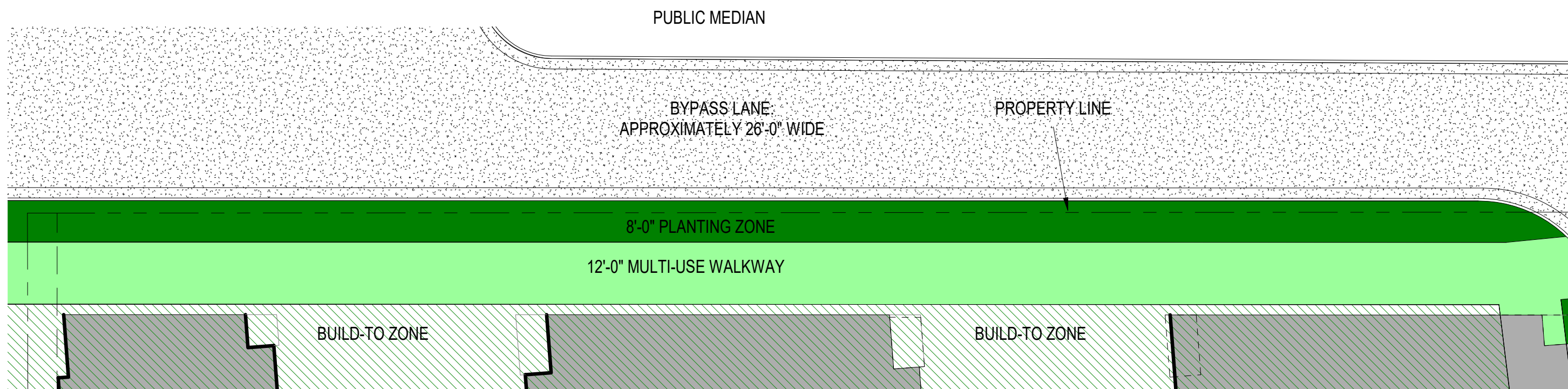
WRAP A-1 FRONTAGE 75' AT CORNER
0-10' BUILD-TO ZONE, 4'-10' CLEAR BTZ
10' MIN. MULTI-USE PATH
8' MIN. PLANTING

PROPOSED BY OTHERS:
8' MULTI-USE PATH AND 9' PLANTING

0 20' 40' 80'
SCALE: 1" = 40'-0"

SITE FRONTAGE PLAN
1" = 40'-0"

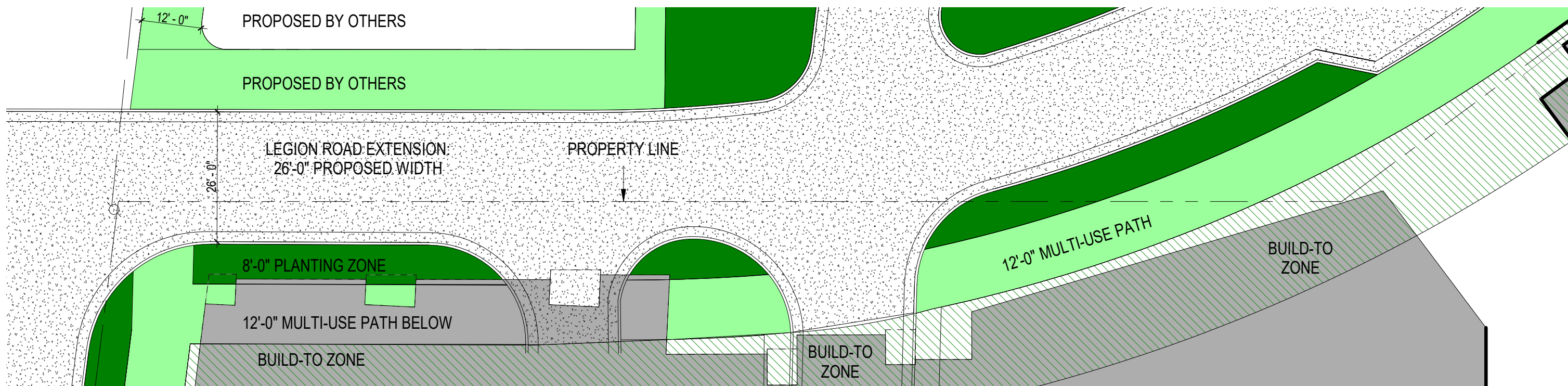
C1



TYPE B FRONTAGE
64% BUILD TO ZONE OCCUPIED (60% MINIMUM)

SITE FRONTAGE PLAN - BLDG B TYPE B FRONTAGE
1" = 20'-0"

B1



TYPE A2 FRONTAGE
91% BUILD TO ZONE OCCUPIED (60% MINIMUM)

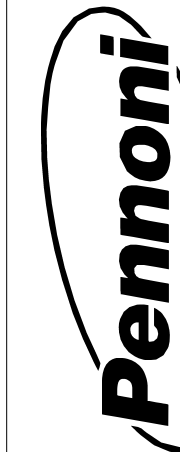
0 10' 20' 40'
SCALE: 1" = 20'-0"



SITE FRONTAGE PLAN - BLDG B TYPE A2 FRONTAGE
1" = 20'-0"

A1

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CD DESIGN, INC.
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Raleigh, NC 27601



1289 FORDHAM BLVD
CHAPEL HILL, NC 27514

SITE FRONTAGE DIAGRAMS

TRINIS RESIDENTIAL GROUP

321 E. CHAPEL HILL ST
DURHAM, NC 27701

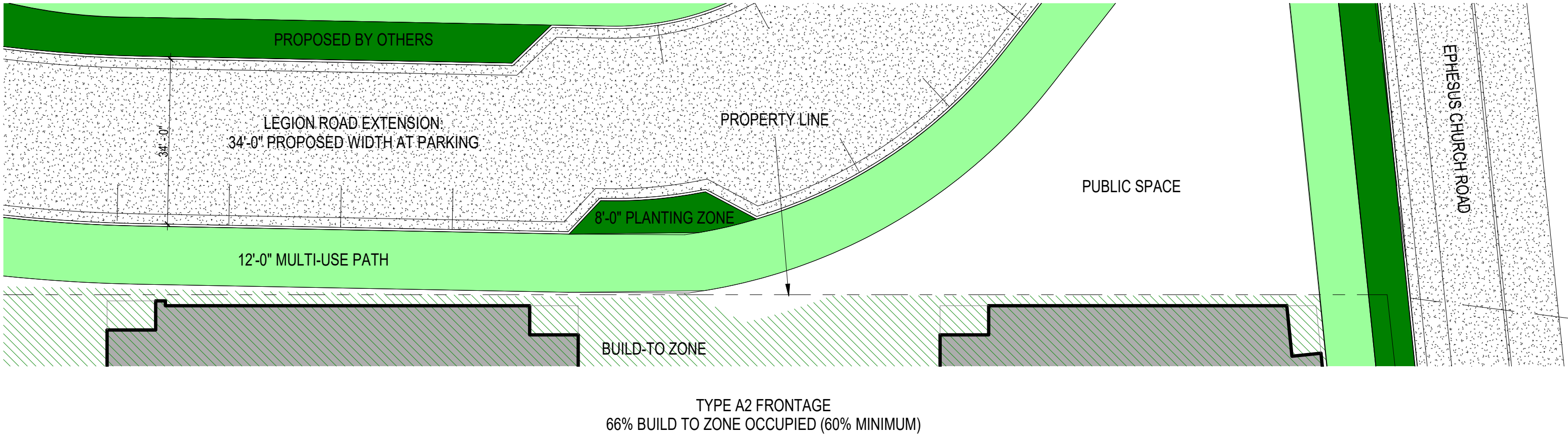
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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	SF
APPROVED BY	DM

A010

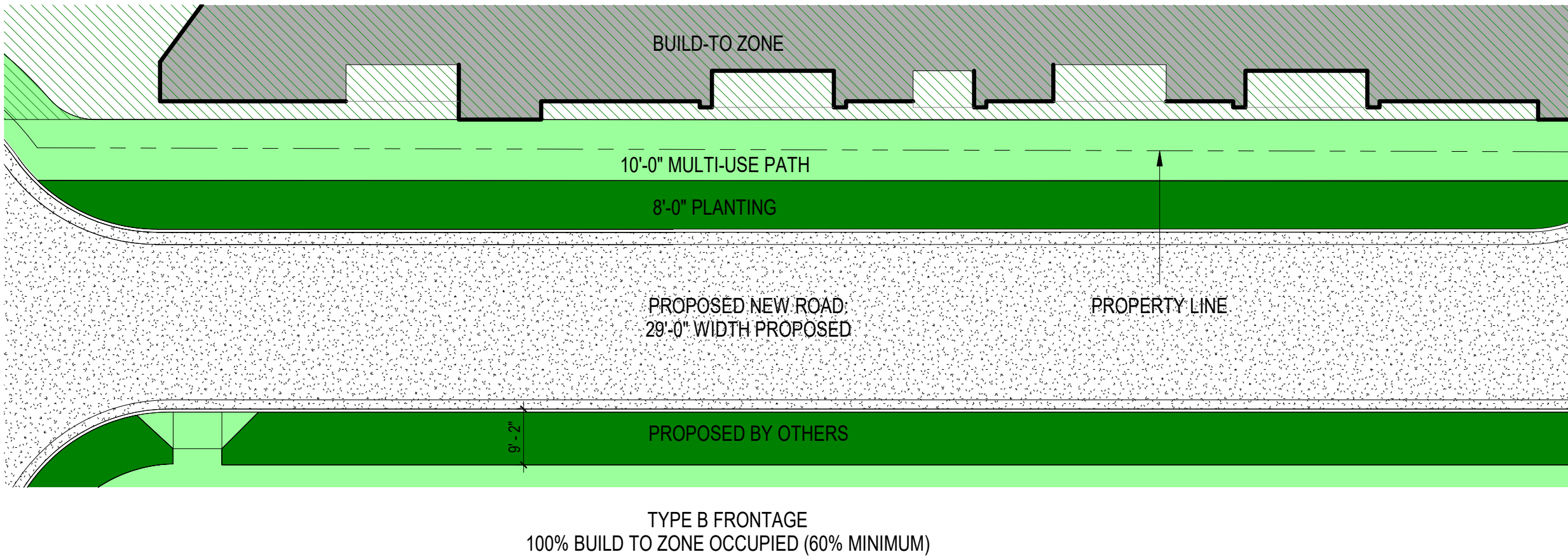
SHEET 12 OF 32

BIM-360://Aura Blue Hill/Site Model.rvt
8/23/2021 12:20:16 PM



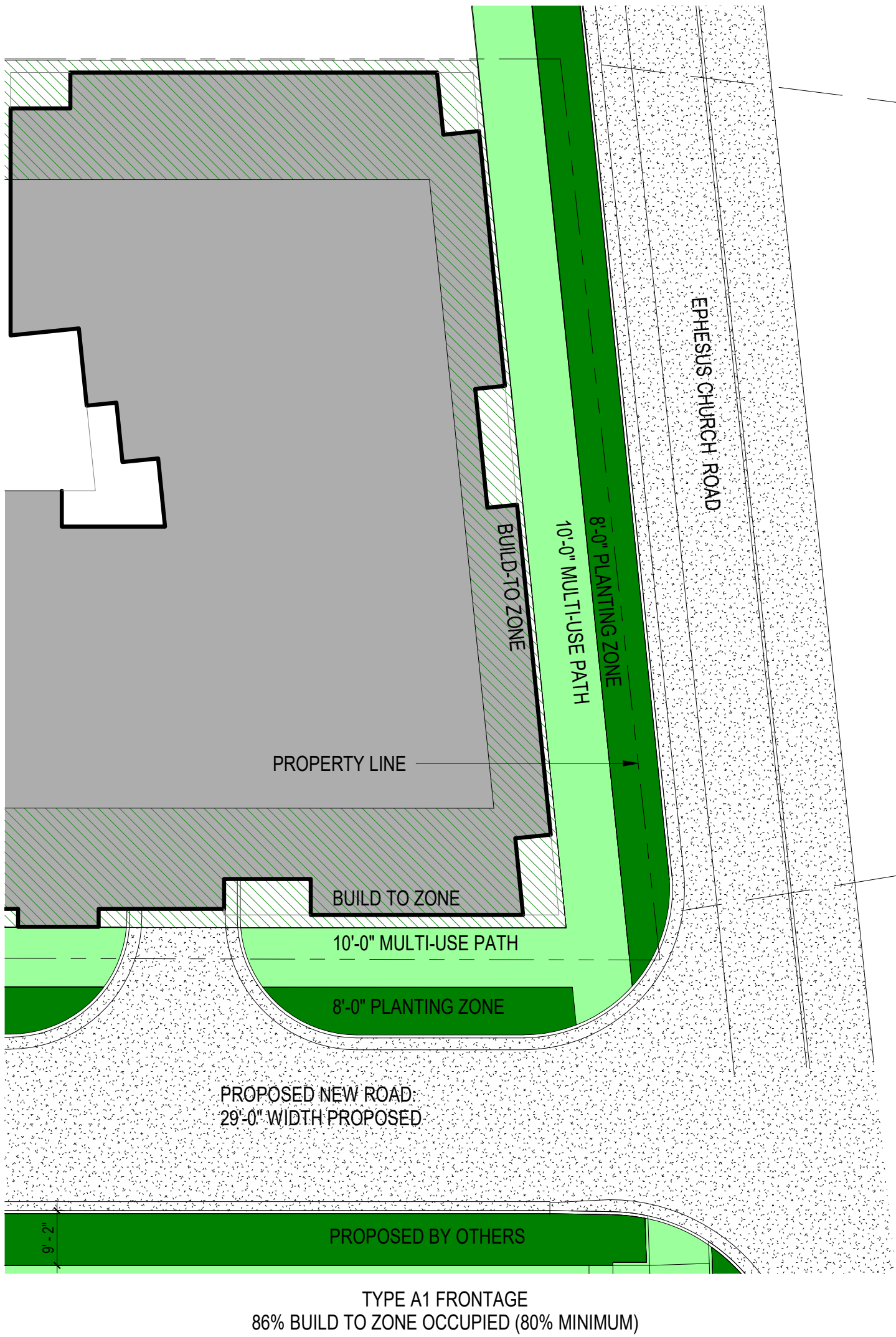
SITE FRONTAGE PLAN - BLDG A TYPE A2 FRONTAGE
1" = 20'-0"

B3



SITE FRONTAGE PLAN - BLDG A TYPE B FRONTAGE
1" = 20'-0"

A3



SITE FRONTAGE PLAN - BLDG A TYPE A1 FRONTAGE
1" = 20'-0"

A1

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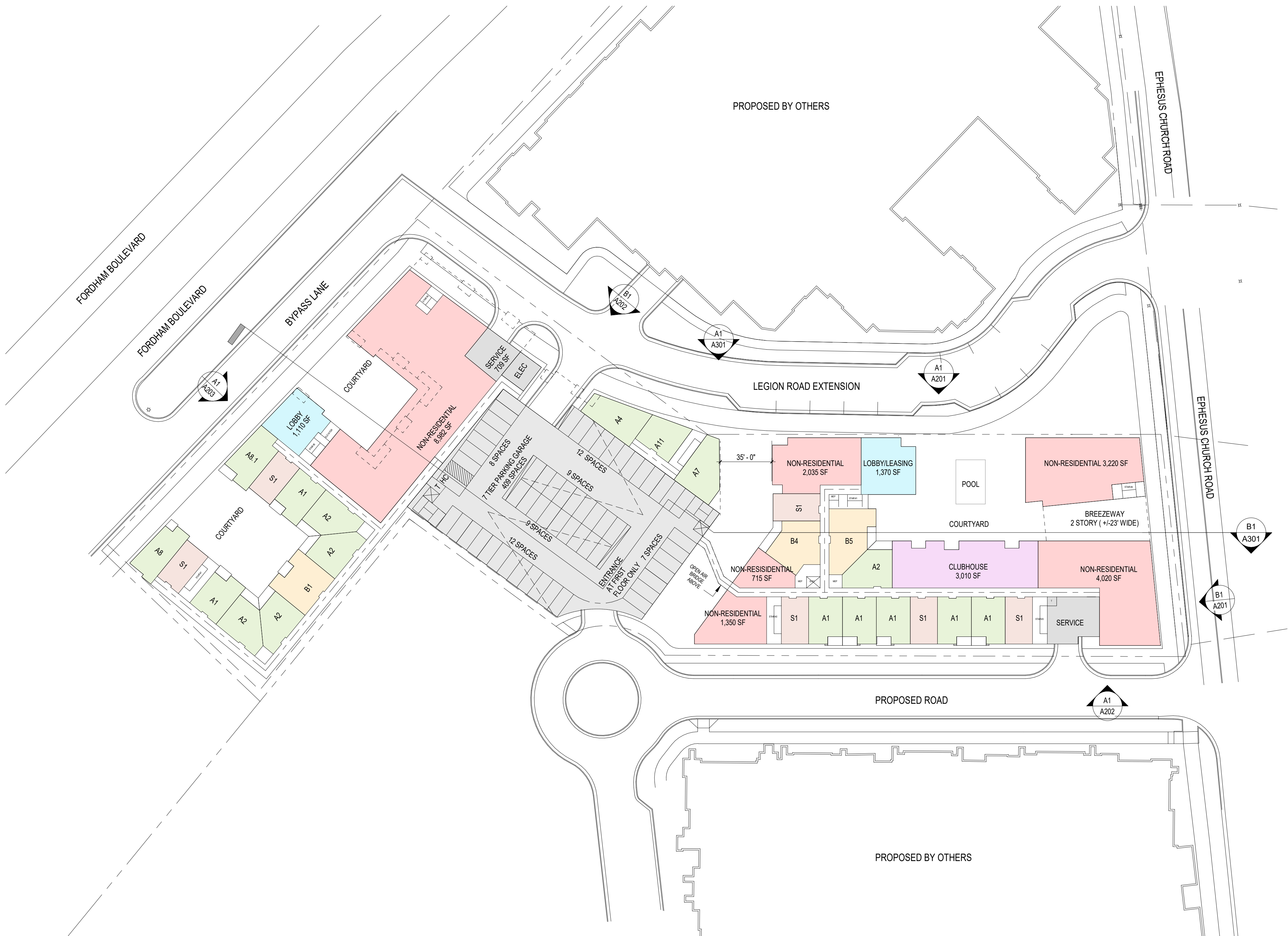
A011
SHEET 13 OF 32

C A U R A
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
SITE FRONTAGE DIAGRAM
TRINISIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

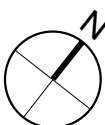
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BIM 360://Aura Blue Hill/Site Model.rvt
8/24/2021 4:54:43 PM



0 20' 40' 80'
SCALE: 1" = 40'-0"



LEVEL 1 COMPOSITE PLAN
1" = 40'-0"

A1

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	LD/SF
APPROVED BY	DM

A100.1

SHEET 14 OF 32

C A U R A
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
LEVEL 1 COMPOSITE PLAN
TRINSIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

CD
DESIGN, INC.
414 Fayetteville St
Raleigh, NC 27601

Pennon
Firm License
F-1287
PENNONI ASSOCIATES, INC.
5430 Wade Park Boulevard, #105
Raleigh, NC 27607
T 919.929.1173 F 919.493.6548

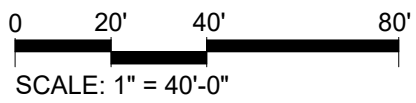
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LEVEL 2 AND LEVEL 3 COMPOSITE PLAN
1" = 40'-0"

A1

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	LD/SF
APPROVED BY	DM

A100.2

SHEET 15 OF 32

C A U R A
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
LEVEL 2 AND LEVEL 3 COMPOSITE PLAN
TRINIS RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

CD
CI DESIGN, INC.
414 Fayetteville St
Raleigh, NC 27601

Pennon

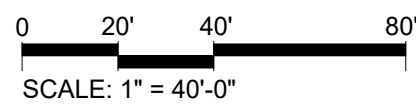
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PENNONI ASSOCIATES, INC.
5430 Wade Park Boulevard, #105
Raleigh, NC 27607
T 919.929.1173 F 919.493.6548



LEVEL 4, LEVEL 5, AND LEVEL 6 COMPOSITE PLAN
1" = 40'-0"

A1

NOT FOR CONSTRUCTION

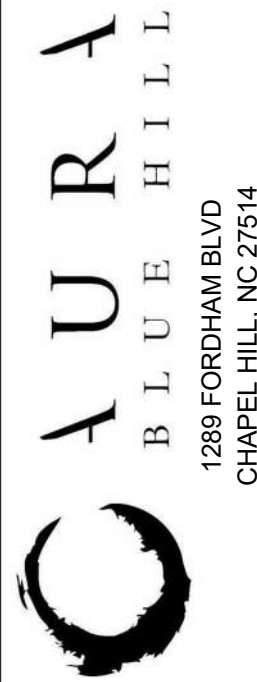


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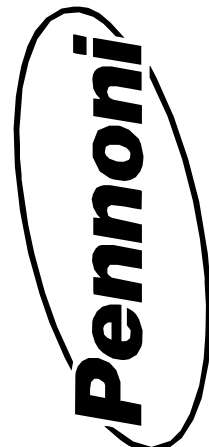
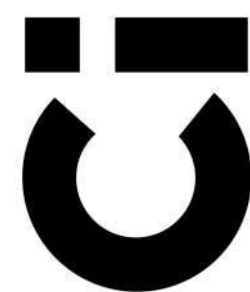
PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	LD/SF
APPROVED BY	DM

A100.3

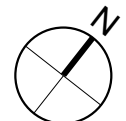
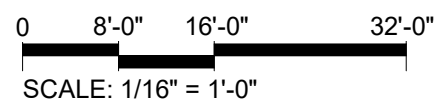
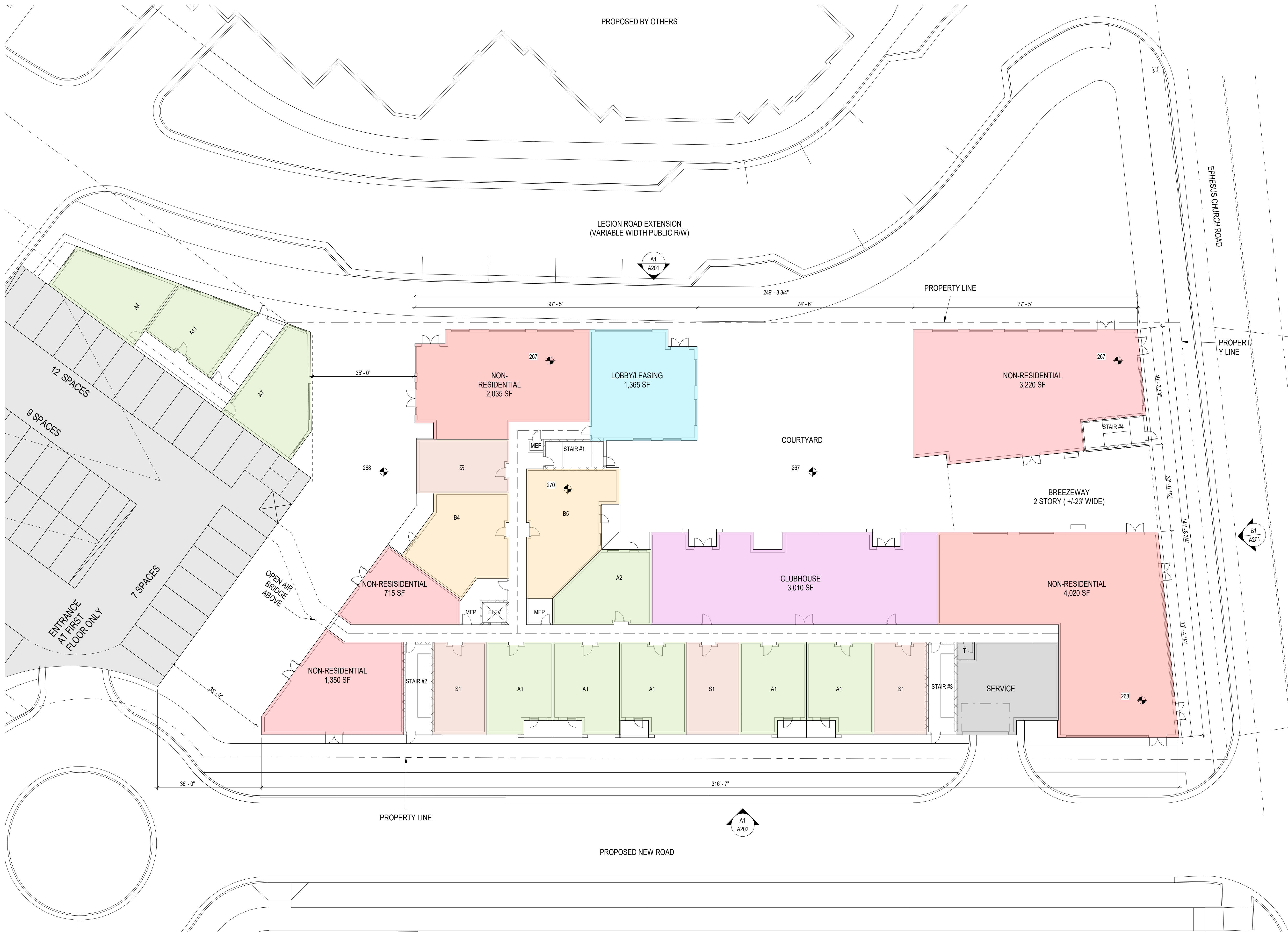
SHEET 16 OF 32



LEVEL 4, LEVEL 5, AND LEVEL 6 COMPOSITE PLAN
TRINSIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701



PENNONI ASSOCIATES, INC.
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LEVEL 1
1/16" = 1'-0"

A1

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	LD
APPROVED BY	DM

A101
SHEET 17 OF 32

CAURA
BLUE HILL
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
BUILDING A LEVEL 1 PLAN
TRINISC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

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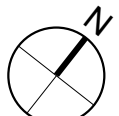


LEVEL 2
1/16" = 1'-0"

A1

NOT FOR CONSTRUCTION

0 8'-0" 16'-0" 32'-0"
SCALE: 1/16" = 1'-0"



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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	LD
APPROVED BY	DM

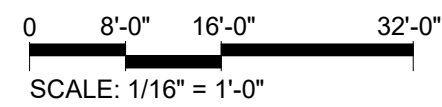
A102

SHEET 18 OF 32

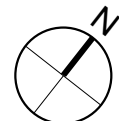
C A U R A
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
BUILDING A LEVEL 2 AND LEVEL 3 PLAN
TRINISIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

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SCALE: 1/16" = 1'-0"



LEVEL 4
1/16" = 1'-0"

A1

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	LD
APPROVED BY	DM

A103

SHEET 19 OF 32

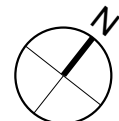
CAURA
BLUE HILL
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
BUILDING A LEVEL 4 PLAN
TRINIS RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

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Raleigh, NC 27601

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5430 Wade Park Boulevard, #105
Raleigh, NC 27607
T 919.929.1173 F 919.493.6548



0 8'-0" 16'-0" 32'-0"
SCALE: 1/16" = 1'-0"



LEVEL 6
1/16" = 1'-0"

A1

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	LD
APPROVED BY	DM

A104

SHEET 20 OF 32

C A U R A
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
BUILDING A LEVEL 5 AND LEVEL 6 PLAN
TRINISIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

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414 Fayetteville St
Raleigh, NC 27601

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BUILDING B GROUND LEVEL FLOOR PLAN
1/16" = 1'-0"

A1

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	Author
APPROVED BY	Checker

A110
SHEET 21 OF 32

C A U R A
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
BUILDING B LEVEL 1 PLAN
TRINISIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

CD DESIGN, INC.
414 Fayetteville St
Raleigh, NC 27601

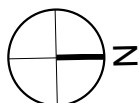
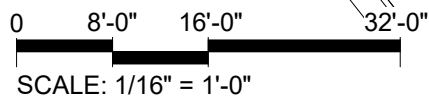
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Raleigh, NC 27607
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BUILDING B TYPICAL LEVEL 2 AND 3 FLOOR PLANS
1/16" = 1'-0"

A1

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	Author
APPROVED BY	Checker

A111
SHEET 22 OF 32

CAURA
BLUE HILL
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
BUILDING B LEVEL 2 AND LEVEL 3 PLAN
TRINIS RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

CI
CI DESIGN, INC.
414 Fayetteville St
Raleigh, NC 27601

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PENNONI ASSOCIATES, INC.
5430 Wade Park Boulevard, #105
Raleigh, NC 27607
T 919.929.1173 F 919.493.6548



BUILDING B TYPICAL LEVEL 4, 5, AND 6 FLOOR PLANS
1/16" = 1'-0"

A1

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	Author
APPROVED BY	Checker

A112
SHEET 23 OF 32

CAURA
BLUE HILL
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
BUILDING B LEVEL 4, LEVEL 5, AND LEVEL 6 PLAN
TRINISIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

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414 Fayetteville St
Raleigh, NC 27601

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Raleigh, NC 27607
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BUILDING A EAST ELEVATION
1/16" = 1'-0"

B1



BUILDING A NORTH ELEVATION
1/16" = 1'-0"

A1

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	MS/DA
APPROVED BY	DM/GDV

A201
SHEET 24 OF 32

C A U R A
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
BUILDING ELEVATIONS
TRINISIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

CD
DESIGN, INC.
414 Fayetteville St
Raleigh, NC 27601

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F-1287
PENNONI ASSOCIATES, INC.
5430 Wade Park Boulevard, #105
Raleigh, NC 27607
T 919.929.1173 F 919.493.6548

FIBER CEMENT CLADDING 2 GREEN WALL BRICK 2 ALUMINUM SCREENS FIBER CEMENT CLADDING 3 FIBER CEMENT CLADDING 4 BRICK 2 FIBER CEMENT CLADDING 2

BRICK 1 FIBER CEMENT CLADDING 1 FIBER CEMENT CLADDING 5 BRICK 1 FIBER CEMENT CLADDING 1 FIBER CEMENT CLADDING 3

LEGION ROAD EXTENSION

BUILDING B ELEVATION EAST
1/16" = 1'-0" B1

FIBER CEMENT CLADDING 2 BRICK 2 FIBER CEMENT CLADDING 5 BRICK 2 FIBER CEMENT CLADDING 2 FIBER CEMENT CLADDING 3

FIBER CEMENT CLADDING 1 BRICK 1 FIBER CEMENT CLADDING 1 FIBER CEMENT CLADDING 4 BRICK 1

PROPOSED NEW ROAD

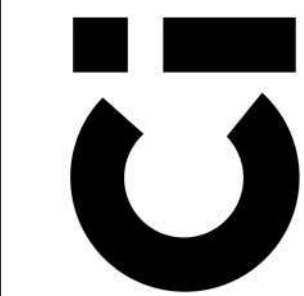
BLDG A SOUTH ELEVATION
1/16" = 1'-0" A1

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414 Fayetteville St
Raleigh, NC 27601



CHURCH HILL
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514

BUILDING ELEVATIONS
TRINIS RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

NO.	DATE	REVISIONS	BY

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
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APPROVED BY	DM/GDV

A202

SHEET 25 OF 32

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BUILDING B ELEVATION NORTH
1/16" = 1'-0"

A1

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	MS/DA
APPROVED BY	DM/GDV

A203

SHEET 26 OF 32

C A U R A
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514

BUILDING ELEVATIONS
TRINSIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

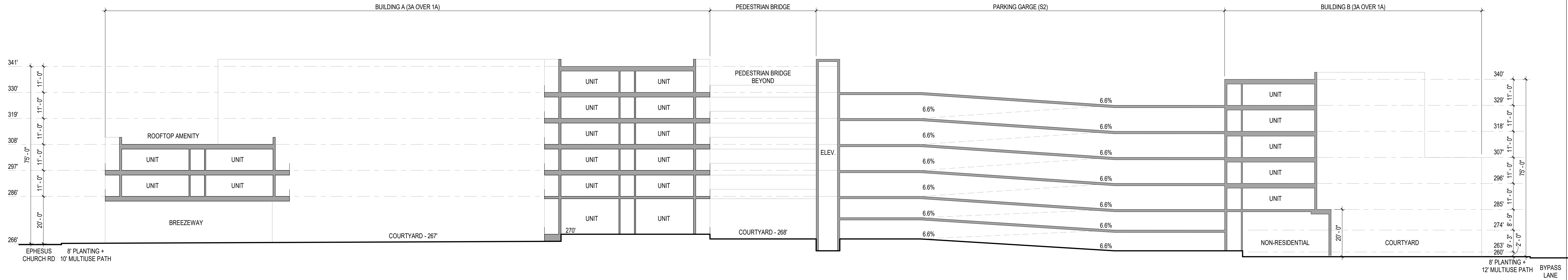
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414 Fayetteville St
Raleigh, NC 27601

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5430 Wade Park Boulevard, #105
Raleigh, NC 27607
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BUILDING SECTION
3/64" = 1'-0" B1



SITE ELEVATIONS NORTH
3/64" = 1'-0" A1

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Raleigh, NC 27607
T 919.929.1173 F 919.493.6548

CI DESIGN, INC.
414 Fayetteville St
Raleigh, NC 27601

CHAPEL HILL
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514

BUILDING SECTIONS
TRINISC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

NO.	DATE	REVISIONS	BY

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PROJECT	TRINS21001
DATE	2021/08/24
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DRAWN BY	MS/DA
APPROVED BY	DM/GDV

A301

SHEET 27 OF 32



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AERIAL PERSPECTIVES
NOT TO SCALE

A1

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	MS/DA
APPROVED BY	GDV

AR001
SHEET 28 OF 32

C A U R A
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