

PROPOSED MIXED-USE DEVELOPMENT (1289 FORDHAM BLVD)

PIN: 9799343950, 9799340759, 9799340588

SUMMARY OF DESIGN ALTERNATIVES:	
DA-1: A REQUEST TO APPROVE TREE SPECIES AND SPACING MODIFICATIONS ALONG EPHESUS CHURCH ROAD AND FORDHAM BOULEVARD.	
DA-2: A REQUEST TO APPROVE A REDUCTION TO THE STRUCTURED PARKING MINIMUM SETBACK FROM FRONT BUILDING FAÇADE ALONG PORTIONS OF THE LEGION ROAD EXTENSION TYPE A FRONTAGE.	

CERTIFICATE OF APPROPRIATENESS AND DESIGN ALTERNATIVES

TOWN OF CHAPEL HILL, ORANGE COUNTY, N.C.
08/24/2021

PREPARED FOR:

DEVELOPER

TRINSIC RESIDENTIAL GROUP

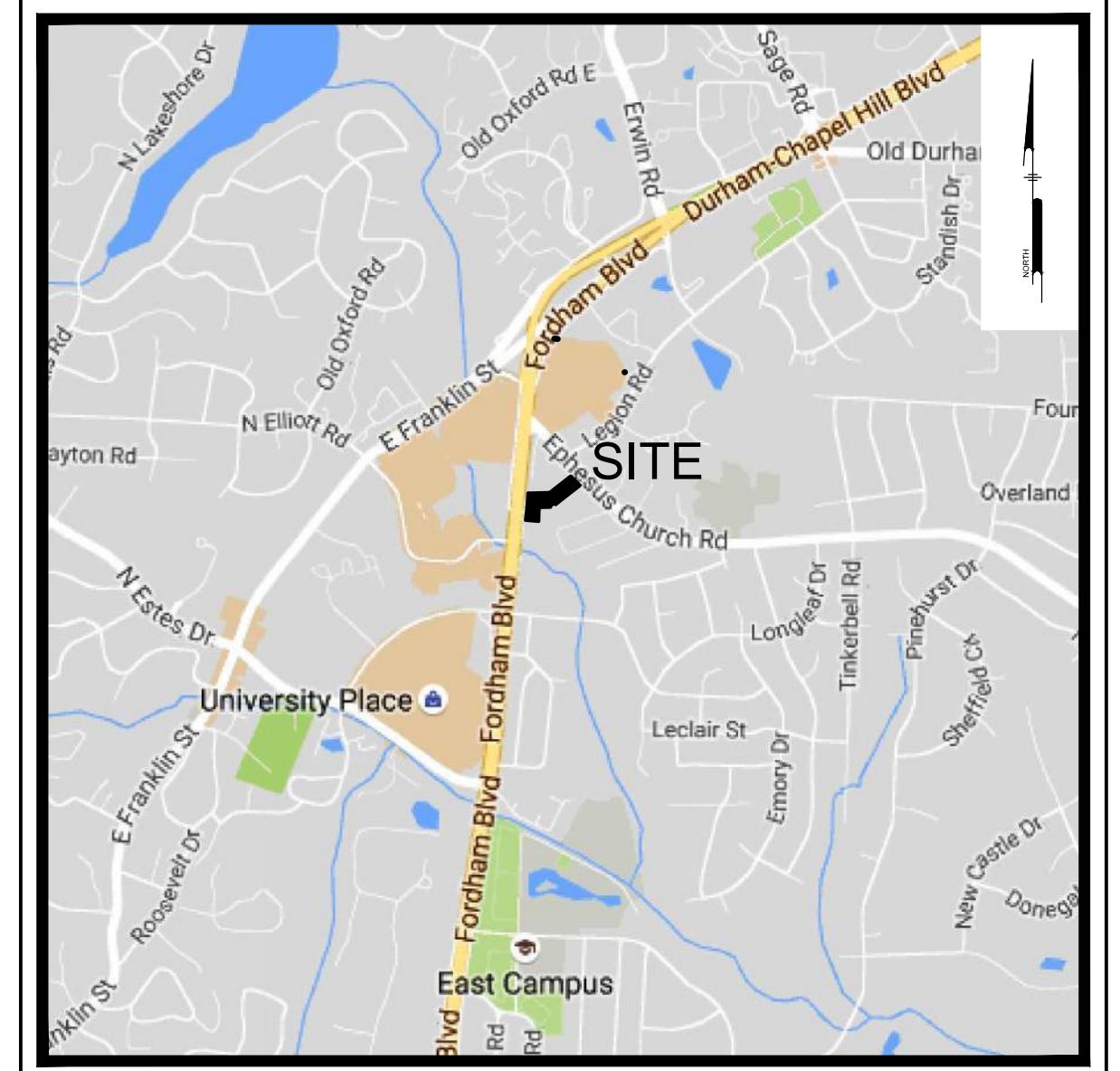
321 E. CHAPEL HILL ST
DURHAM, NC 27701

SHEET LIST TABLE		
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	CS0001	COVER SHEET
2	CS0002	AREA MAP & SITE PHOTOGRAPHS
3	CS0201	EXISTING CONDITIONS
4	CS1000	SITE PLAN RENDERING
5	CS1001	OVERALL CONTEXTUAL SITE PLAN
6	CS1002	ZONING PLAN
7	DA-1	DESIGN ALTERNATE 1
8	DA-2	DESIGN ALTERNATE 2
9	L001	GROUND LEVEL RENDERED SITE PLAN
10	L002	LEVEL 4 RENDERED SITE PLAN
11	L003	PLANTING PLAN
12	A010	SITE FRONTAGE DIAGRAMS
13	A011	SITE FRONTAGE DIAGRAMS
14	A100.1	LEVEL 1 COMPOSITE PLAN
15	A100.2	LEVEL 2 AND LEVEL 3 COMPOSITE PLAN
16	A100.3	LEVEL 4, LEVEL 5, AND LEVEL 6 COMPOSITE PLAN
17	A101	BUILDING A LEVEL 1 PLAN
18	A102	BUILDING A LEVEL 2 AND LEVEL 3 PLAN
19	A103	BUILDING A LEVEL 4 PLAN
20	A104	BUILDING A LEVEL 5 AND LEVEL 6 PLAN
21	A110	BUILDING B LEVEL 1 PLAN
22	A111	BUILDING B LEVEL 2 AND LEVEL 3 PLAN
23	A112	BUILDING B LEVEL 4, LEVEL 5, AND LEVEL 6 PLAN
24	A201	BUILDING ELEVATIONS
25	A202	BUILDING ELEVATIONS
26	A203	BUILDING ELEVATIONS
27	A301	BUILDING SECTION
28	AR001	RENDERED VIEWS
29	AR002	RENDERED VIEWS
30	A601	MATERIAL BOARD
31	A901	PROJECT DATA
32	A902	PROJECT DATA

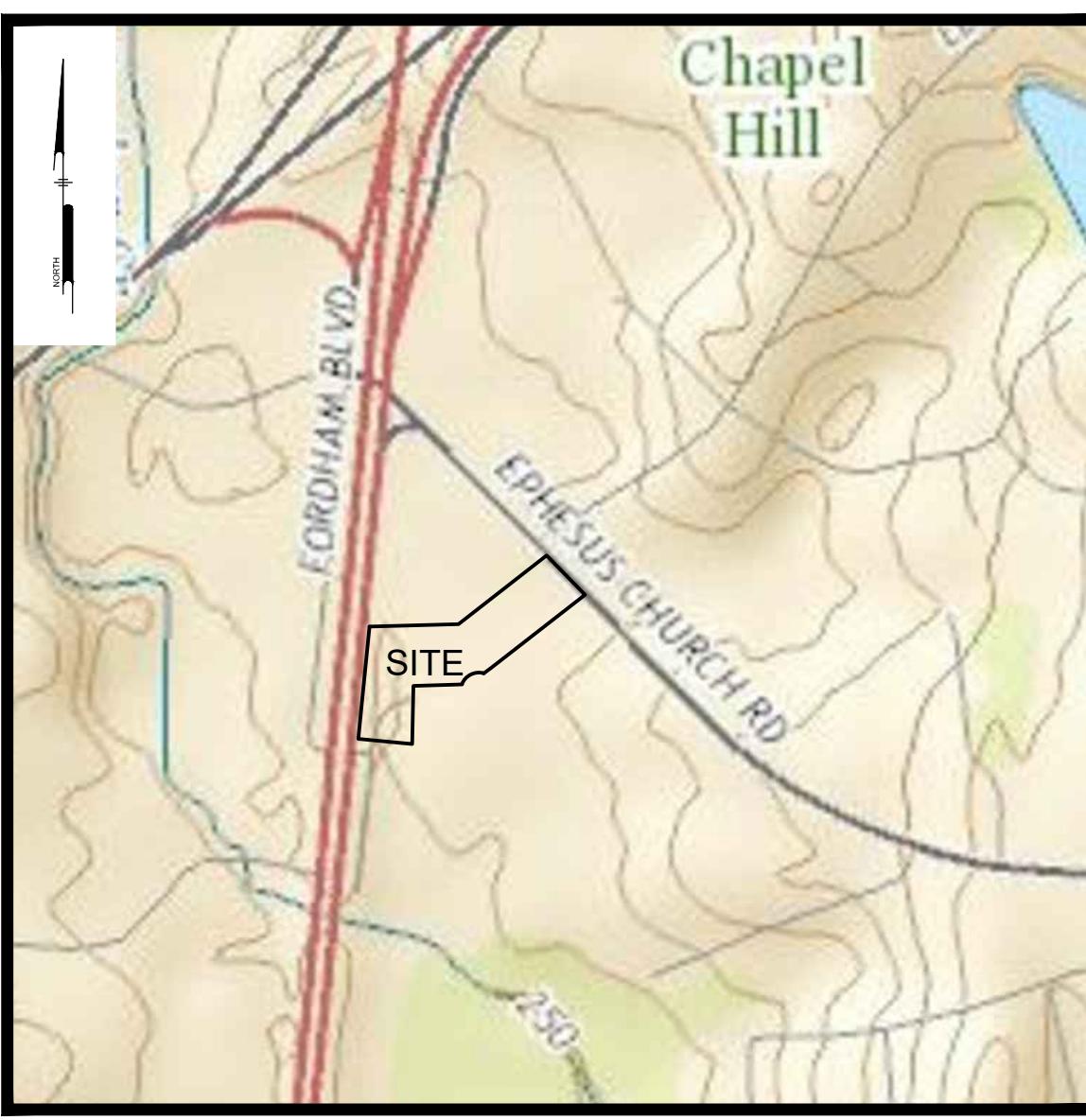
Caura
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
COVER SHEET
TRINSIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701



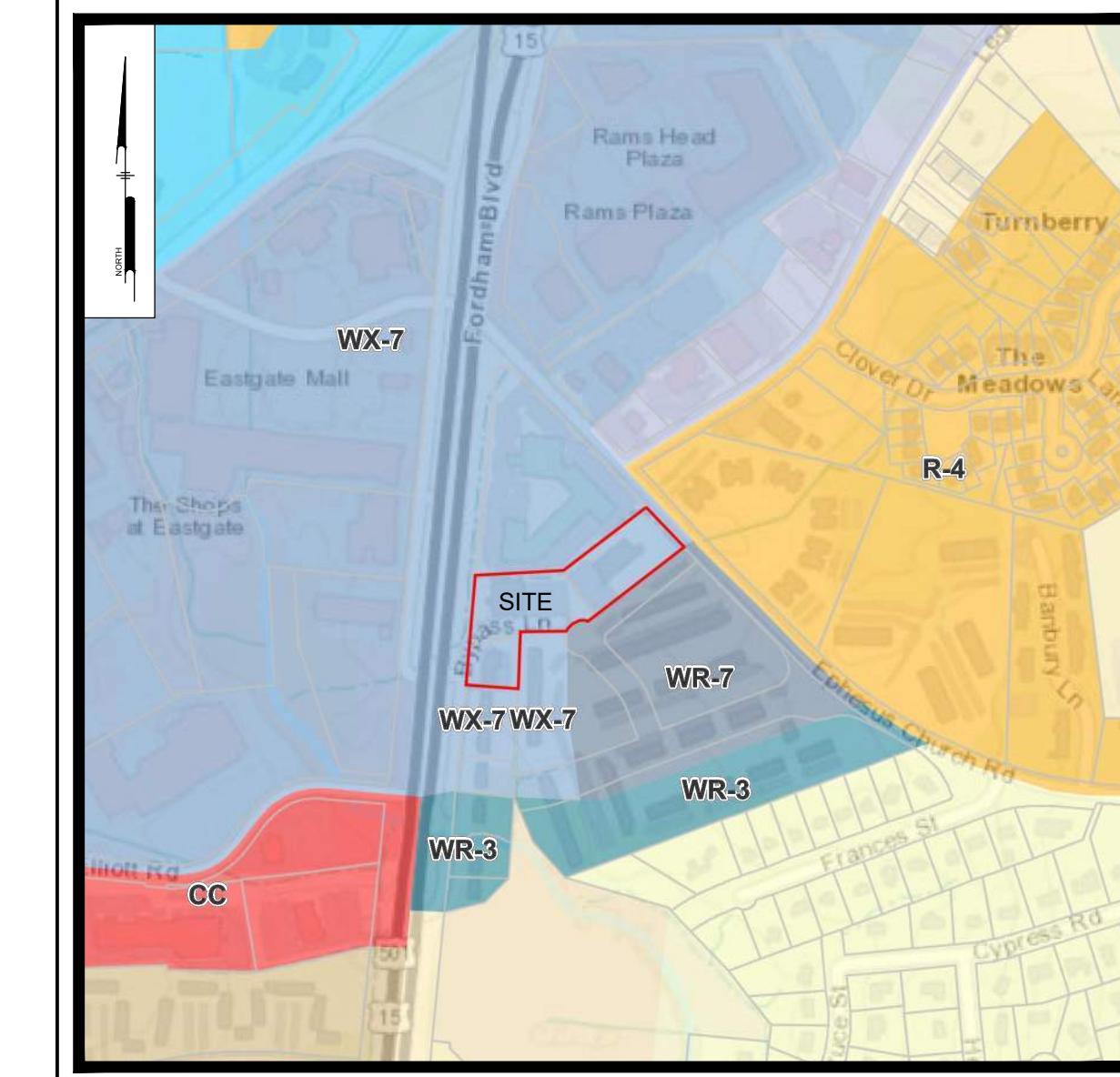
SOILS MAP
Scale: 1" = 500'



LOCATION MAP
1" = 2000'



USGS MAP
Scale: 1" = 500'



ZONING MAP
Scale: 1" = 500'

PROJECT STATUS: —
PLOTS FILE: Pennoni NC 3.0
PLOTTED: 2/12/2021 4:30 PM, BY: Autocad Sheet0

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F-1267

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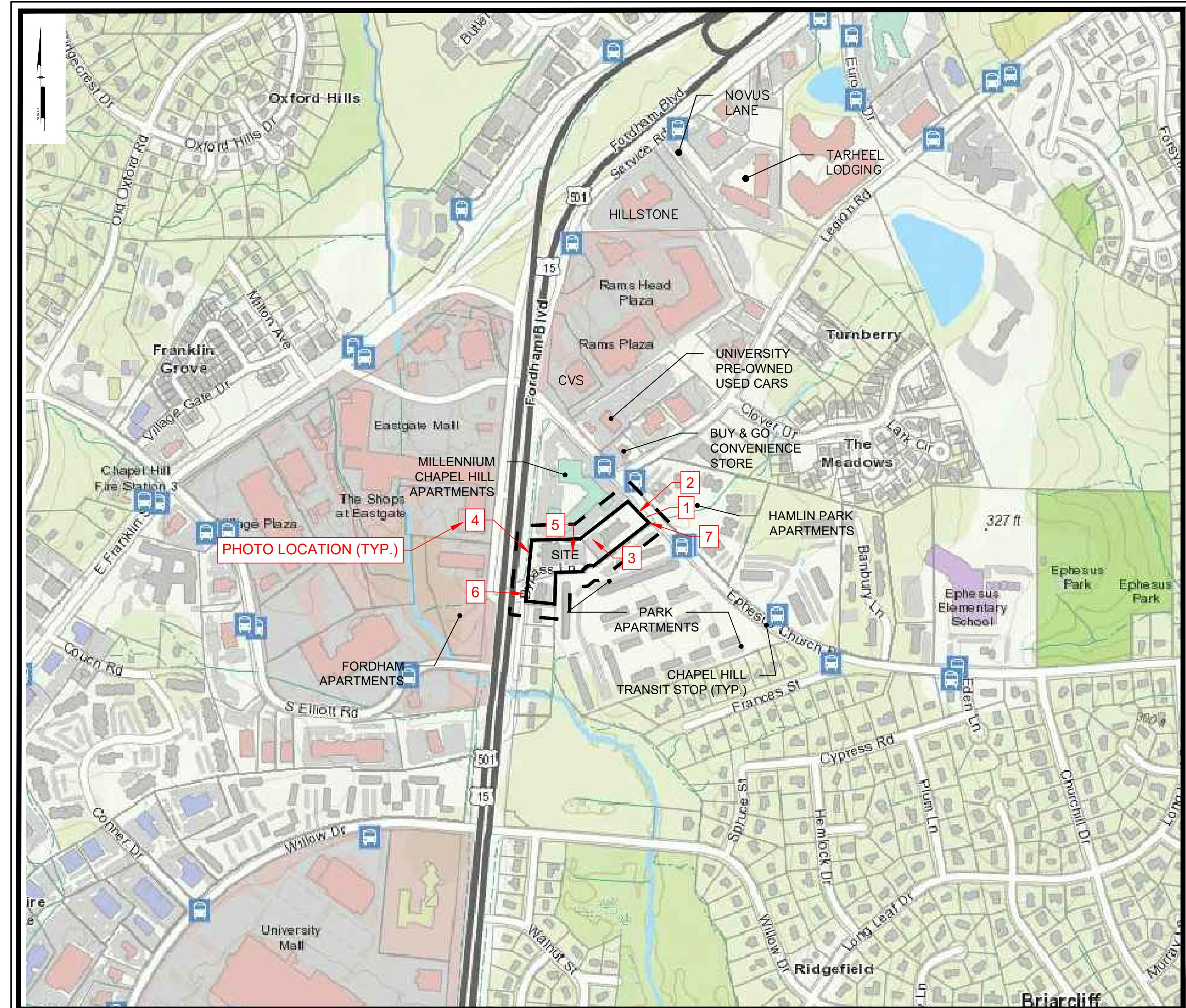
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PROJECT: TRINS21001
DATE: 2021/08/24
DRAWING SCALE: AS SHOWN
DRAWN BY: KNB
APPROVED BY: ESM

CS0001
SHEET 1 OF 32



Know what's below.
Call before you dig.



AREA MAP
Scale: 1" = 300'



PHOTO 1 - VIEW FROM NORTHEAST PROPERTY CORNER ON EPHESUS CHURCH ROAD LOOKING NORTHWEST AT EXISTING UNIVERSITY INN SITE.



PHOTO 2 - VIEW FROM EPHESUS CHURCH ROAD LOOKING SOUTHWEST TOWARD CHAPEL HILL BAPTIST CHURCH.



PHOTO 3 - VIEW LOOKING NORTHEAST AT BACK OF CHAPEL HILL BAPTIST CHURCH FROM INTERIOR LOT.



PHOTO 4 - VIEW FROM FORDHAM BLVD LOOKING EAST TOWARD EXISTING COMMERCIAL BUILDING.



PHOTO 5 - VIEW LOOKING WEST FROM EAST SIDE OF EXISTING COMMERCIAL BUILDING.



PHOTO 6 - VIEW FROM BYPASS LANE OFF FORDHAM BLVD LOOKING EAST AT EXISTING RESIDENTIAL PROPERTY.



PHOTO 7 - VIEW FROM EPHESUS CHURCH ROAD LOOKING SOUTHEAST AT THE PARK APARTMENTS DEVELOPMENT.

CS0002

SHEET 2 OF 32

CAURA
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514

TRANSIC RESIDENTIAL GROUP
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DURHAM, NC 27701

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PROJECT TRINS21001
DATE 2021/08/24
DRAWING SCALE N.T.S.
DRAWN BY CRP
APPROVED BY ESM

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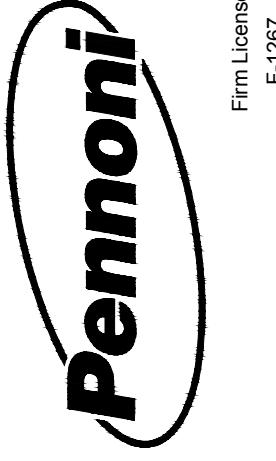
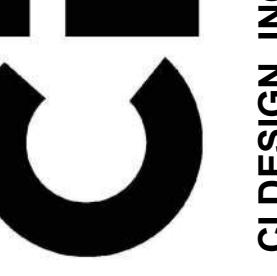
PROJECT STATUS

PHOTO FILE: 442005_442015_Visibility Blocks

PLOTTED: 442005_442015_CDA Drawing

322005_322006_CDA Drawing

User account: 322005_322006 - Chapel Hill Municipal Development Department - DRAFTS

 <p>PENNONI ASSOCIATES INC. 5430 Wade Park Boulevard, #106 Raleigh, NC 27607 T 919.929.1173 F 919.933.6548</p>	
 <p>CI DESIGN, INC. 414 Fayetteville St. Raleigh, NC 27601</p>	<p>CAURIA B L U E H I L L 1289 FORDHAM BLVD CHAPEL HILL, NC 27514</p>
<p>SITE PLAN RENDERING</p> <p>TRINIC RESIDENTIAL GROUP 322 E. CHAPEL HILL ST DURHAM, NC 27701</p>	

CS1000
SHEET 4 OF 32

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PROJECT TRINS21001
DATE 2021/08/24
DRAWING SCALE AS SHOWN
DRAWN BY KNB
APPROVED BY ESM

DESIGN ALTERNATIVE-1

Landscaping Standards Along Fordham Boulevard & Ephesus Church Road Frontages

FBC Requirement:

Sect. 3.11.4.2.D Landscaping Standards - Frontages

Frontages must be planted in accordance with the Town of Chapel Hill Design Manual

Site Constraints:

1. Utility poles with overhead lines exist along Fordham Boulevard and Ephesus Church Road frontages.
2. Utility company landscape requirements.

Design Alternative-1:

Allowance for the substitution of alternate street tree species and placement where overhead lines, sight triangles or fire access limits placement. Select/maintain trees with 15-foot maximum mature height (spacing to be approximately 40-feet on-center where provided) along Fordham Boulevard and Ephesus Church Road.

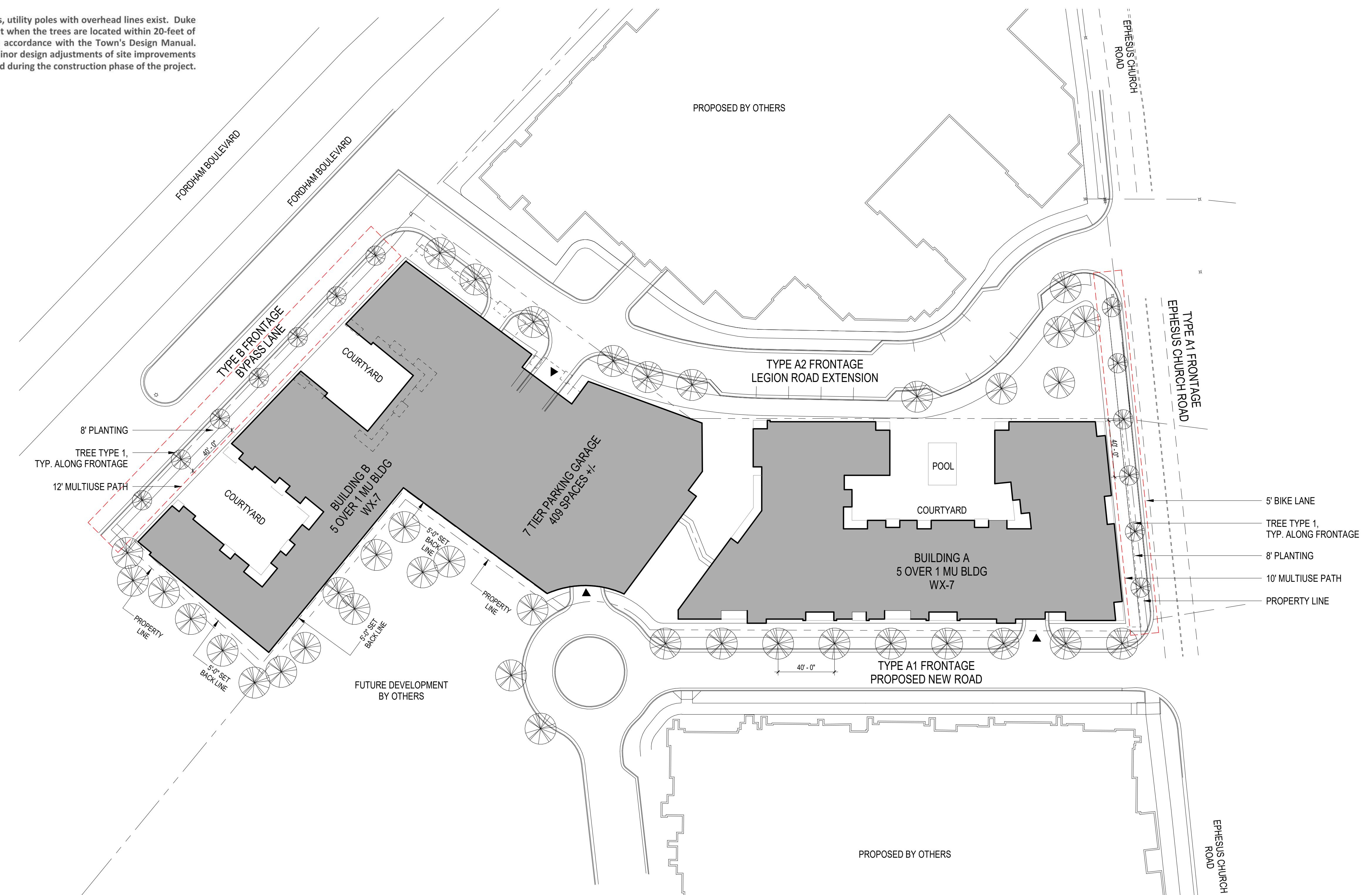
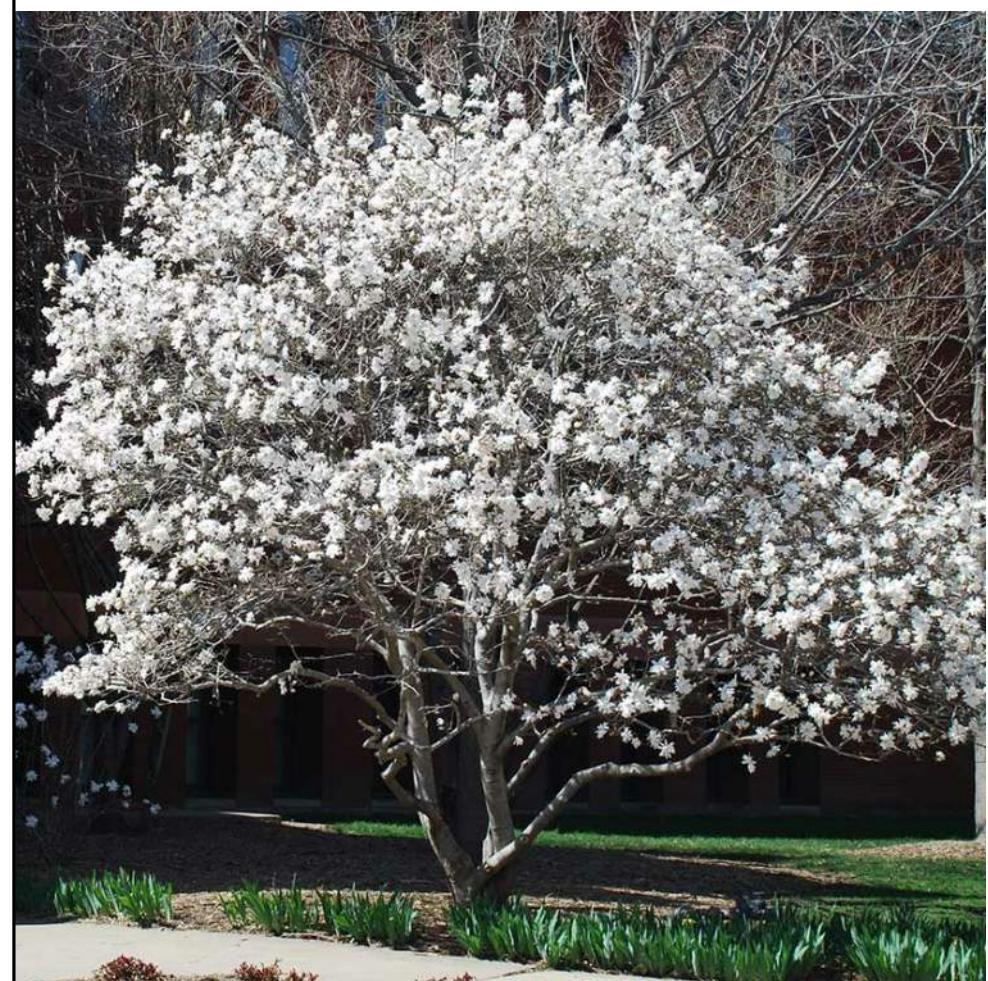
Mitigating Factors:

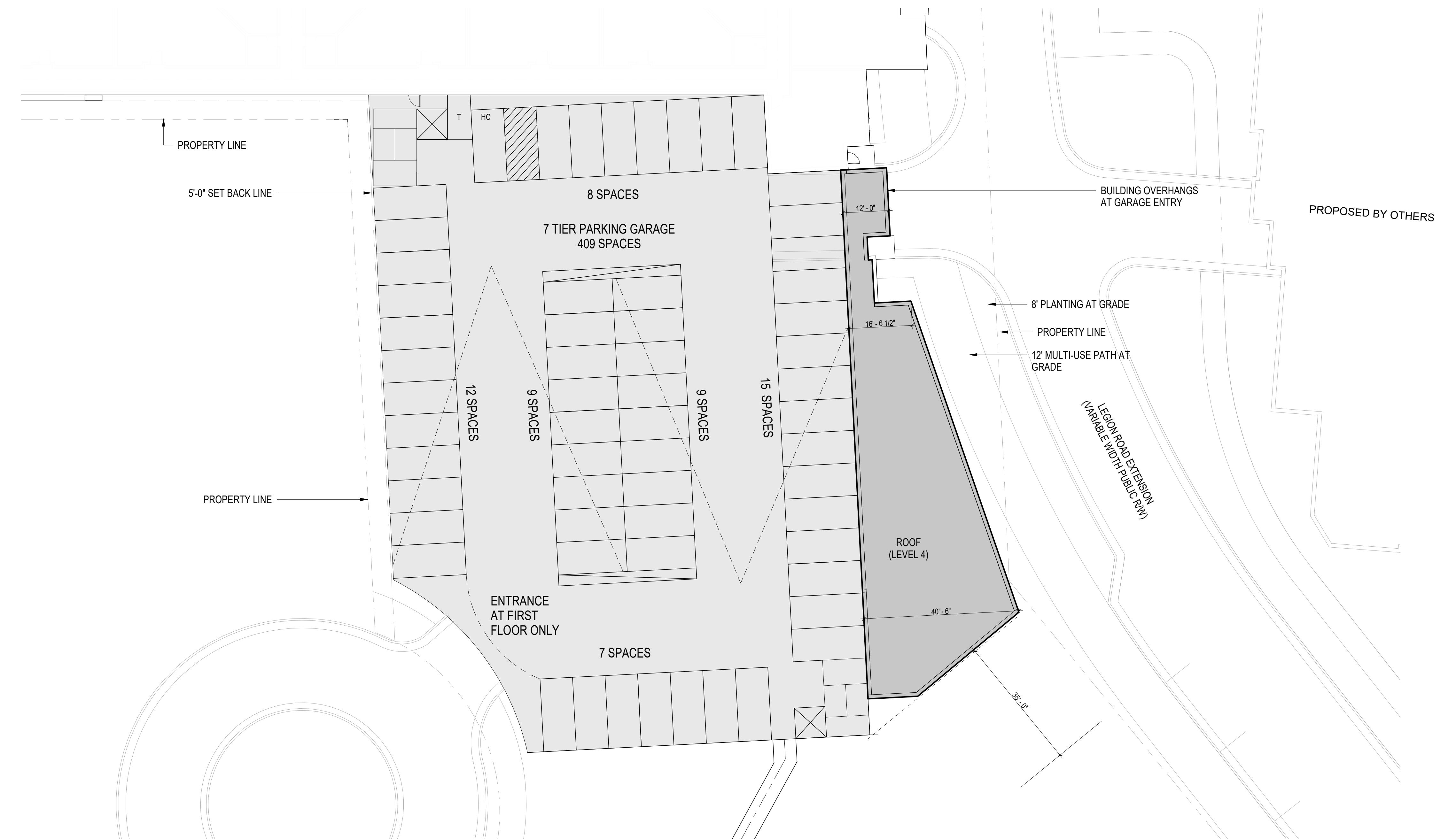
1. Presence of utility poles and overhead lines along the Fordham Boulevard and Ephesus Church Road frontages.

Narrative: Along the Fordham Boulevard and Ephesus Church Road frontages, utility poles with overhead lines exist. Duke Energy landscaping standards prohibit mature tree heights more than 15-feet when the trees are located within 20-feet of overhead lines. These requirements prohibit the planting of street trees in accordance with the Town's Design Manual. The request is also being made to allow for flexibility based upon possible minor design adjustments of site improvements and tree placement/species selection based upon site conditions encountered during the construction phase of the project.

DESIGN ALTERNATIVE 01 ZONE

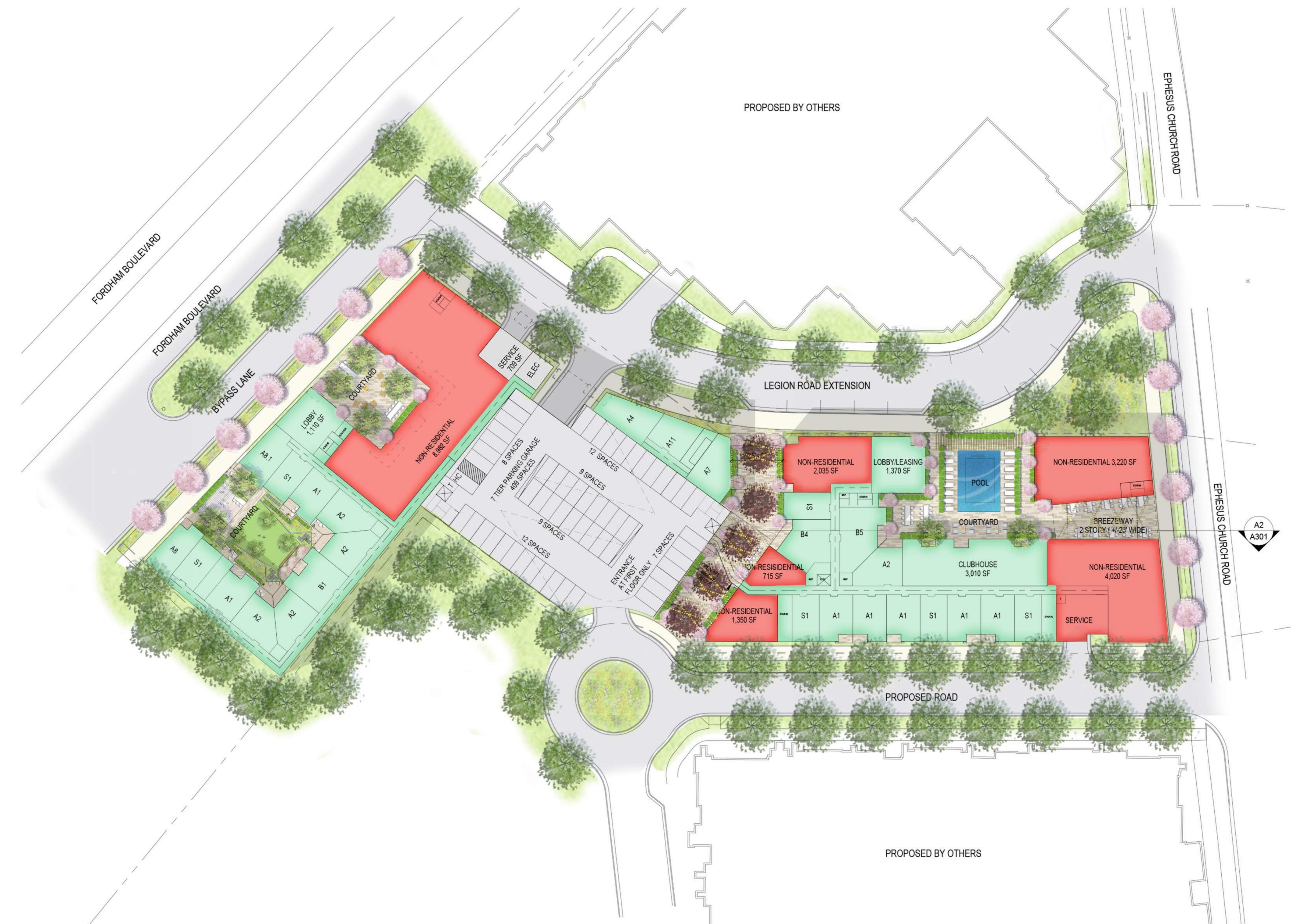
TREE TYPE 1
FLOWERING TREES @
FORDHAM BLVD & EPHESUS CHURCH RD
CHIONANTHUS VIRGINICUS
FRINGE TREE





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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	Author
APPROVED BY	Checker



NOT FOR CONSTRUCTION

L001

SHEET 9 OF 32

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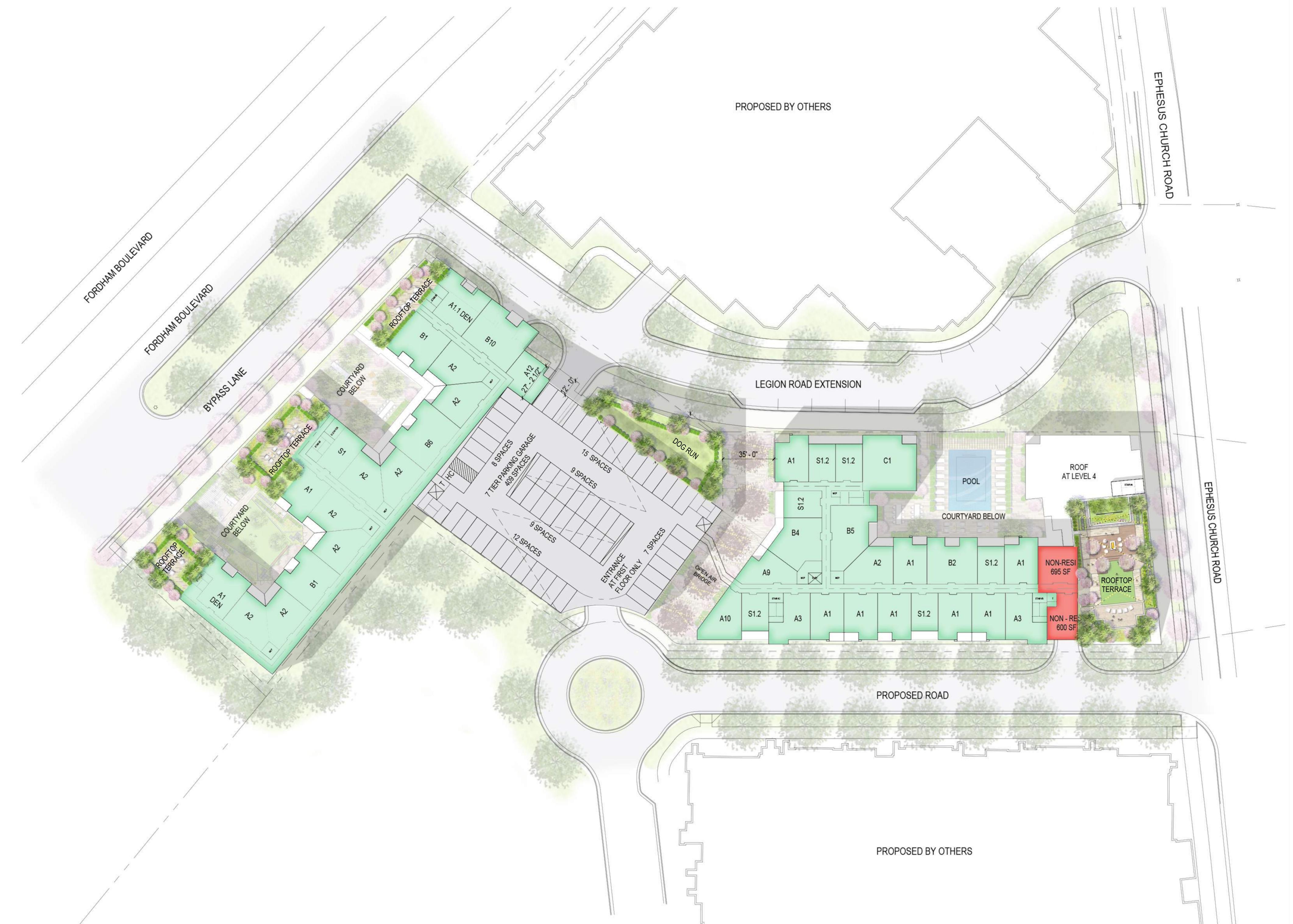
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1289 FORDHAM BLVD
CHAPEL HILL, NC 27514

GROUND LEVEL SITE RENDERING

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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	Author
APPROVED BY	Checker



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L002

SHEET 10 OF 32

Caura
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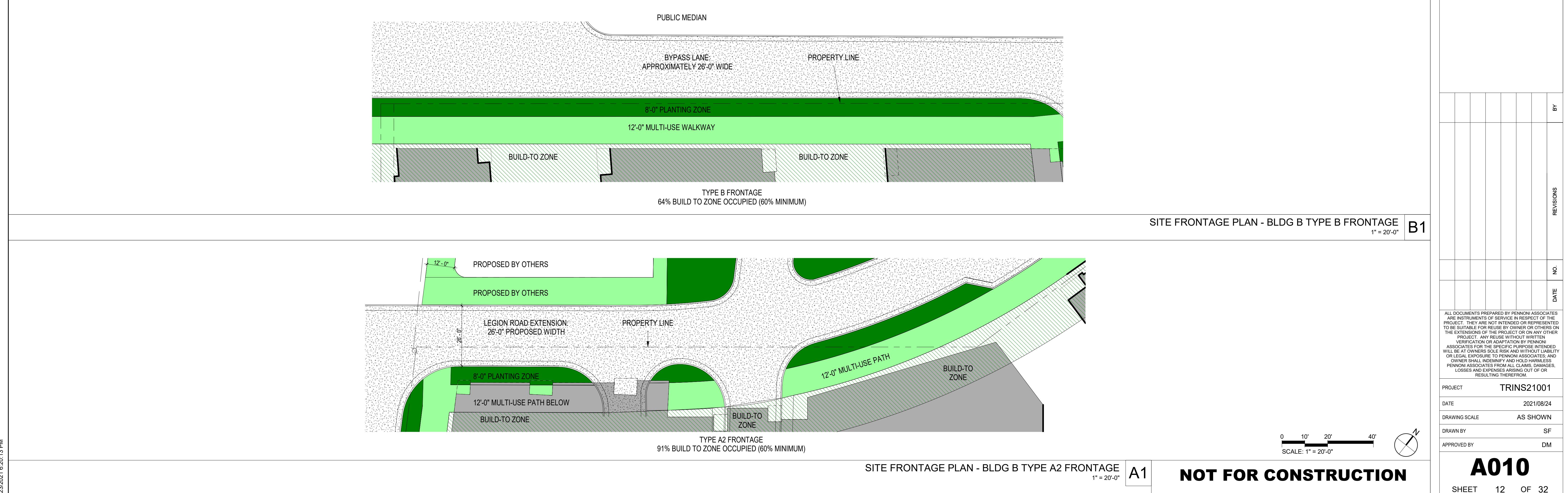
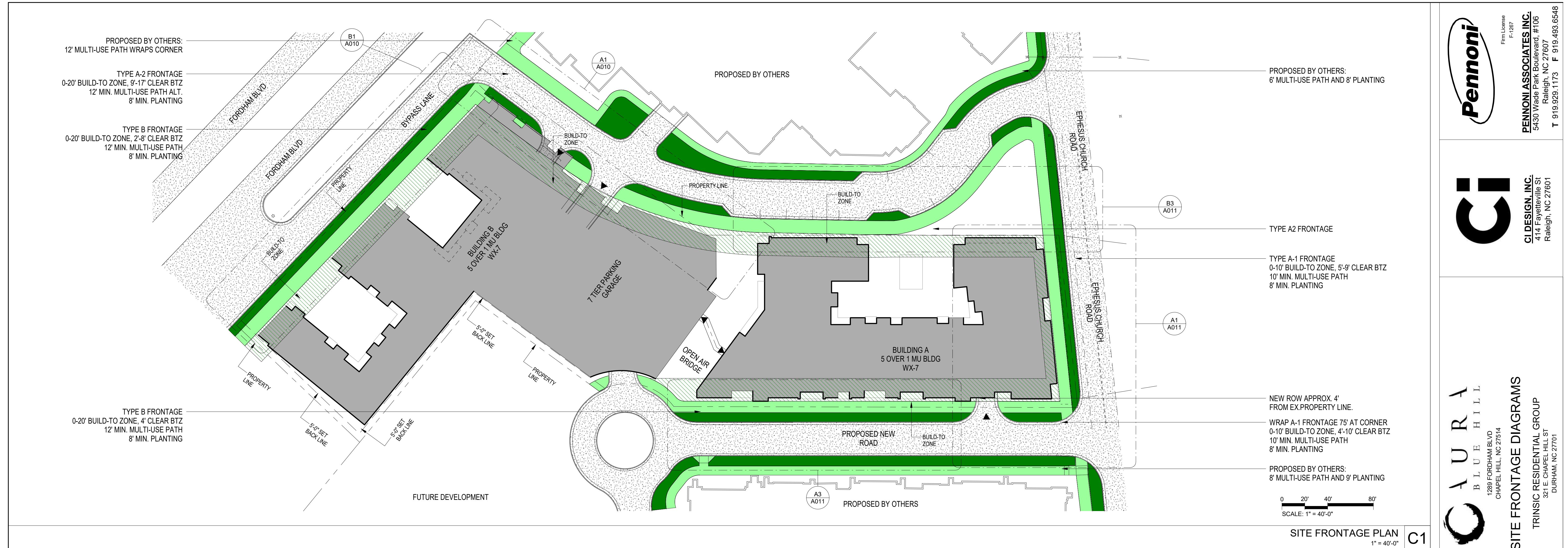
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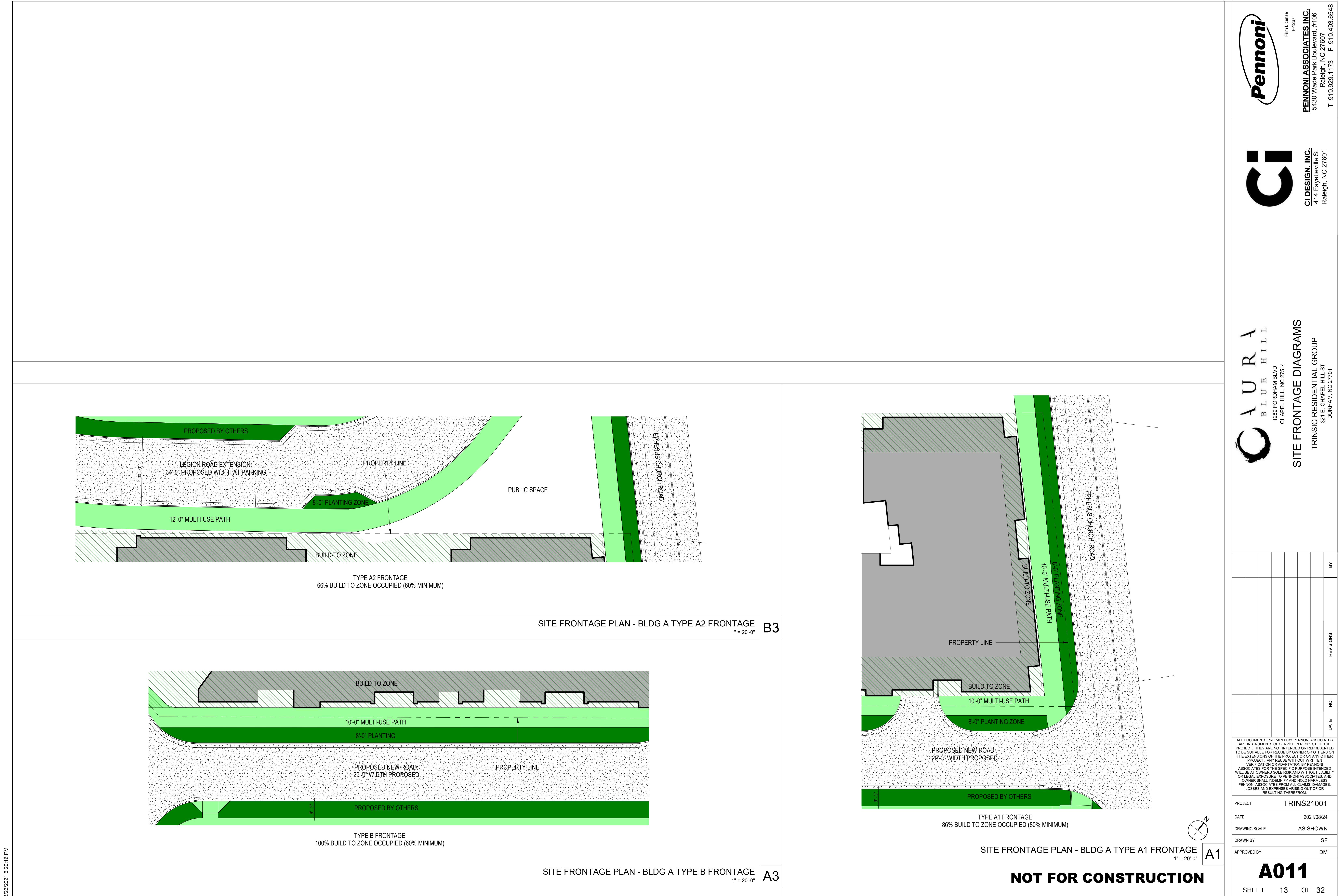
LEVEL 4 ROOF TERRACE RENDERING
TRINSIC RESIDENTIAL GROUP
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DURHAM, NC 27701

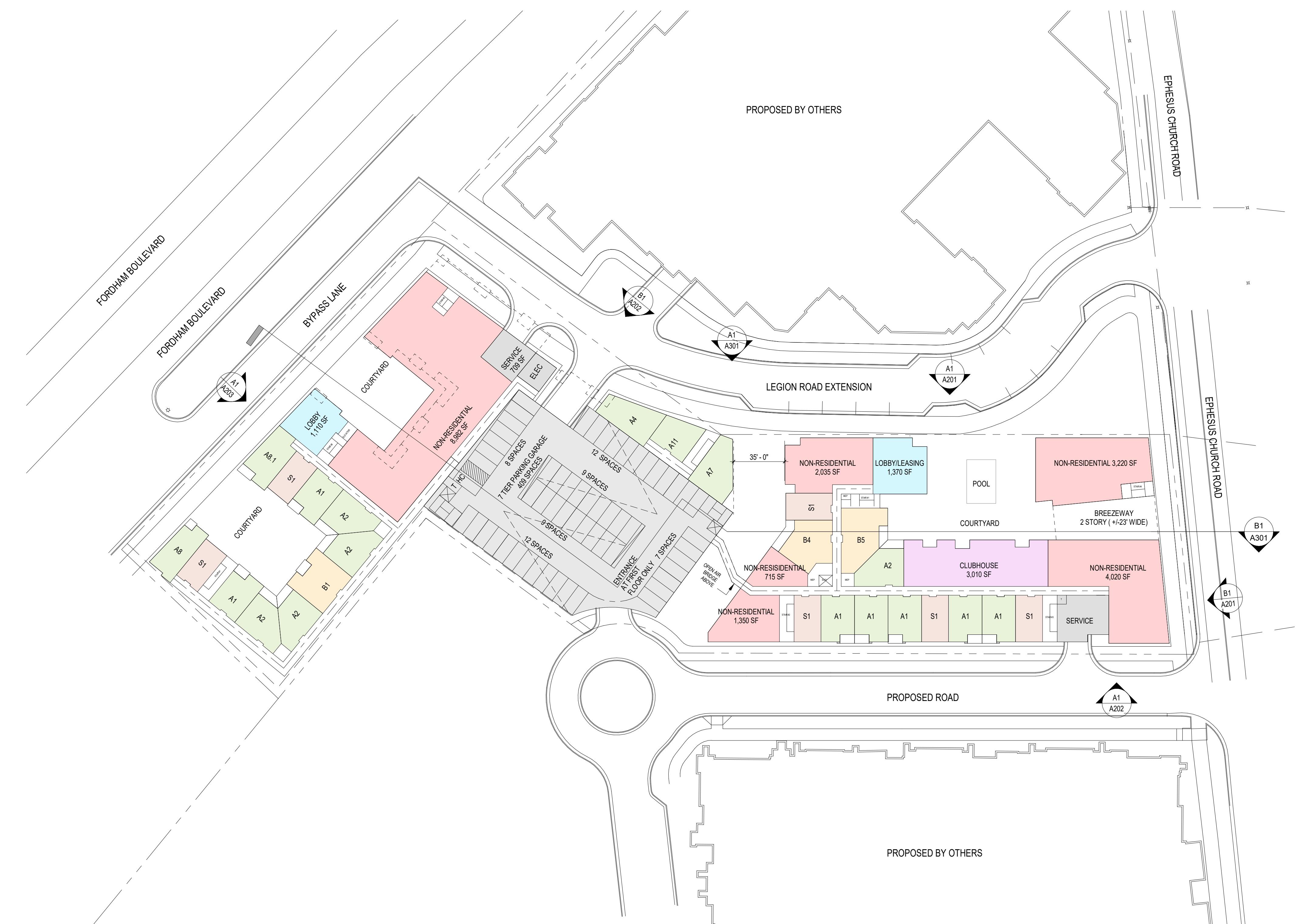
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PROJECT TRINS21001
DATE 2021/08/24
DRAWING SCALE AS SHOWN
DRAWN BY Author
APPROVED BY Checker







LEVEL 1 COMPOSITE PLAN
1" = 40'-0"

A1

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A100.1
SHEET 14 OF 32

Cauri
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Firm license
F-267

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F-267
Firm license
F-267

LEVEL 1 COMPOSITE PLAN
1" = 40'-0"

BY

REVISIONS

DATE

PROJECT

DATE

DRAWING SCALE

DRAWN BY

APPROVED BY

SCALE: 1" = 40'-0"

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LEVEL 2
1/16" = 1'-0"

NOT FOR CONSTRUCTION

A102

SHEET 18 OF 32

C A U R A
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514

TRANSIC RESIDENTIAL GROUP
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TRINS21001

DATE 2021/08/24

DRAWING SCALE AS SHOWN

DRAWN BY LD

APPROVED BY DM

REVISIONS BY

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LEVEL 6 A1 NOT FOR CONSTRUCTION

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TRINIC RESIDENTIAL GROUP
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PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	LD
APPROVED BY	DM

A104

SHEET 20 OF 32



A U R A
B L U E HILL L L
11289 FORDHAM BLVD
SHAPEL HILL, NC 27514

BUILDING B LEVEL 1 PLAN

TRINSIC RESIDENTIAL GROUP

2215 CHASE LANE ST

५

CI DESIGN, INC.
414 Fayetteville St
Durham, NC 27701

The logo for Pennoni, featuring the word "Pennoni" in a bold, black, sans-serif font. The letters are oriented vertically and enclosed within a thick, black, horizontal oval.

PENNNONI ASSOCIATES INC.
5430 Wade Park Boulevard, #106
Baltimore, MD 21207
F-1267

BUILDING B LEVEL 1 PLAN

TRINSIC RESIDENTIAL GROUP

2215 CHASE LANE ST

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TRINS2100

DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	Author
APPROVED BY	Chairman

Check

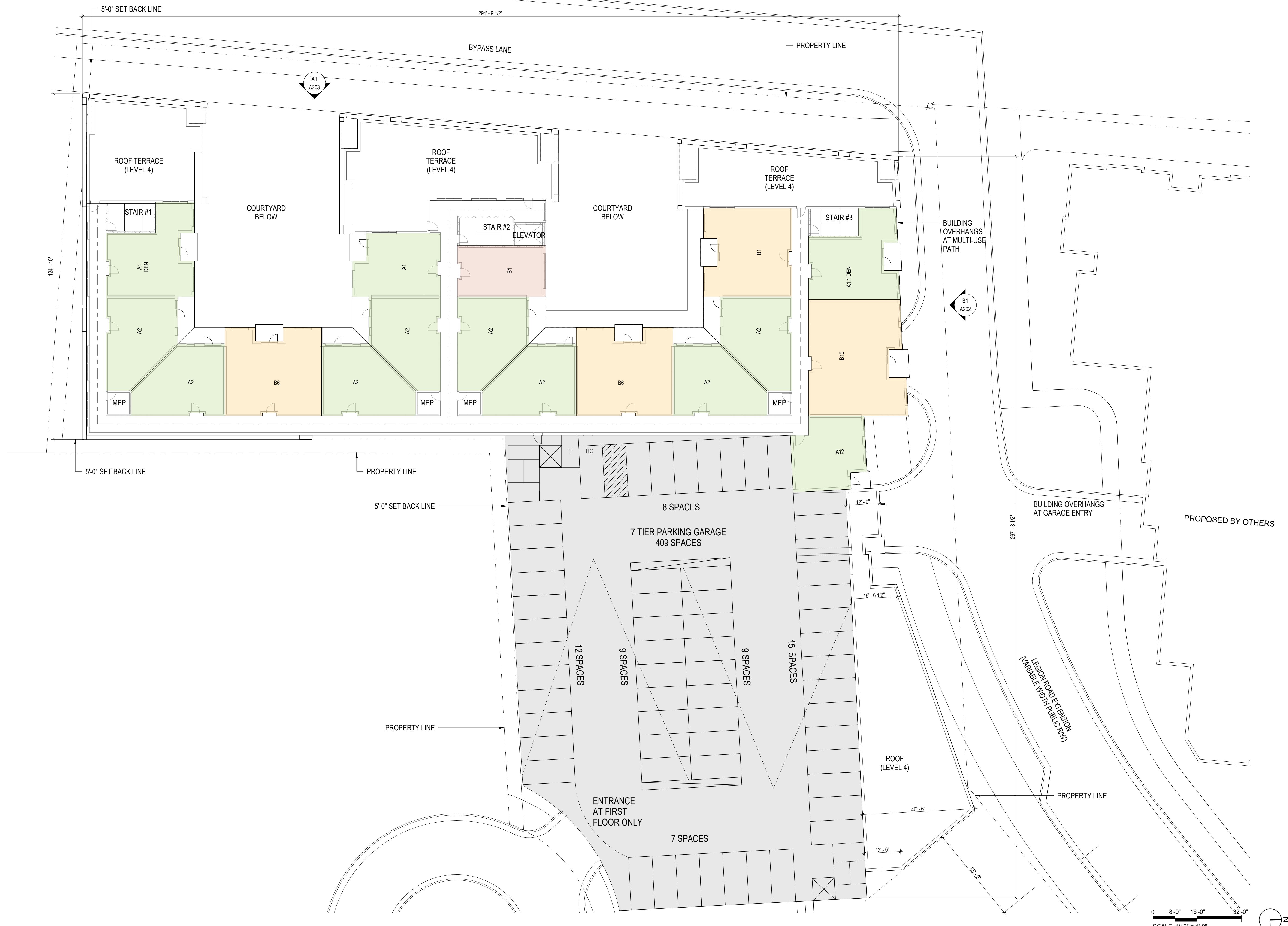
APPROVED BY _____
Checker _____

A110

APPROVED BY _____
Checker _____

A110

SHEET 21 OF 32



BUILDING B TYPICAL LEVEL 4, 5, AND 6 FLOOR PLANS
1/16" = 1'-0"

A1
NOT FOR CONSTRUCTION

A112
SHEET 23 OF 32

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Raleigh, NC 27607
T 919.929.1173

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Raleigh, NC 27601

Chapel Hill
B L U E H I L L
1289 FORDHAM BLVD
CHAPEL HILL, NC 27514
TRINIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701

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PROJECT TRINS21001
DATE 2021/08/24
DRAWING SCALE AS SHOWN
DRAWN BY Author
APPROVED BY Checker



BUILDING A EAST ELEVATION
1/16" = 1'-0" B1



BUILDING A NORTH ELEVATION
1/16" = 1'-0" A1

NOT FOR CONSTRUCTION

A201
SHEET 24 OF 32

C A U R A
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CHAPEL HILL, NC 27514
TRINIC RESIDENTIAL GROUP
321 E. CHAPEL HILL ST
DURHAM, NC 27701
BUILDING ELEVATIONS

PROJECT	TRINS21001
DATE	2021/08/24
DRAWING SCALE	AS SHOWN
DRAWN BY	MS/DA
APPROVED BY	DM/GDV

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BUILDING B ELEVATION NORTH
1/16" = 1'-0"

A1

NOT FOR CONSTRUCTION

A203
SHEET 26 OF 32

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B L U E H I L L

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AERIAL PERSPECTIVES
NOT TO SCALE

A1

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AR001

SHEET 28 OF 32

6/24/2021 10:16:04 AM

BIM 360 //Aura Blue Hill/Site Model.rvt

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PROJECT TRINS21001

DATE 2021/08/24

DRAWING SCALE AS SHOWN

DRAWN BY MS/DA

APPROVED BY GDV

BY

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RENDERED VIEWS

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