

CONTACT

SEAN GLEASON
Gleason@mcadamsco.com
PHONE: 919. 361. 5000

CLIENT

RAM REALTY
127 W. WORTHINGTON AVE, SUITE 290
CHARLOTTE, NORTH CAROLINA 28203



PROJECT DIRECTORY

UNIVERSITY PLACE MULTI-FAMILY

910 WILLOW DRIVE
CHAPEL HILL, NORTH CAROLINA, 27514

ZONING COMPLIANCE PERMIT

PROJECT NUMBER: 2021110354
DATE: JUNE 16, 2021

SITE DATA

PIN	9799125797
SITE AREA	1,718,403 SF / 39.45 AC.
GROSS LAND AREA	1,890,243 SF / 43.39 AC
ZONING	CC (COMMUNITY COMMERCIAL)
SUP	2021-06-28/R-6
WATERSHED PROTECTION	JORDAN LAKE
RIVER BASIN	CAPE FEAR
EXISTING USE	COMMERCIAL, RETAIL, SHOPPING CENTERS, RESTAURANTS
PROPOSED USE	MULTI-FAMILY RESIDENTIAL = 253 UNITS, 464,709 SF RETAIL = 9,774 SF
IMPERVIOUS	EXISTING 1,472,295 SF, 33.80 AC (77.89%) PROPOSED -643 SF REMOVED WITH PROJECT 1,471,652 SF, 33.78 AC (77.85%) REDUCTION BELOW 75% WILL BE PROVIDED WITH FUTURE PHASES. SEE IMPERVIOUS SUMMARY
VEHICULAR PARKING	EXISTING 249 SPACES (WITHIN FOOTPRINT OF BUILDING) MULTI-FAMILY 1 BR: 180 UNITS*1.25/UNIT= 180 SPACES 2 BR: 73 UNITS*1.25/UNIT = 91 SPACES RETAIL 9,774 SF*1/300 SF= 33 SPACES TOTAL = 304 SPACES MAXIMUM REQUIRED MULTI-FAMILY 1 BR: 180 UNITS*1.25/UNIT= 225 SPACES 2 BR: 73 UNITS*1.75/UNIT = 128 SPACES RETAIL 9,774 SF*1/200 SF=49 SPACES TOTAL = 402 SPACES PROPOSED 428 PARKING DECK, SEE SHARED PARKING SUMMARY
ACCESSIBLE PARKING	REQUIRED 9 SPACES (2 VAN) PROPOSED 14 SPACES (5 VAN)
BIKE PARKING	REQUIRED MULTI-FAMILY 253 UNITS*1/4 DU = 64 SPACES (10% SHORT, 90% LONG) RETAIL 9,774 SF*1/2,500 SF = 4 SPACES (80% SHORT, 20% LONG) TOTAL = 68 SPACES (9 SHORT, 59 LONG) PROPOSED 10 SHORT TERM, 60 LONG TERM (IN PARKING DECK)
BUILDING HEIGHT	MODIFIED POD A AND C 75 FEET (5 STORIES) MODIFIED POD D 34 FEET (3 STORIES) 90 FEET (7 STORIES) PROPOSED 63.58 FEET (5 STORIES) N/A 75.08 FEET (6 STORIES) N/A
SETBACKS	WILLOW DRIVE 0' - 20' BUILD-TO-ZONE FORDHAM BLVD 0 FOOT MIN. MAX WITH PARKING: 77 FEET MAX INTERIOR 0 FOOT SOLAR 0 FOOT
BUFFERS	EAST (FORDHAM BLVD) 0 FOOT (NO BUFFER) SOUTH (ESTES DR) 0 FOOT (NO BUFFER) WEST (WILLOW DR) 0 FOOT (NO BUFFER) NORTH (BINKLEY BAPTIST CHURCH) 10 FOOT TYPE B
FAR	MAXIMUM FAR = 0.429 MAXIMUM FLOOR AREA = 810,914 PROPOSED EXISTING FLOOR AREA = 419,300 SF PROPOSED FLOOR AREA = 262,476 SF TOTAL FLOOR AREA = 681,776 SF FAR = 0.361
DISTURBED AREA	4.50 AC
TREE CANOPY	SEE LANDSCAPE PLANS
OUTDOOR AMENITY	NO OUTDOOR PUBLIC AMENITY SPACE PROPOSED WITH THIS PROJECT. PRIVATE COURTYARDS ARE PROPOSED WITHIN THE BUILDING.

UNIVERSITY PLACE SHARED PARKING SUMMARY - MF PHASE 1

PLACES	EXISTING SPACES	PROPOSED SPACES	BUILDING SIZE/UNIT COUNT	REQUIRED RATES		REQUIRED RATE DESCRIPTION	REQUIRED SPACES	
				MIN	MAX		MIN	MAX
EXISTING MALL	1159 ⁽¹⁾		350000 SF	1/300	1/200	BUSINESS, GENERAL (RETAIL)	1,150.0	1725.3
EXISTING KANGAROO GAS STATION	6		1960 SF	1/375	1/250	OTHER CONVENIENCE BUSINESS	5.2	7.8
EXISTING HARRIS TEETER	214		64125 SF	1/300	1/200	BUSINESS, GENERAL (RETAIL)	177.9	266.9
EXISTING OLD BANK	21		3200 SF	1/250	1/150	BANK	12.8	21.3
EXISTING K&W CAFETERIA	45		11200 SF	1/150	1/75	BUSINESS, CONVENIENCE RESTAURANT	74.7	149.3
EXISTING SUNTRUST BANK	18		4500 SF	1/250	1/150	BANK	18.0	30.0
MF 1BR		424	180 UNITS	1	1 1/4	DWELLING, MULTIFAMILY	180.0	225.0
MF 2BR			73 UNITS	1 1/4	1 3/4	DWELLING, MULTIFAMILY	91.3	127.8
MF 3BR			0 UNITS	1 3/4	2 1/4	DWELLING, MULTIFAMILY	0.0	0.0
MF 4BR			0 UNITS	2	2 1/2	DWELLING, MULTIFAMILY	0.0	0.0
RETAIL			9763 SF	1/250	1/150	RETAIL	39.1	65.1
TOTAL							1749.0	2618.5

(1) INCLUDES REMOVAL OF 249 SPACES WITHIN FOOTPRINT OF PROPOSED BUILDING

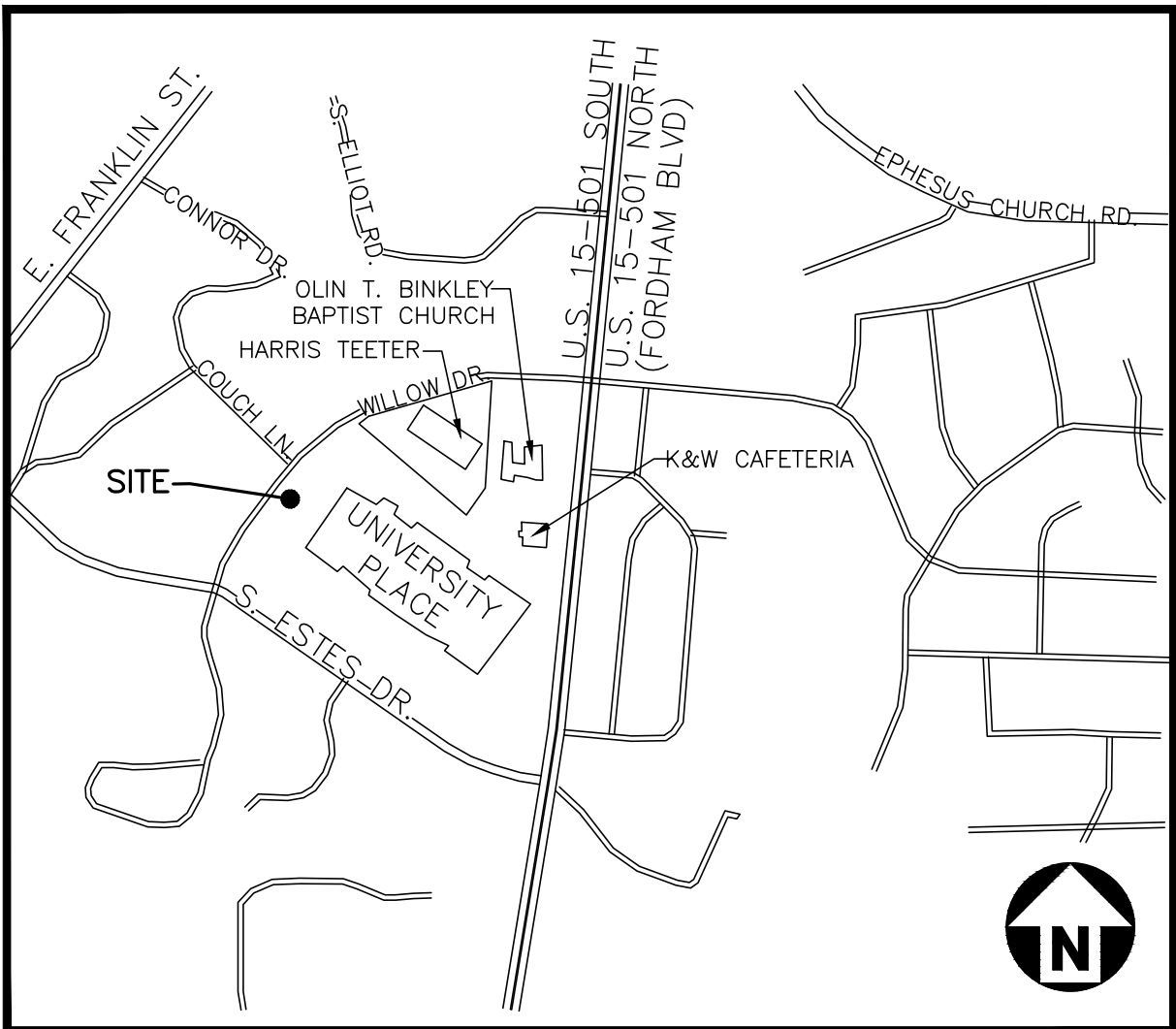
UNIVERSITY PLACE USE SUMMARY - MF PHASE 1

USE	MINIMUM	MAXIMUM	EXISTING	PROPOSED	TOTAL	REMAINING
RESIDENTIAL	0 DU	300 DU	0 DU	253 DU	253 DU	47 DU
COMMERCIAL	300,000 SF	450,000 SF	434,985 SF	9,763 SF	444,748 SF	5,252 SF
OFFICE	0 SF	150,000 SF	0 SF	0 SF	0 SF	150,000 SF
HOTEL	0 ROOMS	150 ROOMS	0 ROOMS	0 ROOMS	0 ROOMS	150 ROOMS

UNIVERSITY PLACE IMPERVIOUS TRACKING TABLE

DEVELOPMENT	EXISTING IMPERVIOUS (SFT)	DEMOLITION (SFT)	PROPOSED IMPERVIOUS (SFT)	FINAL IMPERVIOUS (SFT)	FINAL IMPERVIOUS (%)	SUP COMMITMENT TO REMOVE IMPERVIOUS (%)
EXISTING (2008)	1,472,295	0	0	1,472,295	77.9%	-2.9%
PREVIOUS PROJECTS ⁽¹⁾	1,472,295	-3,257	0	1,469,038	77.7%	-2.7%
PHASE 1 - MULTIFAMILY	1,469,038	-643	0	1,468,425	77.7%	-2.7%
CURRENT TOTAL	1,468,425					
FUTURE PHASES	1,468,425	-50,743	0	1,417,682	75.0%	0%

(1) PREVIOUS PROJECTS INCLUDES ALL PROJECTS DIRECTLY ADJACENT TO THE SHOPPING CENTER, I.E. SILVERSPOT, BARTACO, ETC. THIS ALSO INCLUDES REVISION TO LOADING AREA BEHIND HARRIS TEETER AND RIGHT IN RIGHT OUT FROM 15/501.



VICINITY MAP
N.T.S.



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

ZONING COMPLIANCE PERMIT FOR:

UNIVERSITY PLACE
MULTI-FAMILY
CHAPEL HILL, NORTH CAROLINA, 27514
PROJECT NUMBER: RAM-19000



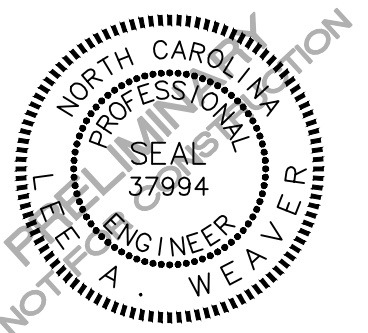
REVISIONS

NO. DATE



www.mcadamsco.com

RAM REALTY
127 W. WORTHINGTON AVE, SUITE 290
CHARLOTTE, NORTH CAROLINA 28203



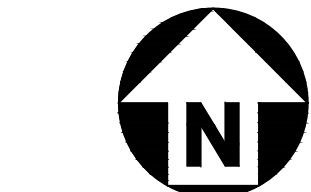
NO.	DATE	DESCRIPTION
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NO.	DATE	DESCRIPTION
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PROJECT NO.	2021110354
FILENAME	RAM19000-AM1
CHECKED BY	LAW
DRAWN BY	MRO
SCALE	1"=200'
DATE	07. 16. 2021

AREA MAP

CO.00



GRAPHIC SCALE

0 100 200 400

1 inch = 200 ft.

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\RAM-19000\04-Production\Engineering\Construction Drawings\Multi-Family\Current Drawings\RAM19000-AM1.dwg, 7/16/2021 10:02:15 AM, Mallory DiFelice

X:\Projects\RAM\RAM-19000\04-Production\Engineering\Construction Drawings\Family\Current Drawings\RAM19000-N1.dwg, 7/16/2021 10:02:23 AM, Mallory D'Eliece

GENERAL NOTES:

- CONTRACTOR TO NOTIFY SURROUNDING PROPERTIES 7 DAYS PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR TO PROVIDE NOTICE TO THE TOWN OF CHAPEL HILL REGARDING SPECIFIC DATES FOR ANY NECESSARY ROAD CLOSURES AND LANE REDUCTIONS.
- GENERAL CONTRACTOR TO COORDINATE WITH SPECIFIC PROPERTIES AFFECTED BY THE PROPOSED ROAD CLOSURES IF REQUIRED TO ENSURE CONTINUOUS ACCESS TO THE AFFECTED PROPERTIES.
- SETBACKS ARE PROPOSED UNDER THE PLANNED DEVELOPMENT HOUSING PROVISION OF THE LUMO AND ARE NOTED ON THIS SHEET.
- ALL PARKING SHOWN SPACE MARKINGS SHALL BE PER THE TOWN OF CHAPEL HILL CODE FOR PARKING LOTS.
- MINIMUM CORNER CLEARANCES FROM THE CURBLINE OF INTERSECTING STREETS SHALL BE AT LEAST 20' FROM THE POINT OF TANGENCY. NO DRIVEWAYS OR PARKING SPACES SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE.
- WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN, NO OBSTRUCTION BETWEEN 2' AND 8' IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF CHAPEL HILL, NCDOT AND OWASA STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE TOWN OF CHAPEL HILL ENGINEERING DEPARTMENT, ORANGE COUNTY SOIL AND EROSION DEPARTMENT, ENGINEER, AND OWNER/REPRESENTATIVE.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL STREET NAME SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD INCLUDING MIXED CASE LETTERING, PROPER LETTER HEIGHTS, AND RETROREFLECTIVITY.
- ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET AT 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOINT FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE REPAVED/RESURFACED.
- SEPARATE BUILDING PERMITS ARE REQUIRED FOR RETAINING WALLS, DUMPSTER ENCLOSURES, MONUMENTS, SIGNS, OR OTHER ACCESSORY STRUCTURES OR ELEMENTS.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY, AGENCY, OR COMPANY.
- EXISTING CONTOURS ARE BASED ON SURVEY COMPLETED BY TIMMONS. EXISTING UTILITIES SHOWN ARE BASED ON SURVEY AND THE BEST AVAILABLE RECORDS. THE CONTRACTOR, HOWEVER, SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE. THIS INCLUDES WORK WITHIN PUBLIC RIGHT-OF-WAY.
- A SINGLE ELECTRICAL SERVICE SHALL BE PROVIDED TO SERVE EACH STRUCTURE WITH THE EXCEPTION OF THE FIRE PUMP.
- MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE THE BASE FLOOD ELEVATION PLUS 2 FEET.
- A ZONE FOR FIRE DEPARTMENT LADDERS AND FIREFIGHTING OPERATIONS MUST BE PROVIDED, REQUIRING ALL LINES TO BE BURIED SURROUNDING STRUCTURES.
- BACK WASH WATER FROM THE POOL SHALL DISCHARGE INTO SANITARY SEWER AND NOT STORM SEWER.
- CONTRACTOR TO CONTACT THE CHAPEL HILL STORMWATER MANAGEMENT DIVISION AT 919-969-7246 TO SCHEDULE SITE INSPECTION AT LEAST TEN (10) DAYS IN ADVANCE OF REQUESTING THE CERTIFICATE OF OCCUPANCY.

PAVEMENT MARKING/SIGNAGE NOTES:

- ALL SIGNAGE SHALL BE COORDINATED WITH THE TOWN OF CHAPEL HILL.
- ALL SIGNAGE SHALL MEET MUTCD STANDARDS AND SPECIFICATIONS.
- ALL SIGNAGE SHALL MEET NCDOT PEDESTRIAN SAFETY SPECIFICATIONS.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) AND/OR TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- ALL SIGNS SHALL BE PRISMATIC AND ADHERE TO THE MINIMAL RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST VERSION OF THE MUTCD.
- ALL PAVEMENT MARKINGS ON PUBLIC STREETS SHALL BE THERMOPLASTIC AND ARE TO BE PLACED PER NCDOT STANDARDS (REFERENCE 2012 NCDOT DETAILS (1205.01~1205.12)
- SIGN DESIGNS FOR STREET NAME SIGNS SHALL BE APPROVED BY TRANSPORTATION/ENGINEERING DEPARTMENT STAFF TO ENSURE COMPLIANCE WITH MUTCD SPECIFICATIONS. DESIGNS MUST BE APPROVED BY TOWN STAFF PRIOR TO ACCEPTANCE OF STREETS OR ISSUANCE OF 1ST CO.
- ALL STREET NAME SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD INCLUDING MIXED CASE LETTERING, PROPOPER LETTER HEIGHTS, AND RETROREFLECTIVITY.

FIRE DEPARTMENT NOTES:

- SITE SHALL COMPLY WITH THE LATEST NATIONAL BUILDING AND FIRE CODES.
- FUNCTIONAL FIRE PROTECTION SHALL BE PROVIDED PRIOR TO THE ARRIVAL OF COMBUSTIBLE MATERIALS ON THE SITE.
- FIRE ACCESS ROUTE SHALL HAVE A MINIMUM RADIUS OF 28' (FACE OF CURB) TO ALLOW FIRE APPARATUS ACCESS THROUGH SITE (IFC 503.2.4).
- ANY GATES ACROSS FIRE APPARATUS ACCESS ROADS SHALL BE A MINIMUM WIDTH OF 20', BE OF SWINGING OR SLIDING TYPE AND HAVE AN EMERGENCY MEANS OF OPERATION. ALL GATES IN FIRE TRUCK APPARATUS ACCESS ROUTES SHALL BE OPERABLE BY EITHER FORCIBLE ENTRY OR KEYS AND MUST BE CAPABLE OF BEING OPERATED BY ONE PERSON. ALL GATES IN FIRE TRUCK APPARATUS ACCESS ROUTES SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL375 AND ASTM F2200.
- ALL PORTIONS OF THE FIRST FLOOR OF THE BUILDING MUST BE WITHIN 150' OF THE FIRE ACCESS ROUTE (IFC 503.1.1)
- ADDRESS NUMBERS SHALL BE A MINIMUM OF 6 INCHES HIGH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. REFLECTIVE NUMBERS ARE PREFERRED AND REQUIRED ON FRONT AND REAR DOORS OF STRIP SHOPPING CENTERS. WHEN THE DISTANCE FROM THE STREET OR FIRE DEPARTMENT ACCESS LANE TO THE FRONT OR ADDRESS SIDE OF THE BUILDING EXCEEDS 25 FEET, LARGER NUMBERS ARE REQUIRED. 26 FEET TO 50 FEET SHALL HAVE 8 INCH NUMBERS, 51 FEET TO 75 FEET SHALL HAVE 12 INCH NUMBERS, AND OVER 75 FEET SHALL HAVE 18 INCH NUMBERS. WHERE ACCESS IS BY PRIVATE MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
- ALL FIRE TRUCK ACCESSIBLE ROUTES SHALL BE RATED FOR 80,000 LB AND HAVE A MINIMUM CLEAR WIDTH OF 26' (IFC 503.2.1).
- FIRE RISER ROOM SHALL BE EQUIPPED WITH AN EXTERNAL LOCK BOX.
- RISER ROOM SHALL HAVE ADEQUATE DRAINAGE FOR EMERGENCY RPZ DISCHARGE.
- PRIVATE FIRE SERVICE MAINS AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 24, NC FPC 507.2.1.
- ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
- OPEN BURNING OF TREES, LIMBS, STUMPS, AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS DEVELOPMENT IS PROHIBITED.
- DURING CONSTRUCTION, VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANCE AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.
- THE OWNER/DEVELOPER SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NCFPC AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.

DEMOLITION NOTES

- THE INFORMATION SHOWN WITHIN THE OVERALL PROJECT BOUNDARY WAS TAKEN FROM DESIGN DRAWINGS AND FIELD SURVEY WHEREVER POSSIBLE. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR WILL CONTACT APPROPRIATE UTILITY OWNERS TO COORDINATE REMOVAL/RELOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CONTACT NC 811 OR (811 OR 1-800-632-4949). THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES.
- THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIM, HIS EMPLOYEES OR HIS WORK. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- ANY STRUCTURE THAT IS 500 SF OR LARGER THAT IS TO BE REMOVED OR DEMOLISHED MUST FIRST BE ASSESSED FOR DECONSTRUCTION POSSIBILITIES. CONTACT SOLID WASTE MANAGEMENT STAFF AT 919-968-2788 EXT 107 OR 109 TO ARRANGE FOR ASSESSMENT.
- DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, INCLUDING POSTING A WRITTEN ADDRESS IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404.

LANDSCAPE PROTECTION NOTES:

- PLAN SHOWS RARE AND SPECIMEN TREES IN ACCORDANCE WITH THE ORDINANCE THAT WAS IN EFFECT AT THE TIME OF APPROVAL.
- LANDSCAPING ON EAST SIDE OF SITE ALONG THE ALTERNATIVE BUFFER SHALL BE COORDINATED TO PRESERVE EXISTING TREES AS MUCH AS POSSIBLE. PROPOSED PLANTINGS IN BUFFER MAY ENCR OACH BEYOND "TREE PROTECTION" FENCE. CONFLICTS BETWEEN PROPOSED PLANTINGS AND EXISTING TREES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR REMEDIATION.
- ALL IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH AUTOMATIC CONTROLLERS THAT ACTIVATE THE SYSTEM ACCORDING TO A DESIRED FREQUENCY AND DURATION, AND SHALL ALSO BE EQUIPPED WITH RAIN OR SOIL MOISTURE SENSORS THAT WILL PREVENT IRRIGATION DURING PERIODS OF RAINFALL OR WHEN THERE IS SUFFICIENT MOISTURE IN THE GROUND FOR PLANT HEALTH AND SURVIVAL IN ACCORDANCE WITH THE LOCAL GOVERNMENT WATER CONSERVATION ORDINANCES.

GRADING & STORM DRAINAGE NOTES:

- CONTRACTOR SHALL NOTIFY NC 811 (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NC 811. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE ORANGE COUNTY SOIL AND EROSION CONTROL OFFICER, TOWN OF CHAPEL HILL STORM WATER MANAGEMENT DIVISION, AND OWNER'S REP/ENGINEER.
- CONTRACTOR TO CONTACT MICHAEL WRIGHT WITH THE TOWN OF CHAPEL HILL AT 919-969-5084 TO POST EROSION CONTROL BOND PRIOR TO ANY LAND DISTURBANCE.
- GRADING AND CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 88 (NAVD88).
- SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND SHOULD MEET OR EXCEED TOWN OF CHAPEL HILL STANDARDS.
- GRADING IN AREAS DESIGNATED AS "ACCESSIBLE" SHALL COMPLY WITH ALL FEDERAL AND LOCAL ACCESSIBILITY RULES AND GUIDELINES. EVEN THOUGH PLANS MAY NOT SHOW ALL SPOT ELEVATIONS IN THESE REGIONS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE AREAS ARE GRADED TO AMERICAN DISABILITY ACT (ADA) COMPLIANT SPECIFICATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY AREAS WHERE SPILL CURB IS NECESSARY TO CONVEY RUNOFF TO THE NEAREST CATCH BASIN OR DROP INLET. THE OWNER AND/OR ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR CURBING INSTALLED PRIOR TO PAVING THAT DOES NOT DRAIN PROPERLY.
- ALL PROPOSED INLETS, CATCH BASINS, AND DROP INLETS SHALL BE PROTECTED BY EROSION CONTROL MEASURES AS SHOWN AND SPECIFIED ON THE EROSION CONTROL PLAN.
- THE CURB INLETS AND YARD INLETS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES IN THE CATCH BASIN ELEVATIONS OR THE PROPOSED PIPE SLOPES TO THE ENGINEER. THE CONTRACTOR IS ALSO RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN ANY UTILITY, STORM DRAIN LINE, WATER LINE, SEWER LINE OR ANY OTHER PROPOSED OR EXISTING STRUCTURE TO THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS. THE CONTRACTOR SHALL FIELD VERIFY GRADES SURROUNDING ALL BUILDINGS PRIOR TO GRADING ACTIVITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- PIPE SPECIFIED AS RCP MAY BE SUBSTITUTED IF APPROVED BY THE TOWN OF CHAPEL HILL WITH APPROVED MATERIALS PER THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS OUTSIDE OF PUBLIC RIGHT OF WAY AND EASEMENTS. ALL BEDDING FOR ALTERNATE MATERIALS SHALL CONFORM TO NCDOT, ASHTO AND ASTM SPECIFICATIONS.
- THE MINIMUM PIPE SIZE WITHIN A PUBLIC RIGHT-OF-WAY IS 15".
- FOR ALL PIPE OUTLETS 60" AND GREATER (SINGLE) AND 36" (MULTIPLE) HEADWALLS/ENDWALLS SHALL BE USED AND A 4" HIGH BLACK POLY COATED CHAIN LINK FENCE PLACED OVER THE WALL.
- FOR NPDES PERMIT COMPLIANCE: ALL SLOPES 3:1 AND STEEPER MUST BE STABILIZED WITHIN 7 DAYS, ALL OTHER AREAS MUST BE STABILIZED WITHIN 14 DAYS.
- ALL STORM PIPE SPECIFIED AS REINFORCED CONCRETE (RCP) SHALL BE MINIMUM CLASS III PIPE.
- ALL STORM PIPE SHALL BE LAID AT LEAST 10" HORIZONTALLY OR 18" VERTICALLY FROM ANY WATER MAIN AND 24" VERTICALLY FROM ANY SEWER MAIN. REFER TO NCAC 02T RULES FOR EXEMPTIONS.
- GEOTEXTILE FABRIC OR APPROVED EQUIVALENT ARE REQUIRED AT ALL DISSIPATOR PADS.

RETAINING WALL NOTES

- THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENCR OACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROCESSED FILL, UNLESS THE CONTRACTOR CAN PROVIDE TO THE OWNER WITH CONFIRMATION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER, THAT READILY AVAILABLE ON-SITE SOILS CAN BE USED.
- THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
- ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
- ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT AGREEMENT. ENCROACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
- STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.

ORANGE WATER AND SEWER AUTHORITY UTILITY NOTES:

- STANDARDS AND SPECIFICATIONS - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH OWASA STANDARDS AND SPECIFICATIONS LATEST REVISED EDITION.
- PRECONSTRUCTION CONFERENCE - A PRECONSTRUCTION CONFERENCE WITH THE OWASA CONSTRUCTION INSPECTOR IS REQUIRED BEFORE BEGINNING ANY UTILITY CONSTRUCTION.
- PROJECT ACCEPTANCE - IN ADDITION TO A FINAL INSPECTION APPROVED BY THE OWASA CONSTRUCTION INSPECTOR, THE FOLLOWING DOCUMENTS MUST BE RECEIVED AND APPROVED BY OWASA BEFORE ACCEPTANCE OF THE PROJECT AND THE SETTING OF METERS:
 - ENGINEER'S CERTIFICATION OF PUBLIC SEWER - ORIGINAL DOCUMENT
 - ENGINEER'S CERTIFICATION OF PUBLIC WATER - ORIGINAL DOCUMENT
 - ASSET LETTER - ORIGINAL DOCUMENT
 - LETTER OF DEDICATION - ORIGINAL DOCUMENT
 - AS BUILT DRAWINGS (INCLUDING 1"=100' SCALE SITE PLAN) AS BUILTS OF SEWER CONSTRUCTION SUBJECT TO REVIEW AND APPROVAL BY NCDENR DIVISION OF WATER QUALITY.
 - MANHOLE DATA SHEETS
 - RECORDED PLAT
 - ORIGINAL RECORDED WATER AND SEWER DEEDS OF EASEMENT - PREPARED USING OWASA'S STANDARD FORM.
- SEWER STATEMENT - SEWER LINES UNDER CONSTRUCTION SHALL BE PLUGGED WITH A MECHANICAL PLUG AT THE FIRST MANHOLE UPSTREAM FROM THE POINT OF CONNECTION. PLUG SHALL BE PLACED IN THE OUTLET CONNECTION AND SECURED WITH STEEL CABLE. PLUG SHALL REMAIN IN PLACE UNTIL ACCEPTANCE OF LINES BY OWASA. WATER, STONE, DIRT, OR ANY OTHER DEBRIS SHALL NOT BE ALLOWED TO ENTER THE OWASA SANITARY SEWER SYSTEM DURING FLUSHING OPERATIONS OR AT ANY OTHER TIME. CONSTRUCTION TAKING PLACE IN THE VICINITY OF ANY EXISTING OWASA SEWER LINES OR MANHOLES SHALL NOT CAUSE ANY INFLOW OF SURFACE WATER OR DEBRIS TO ENTER THE REMAIN ACCESSIBLE AT ALL TIMES. THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED TO THE OWASA SANITARY SEWER SYSTEM AND FINES IMPOSED BY THE STATE OF NORTH CAROLINA DIVISION OF WATER QUALITY DUE TO SEWER SPILLS OR OVERFLOWS.
- SEWER SERVICES - SEWER SERVICES LOCATED WITHIN PUBLIC RIGHT-OF-WAY OR OWASA SEWER EASEMENTS MUST BE CONSTRUCTED OF DUCTILE IRON PIPE FROM THE TAP UP TO AND INCLUDING THE FIRST CLEAN-OUT. EXCEPT FOR DEAD END MANHOLES, ALL 4" INCH SEWER SERVICES MUST BE TAPPED INTO THE SEWER MAIN. ALL 6" SERVICES MUST BE CONNECTED TO A MANHOLE. CLEANOUTS SHALL BE SPACED NO MORE THAN 75 FEET APART. CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
- BLOCKING AND RODDING - RETAINER GLANDS TO BE USED ON ALL MECHANICAL JOINTS IN ADDITION TO RODDING AND BLOCKING.
- EXISTING VALVES - CONTRACTOR RESPONSIBLE FOR VERIFYING THAT EXISTING VALVE AT THE POINT OF CONNECTION TO THE OWASA SYSTEM IS ADEQUATE FOR PERFORMING AND PASSING HYDROSTATIC PRESSURE AND LEAKAGE TEST. CONTRACTOR, AT HIS EXPENSE, MAY OPTIONALLY REPLACE VALVE OR INSTALL A NEW VALVE FOR THE PURPOSE OF PERFORMING A PRESSURE TEST FOR NEW MAIN INSTALLATION. IF CONTRACTOR ELECTS TO PRESSURE TEST AGAINST EXISTING VALVE, CONTRACTOR ACCEPTS RESPONSIBILITY FOR ENSURING PASSING PRESSURE TEST IN ACCORDANCE WITH OWASA REQUIREMENTS. ANY INTERSECTION WITH ANY EXISTING VALVE MADE AGAINST OWASA FOR FAILURE OF PRESSURE TEST. EXISTING WATER VALVES SHALL BE OPERATED BY OWASA PERSONNEL ONLY. VALVES THAT SEPARATE PURITY APPROVED WATER AND UNAPPROVED WATER ARE TO REMAIN CLOSED AT ALL TIMES. VALVES MAY BE TEMPORARILY OPENED FOR LOADING AND FLUSHING BY THE OWASA INSPECTOR ONLY.
- DECHLORINATION REQUIREMENTS - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NEUTRALIZATION OF CHLORINATED WATER AT THE POINT OF DISCHARGE FROM THE MAIN BEING TESTED. THIS SHALL OCCUR FOLLOWING CHLORINATED TO DISINFECT A MAIN OR ANY OTHER TIME WHEN ELEVATED LEVELS OF CHLORINE COULD POTENTIALLY BE DISCHARGED INTO THE ENVIRONMENT BY THE CONTRACTOR. AT THE TIME THE DISINFECTION AND PURITY TESTING PROCEDURES ARE DISCUSSED WITH THE OWASA CONSTRUCTION INSPECTOR, THE PROCEDURE FOR DECHLORINATION WILL BE COVERED. ABSOLUTELY NO FLUSHING, DISINFECTION, OR PURITY SAMPLING IS TO TAKE PLACE WITHOUT PRIOR APPROVAL OF A SAMPLING PLAN BY THE OWASA INSPECTOR.
- DEWATERING OF THE POOL SHALL NOT DISCHARGE INTO STORM SYSTEM UNLESS DE-CHLORINATED PRIOR TO DEWATERING.
- PLEASE BE ADVISED THAT OWASA APPROVAL OF THIS PROJECT IS FOR COMPLIANCE WITH OWASA POLICIES, STANDARDS, AND SPECIFICATIONS ONLY. ALL OTHER MATTERS PERTAINING TO THIS PROJECT ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. OWASA APPROVAL DOES NOT PRECLUDE THE DEVELOPER, PROJECT ENGINEER, CONTRACTOR, OR OTHER AGENTS OR PARTIES ACTING ON THEIR BEHALF FROM FULL COMPLIANCE WITH OWASA CURRENT STANDARDS, SPECIFICATIONS, AND PROCEDURES OR FROM COMPLYING WITH ANY AND ALL STATUTES, RULES, REGULATIONS, AND ORDINANCES WHICH MAY BE IMPOSED BY OTHER GOVERNMENT AGENCIES (LOCAL, STATE, AND FEDERAL) WHICH MAY HAVE JURISDICTION. VIOLATIONS WILL RESULT IN THE OWASA PROJECT APPROVAL BEING RESCINDED.
- CONTACT NC 811 (811 OR 1-800-632-4949) AND OWASA (919-968-4421) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION TO HAVE EXISTING UTILITIES LOCATED.
- DISCHARGE FROM THIS PROJECT MUST BE IN COMPLIANCE WITH THE OWASA SEWER USE ORDINANCE. A GREASE INTERCEPTOR SHALL BE PROVIDED WHEN IN THE OPINION OF OWASA IT IS NECESSARY FOR THE PROPER HANDLING OF WASTEWATER CONTAINING EXCESSIVE AMOUNTS OF GREASE. ALL INTERCEPTION UNITS MUST BE OF THE TYPE AND CAPACITY WHICH IS CERTIFIED BY THE PROJECT ENGINEER AS MEETING THE REQUIREMENTS OF OWASA.
- BACKFLOW PREVENTION WILL BE REQUIRED IN ACCORDANCE WITH OWASA CROSS-CONNECTION CONTROL ORDINANCE AND MANUAL.
- DOMESTIC SERVICE TO INCLUDE REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY.
- FIRE SERVICE TO INCLUDE RPDA BACKFLOW DEVICE.
- FIRE PROTECTION SYSTEMS - PRESSURE TESTING, CHLORINATION, AND PURITY TESTING SHALL BE COMPLETED BEFORE THE INSTALLATION OF THE RPDA UNIT.
- REMOTE READ-OUT DEVICES - RPDA AND RPZ DEVICES LOCATED INSIDE BUILDINGS MUST BE EQUIPPED WITH AN AMR METER TO BE PURCHASED FROM OWASA, AND INSTALLED BY THE CONTRACTOR. CONTACT THE OWASA CONSTRUCTION INSPECTOR FOR DETAILS OF THIS INSTALLATION.
- FOR FIRE SERVICE BACKFLOW DEVICES, USE A DOUBLE CHECK DETECTOR, REDUCED PRESSURE ZONE ASSEMBLY MEETING THE STANDARDS OF THE OWASA CROSS CONNECTION CONTROL ORDINANCE AND MANUAL. INSTALL THE DEVICE IN AN INTERNAL RISER ROOM WITH EXTERNAL ACCESS. CLEARANCES SHALL COMPLY WITH THE OWASA CROSS CONNECTION CONTROL ORDINANCES AND MANUAL. ACCESS TO RISER ROOM FROM OUTSIDE SHALL INCLUDE PROVISIONS FOR THE FIRE DEPARTMENT SUCH AS A KNOX BOX.
- ALL BUILDINGS WITH FIRE SUPPRESSION LINES MUST HAVE BACKFLOW DEVICES LOCATED INSIDE THE BUILDING IN AN ABOVE GROUND LOCATION ADJACENT TO THE OUTSIDE WALL WHERE THE WATERLINE ENTERS THE BUILDING.
- FOR IRRIGATION SERVICE BACKFLOW DEVICE, USE A REDUCED PRESSURE ZONE ASSEMBLY MEETING THE STANDARDS OF THE OWASA CROSS CONNECTION CONTROL ORDINANCE AND MANUAL. INSTALL THE IRRIGATION DEVICE INSIDE AN ABOVE GROUND HOT BOX.
- UNDERGROUND VAULTS FOR METERS SHALL BE DRAINED BY PVC SCHEDULE 40 DRAINS TO DAYLIGHT INTO SLOPES. CONNECTION TO STORM STRUCTURES IS ONLY ALLOWED WITH THE CONSENT OF OWASA. DRAIN SIZES SHALL BE 2" DIAMETER FOR METERS OR DEVICES LESS THAN 2" AND SHALL BE 4" DIAMETER FOR DEVICES OVER 2".
- CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH OWASA STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND PROPER GEOTECHNICAL INFORMATION FOR SOIL LOADING.
- IF HYDRAULIC ELEVATORS ARE USED THE SUMP MUST BE PLUMBED TO SANITARY SEWER LINES.



McAdams

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000

fax 919. 361. 2269

license number: C-0293

www.mcadamsco.com

CLIENT

RAM REALTY
127 W. WORTHINGTON AVE, SUITE 290
CHARLOTTE, NORTH CAROLINA 28203



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ZONING COMPLIANCE PERMIT
CHAPEL HILL, NC 27514



REVISIONS

NO.	DATE	DESCRIPTION
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PLAN INFORMATION

PROJECT NO.	2021110354
FILENAME	RAM19000-N1
CHECKED BY	LAW
DRAWN BY	MRO
SCALE	N/A
DATE	07.16.2021

SHEET

PROJECT NOTES

C0.01



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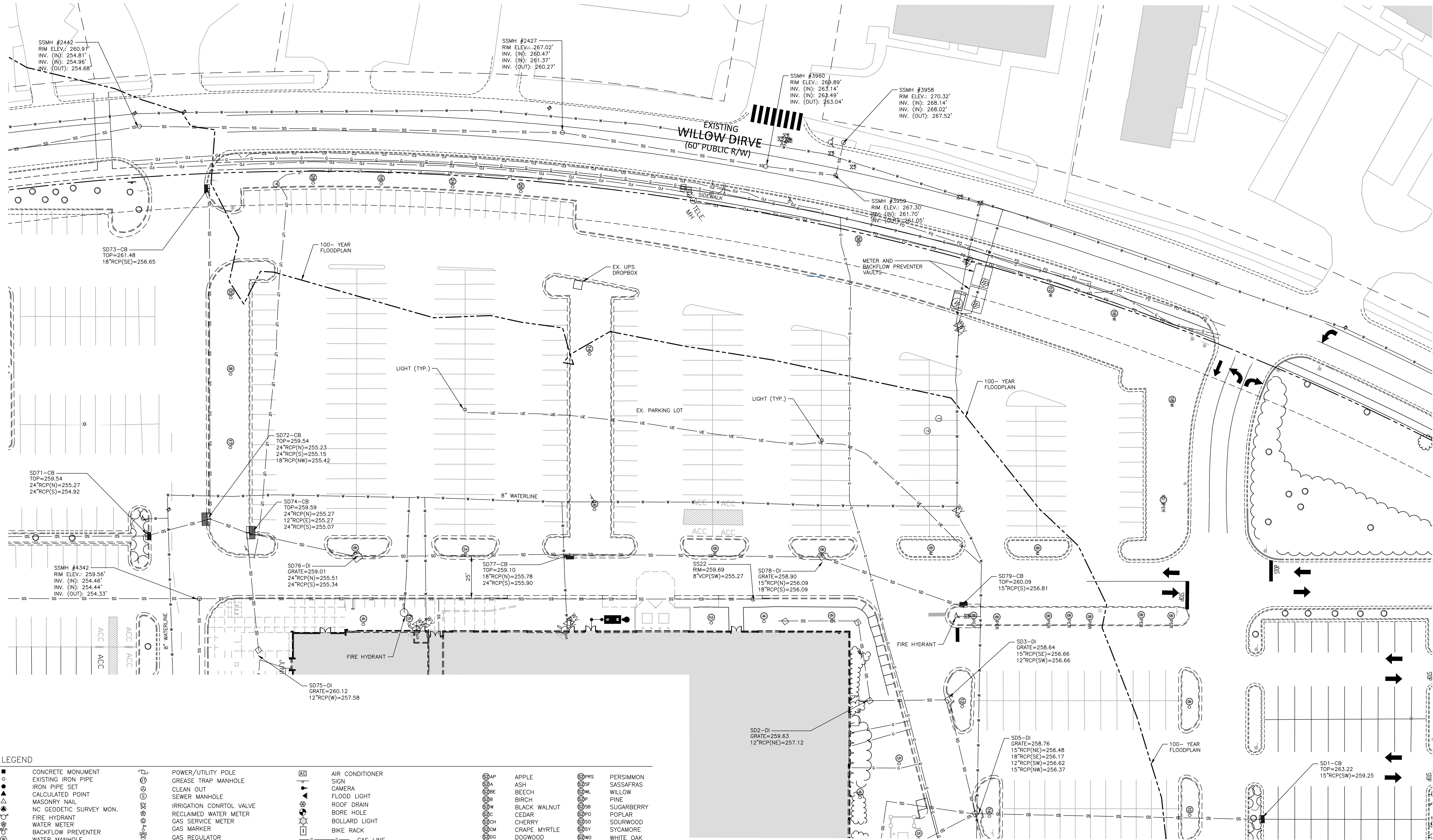
PLAN INFORMATION

PROJECT NO.	2021110354
FILENAME	RAM19000-XC1
CHECKED BY	LAW
DRAWN BY	MRO
SCALE	1"=30'
DATE	07.16.2021

SHEET

EXISTING CONDITIONS

C1.01



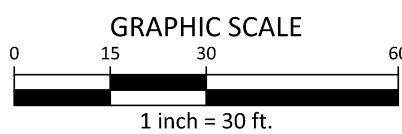
LEGEND					
CONCRETE MONUMENT	POWER/UTILITY POLE	AIR CONDITIONER	AP	APPLE	PERSIMMON
EXISTING IRON PIPE	GREASE TRAP MANHOLE	SIGN	BE	ASH	SASSAFRAS
IRON PIPE SET	CLEAN OUT	CAMERA	BF	BEECH	WILLOW
CALCULATED POINT	SEWER MANHOLE	FLOOD LIGHT	BR	BIRCH	PINE
MASONRY NAIL	IRRIGATION CONTROL VALVE	ROOF DRAIN	BL	BLACK WALNUT	SUGARBERRY
NC GEODETIC SURVEY MON.	RECLAIMED WATER METER	BORE HOLE	BP	CEDAR	POPLAR
FIRE HYDRANT	GAS SERVICE METER	BOLLARD LIGHT	BR	CHERRY	SOURWOOD
WATER METER	GAS MARKER	BIKE RACK	CH	GRAPE MYRTLE	SYCAMORE
BACKFLOW PREVENTER	GAS REGULATOR		DO	DOGWOOD	WHITE OAK
WATER MANHOLE	GAS TEST STATION		RO	RED OAK	SPRUCE
WATER VALVE	GAS VALVE		RO	ELM	
BLOW OFF VALVE	CABLE TV BOX		RO	SWEET GUM	
HOSEBIB	CATV HANDHOLE		RO	HICKORY	
FIRE DEPT. CONNECTION	TELEPHONE HANDHOLE		RO	HOLLY	
DRAINAGE INLET/YARD INLET	TELEPHONE BOX		RO	HARDWOOD	
CL CATCH BASIN AT BC	TELEPHONE MANHOLE		RO	JAPANESE MAPLE	
STORM DRAIN MANHOLE	TELEPHONE PEDESTAL		RO	MAGNOLIA	
FES	FIBER OPTIC MARKER		RO	MAPLE	
ELECTRIC MANHOLE	FIBER OPTIC HANDHOLE		RO	MIMOSA	
ELECTRIC METER	UNKNOWN MANHOLE		RO	OAK	
ELECTRIC TRANSFORMER	UNKNOWN UTILITY PEDESTAL		RO	ORNAMENTAL	
ELECTRIC PEDESTAL	BURIED CABLE WARNING POST		RO	PECAN	
ELECTRIC HANDHOLE	TRAFFIC SIGNAL BOX		RO	REDBUD	
ELECTRIC BOX	TRAFFIC HANDHOLE		RO	PEAR	
GUY WIRE	BOLLARD		RO	PEACH	
LIGHT POLE			RO		

GENERAL NOTES

- THIS IS AN EXISTING CONDITIONS SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON DB 1842, PG. 187.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: CHAPEL HILL
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS PARTIALLY LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONES "AE" AND "X" AS DEFINED BY F.E.M.A.F.I.R.M COMMUNITY PANEL 837109799000 DATED 10/19/2018.
- REFERENCES: AS SHOWN
- UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.

SEE SHEET C0.00 FOR ALL PROJECT, SITE,
GRADING, STORM DRAINAGE AND
UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE CURRENT TOWN
OF CHAPEL HILL ENGINEERING DESIGN
AND CONSTRUCTION STANDARDS





McADAMS

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REVISIONS

NO.	DATE	DESCRIPTION
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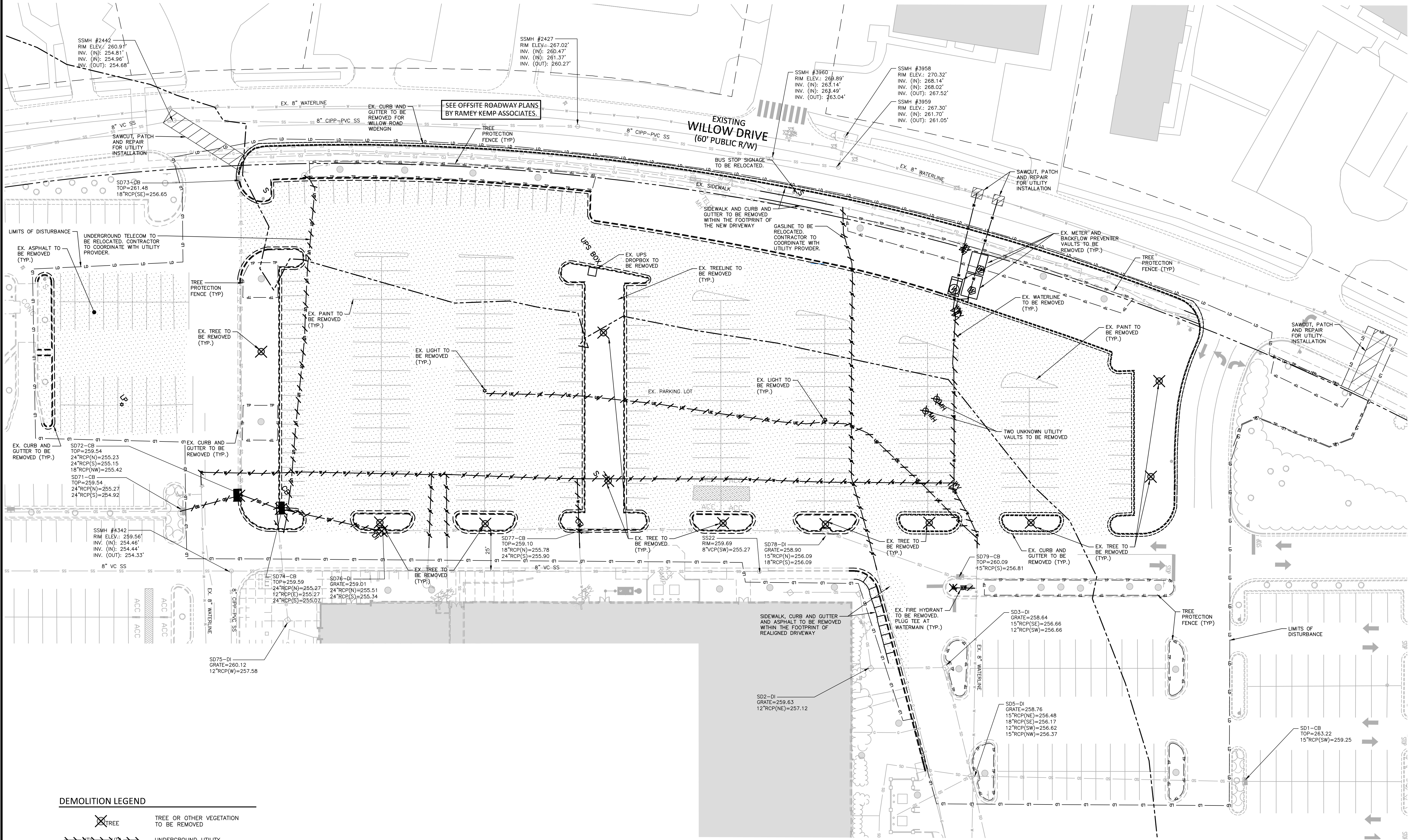
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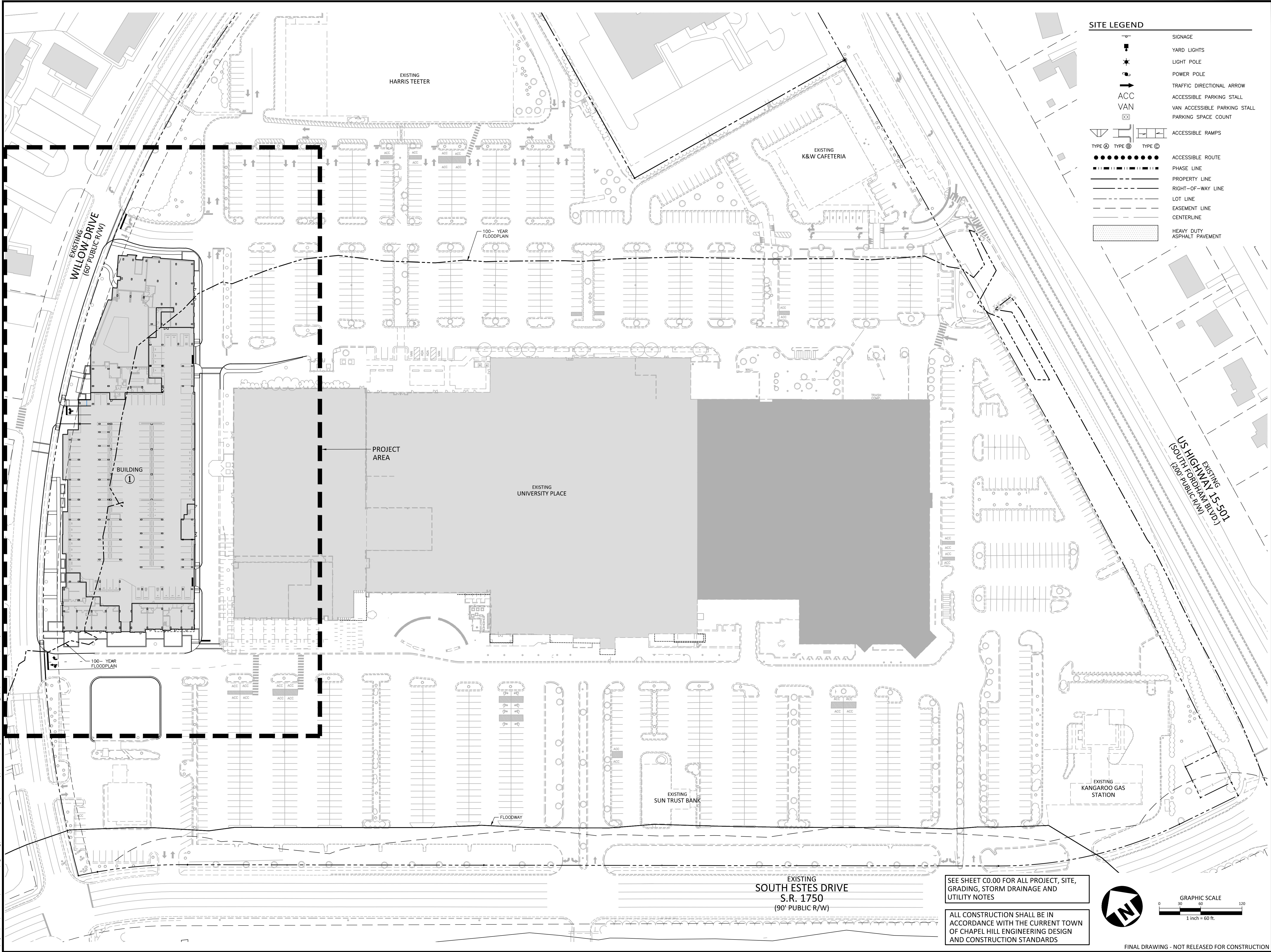
PROJECT NO. 2021110354
FILENAME RAM19000-OAS1
CHECKED BY LAW
DRAWN BY MRO
SCALE 1"=30'
DATE 07.16.2021

SHEET

DEMOLITION PLAN

C1.02





SITE LEGEND	
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT



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NO.	DATE	DESCRIPTION

PLAN INFORMATION	
PROJECT NO.	2021110354
FILENAME	RAM19000-OAS1
CHECKED BY	LAW
DRAWN BY	MRO
SCALE	1"=60'
DATE	07.16.2021

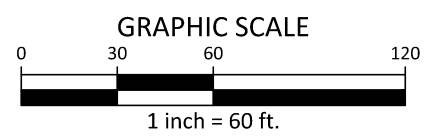
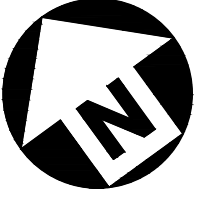
SHEET

OVERALL SITE PLAN

C2.00

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\RAM\RAM-19000\04-Production\Engineering\Construction Drawings\Multi-Family\Current Drawings\RAM19000-OAS1.dwg, 7/16/2021 10:03:11 AM, Malloy D'Elise

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CHARLOTTE, NORTH CAROLINA 28203



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REVISIONS

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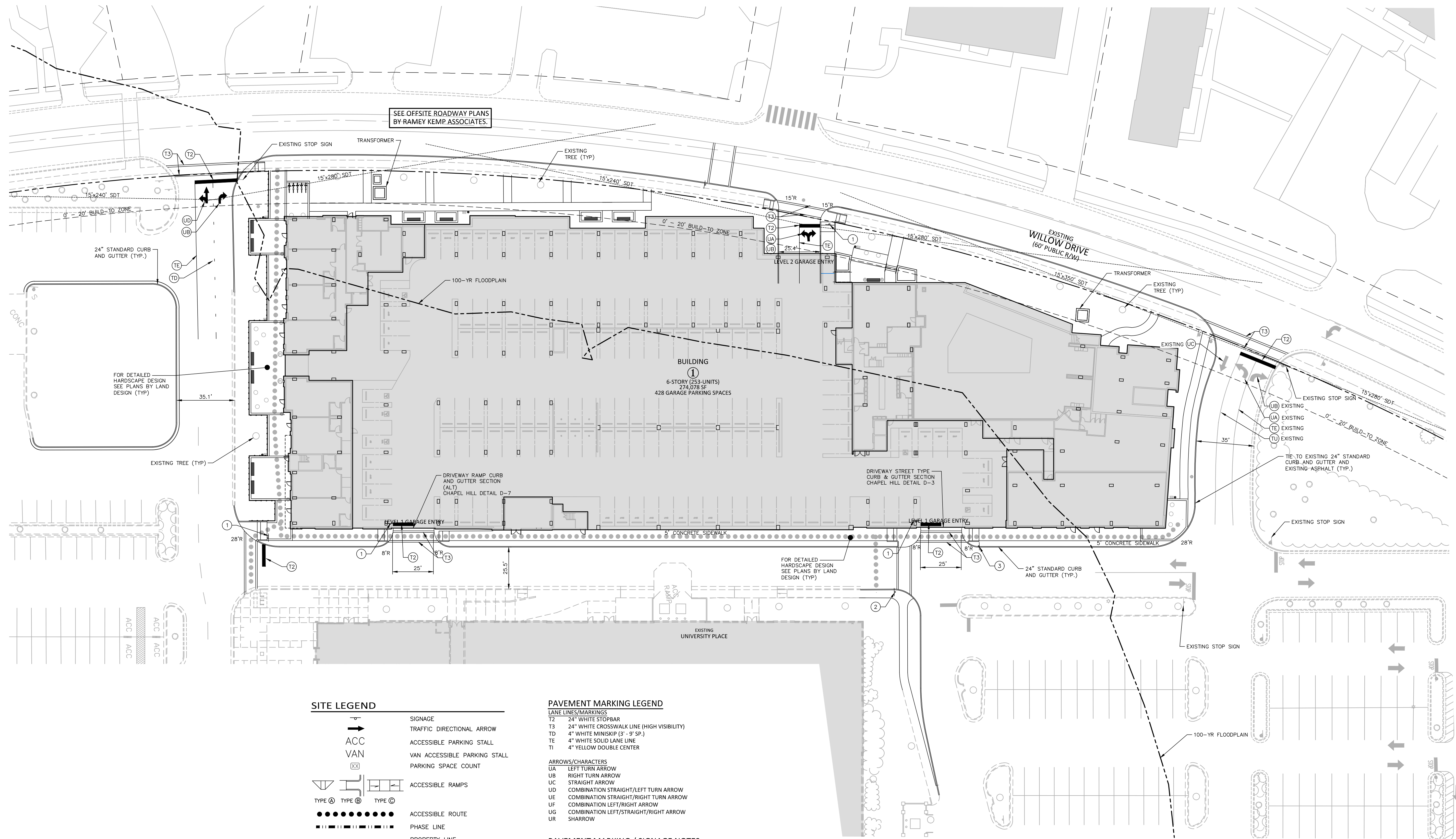
PLAN INFORMATION

PROJECT NO.	2021110354
FILENAME	RAM19000-S
CHECKED BY	LAW
DRAWN BY	MRO
SCALE	1"=30'
DATE	07.16.2021

SHEET

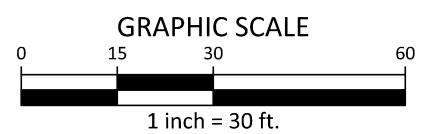
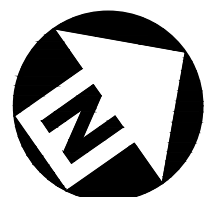
SITE AND PAVEMENT MARKING PLAN

C2.01

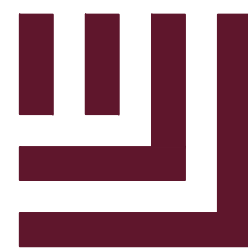


SEE SHEET C0.00 FOR ALL PROJECT, SITE,
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FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



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REVISIONS

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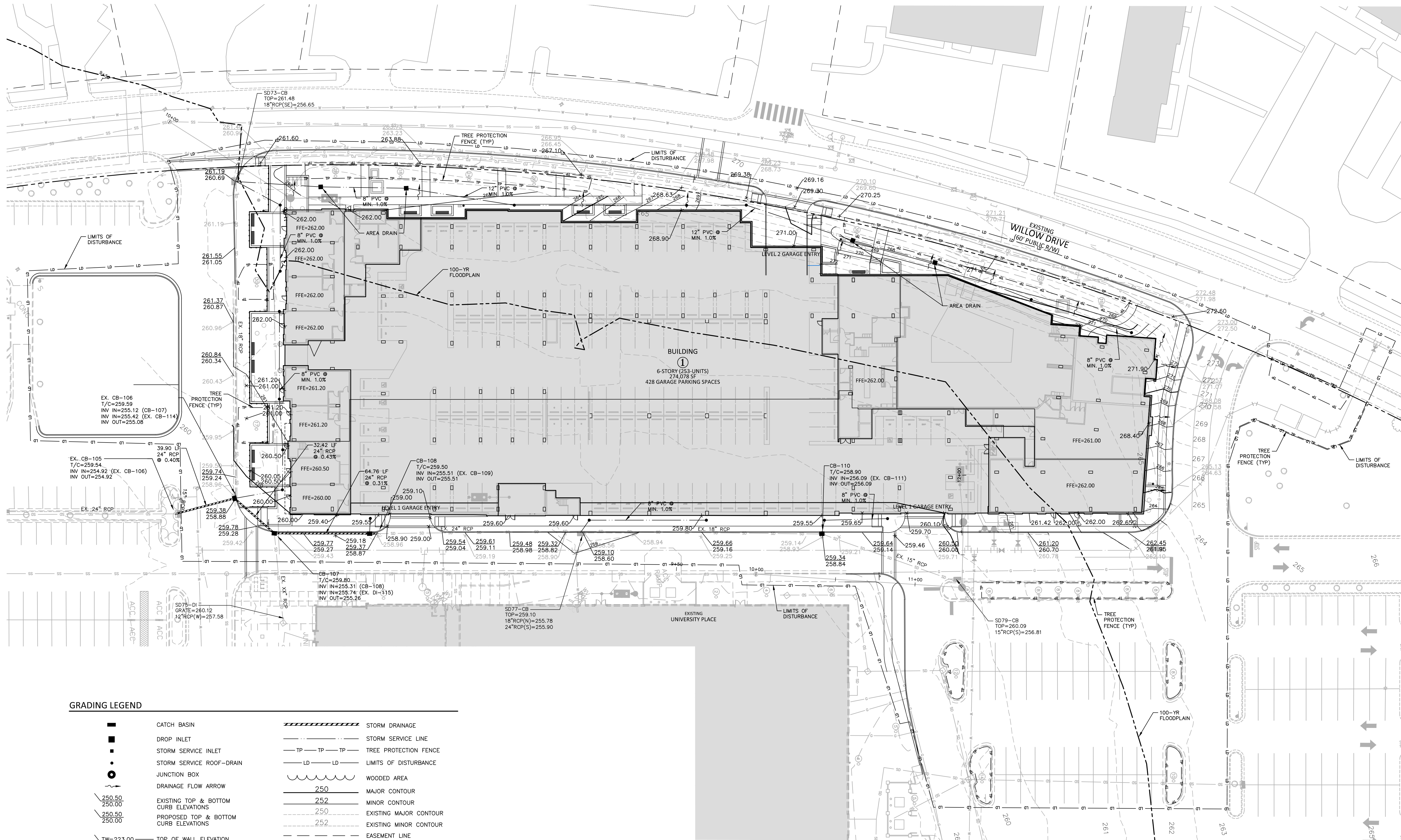
PLAN INFORMATION

PROJECT NO.	2021110354
FILENAME	RAM19000-OAG1
CHECKED BY	LAW
DRAWN BY	MRO
SCALE	1"=30'
DATE	07.16.2021

SHEET

GRADING AND STORM DRAINAGE PLAN

C3.01



GRADING LEGEND

- | | | | |
|-----------|---|----------|---|
| ■ | CATCH BASIN | ===== | STORM DRAINAGE |
| ■ | DROP INLET | ----- | STORM SERVICE LINE |
| ■ | STORM SERVICE INLET | TP TP TP | TREE PROTECTION FENCE |
| ● | STORM SERVICE ROOF-DRAIN | LD LD LD | LIMITS OF DISTURBANCE |
| ○ | JUNCTION BOX | ~~~~~ | WOODED AREA |
| → | DRAINAGE FLOW ARROW | 250 | MAJOR CONTOUR |
| 250.50 | EXISTING TOP & BOTTOM CURB ELEVATIONS | 252 | MINOR CONTOUR |
| 250.50 | PROPOSED TOP & BOTTOM CURB ELEVATIONS | 250 | EXISTING MAJOR CONTOUR |
| 250.50 | | 252 | EXISTING MINOR CONTOUR |
| TW=223.00 | TOP OF WALL ELEVATION | --- | EASEMENT LINE |
| BW=213.00 | BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION) | | |
| | | | ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS) |

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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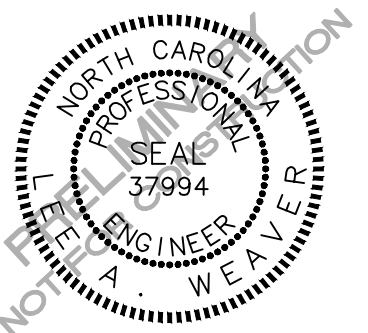
GRAPHIC SCALE
15 30 60
1 inch = 30 ft.

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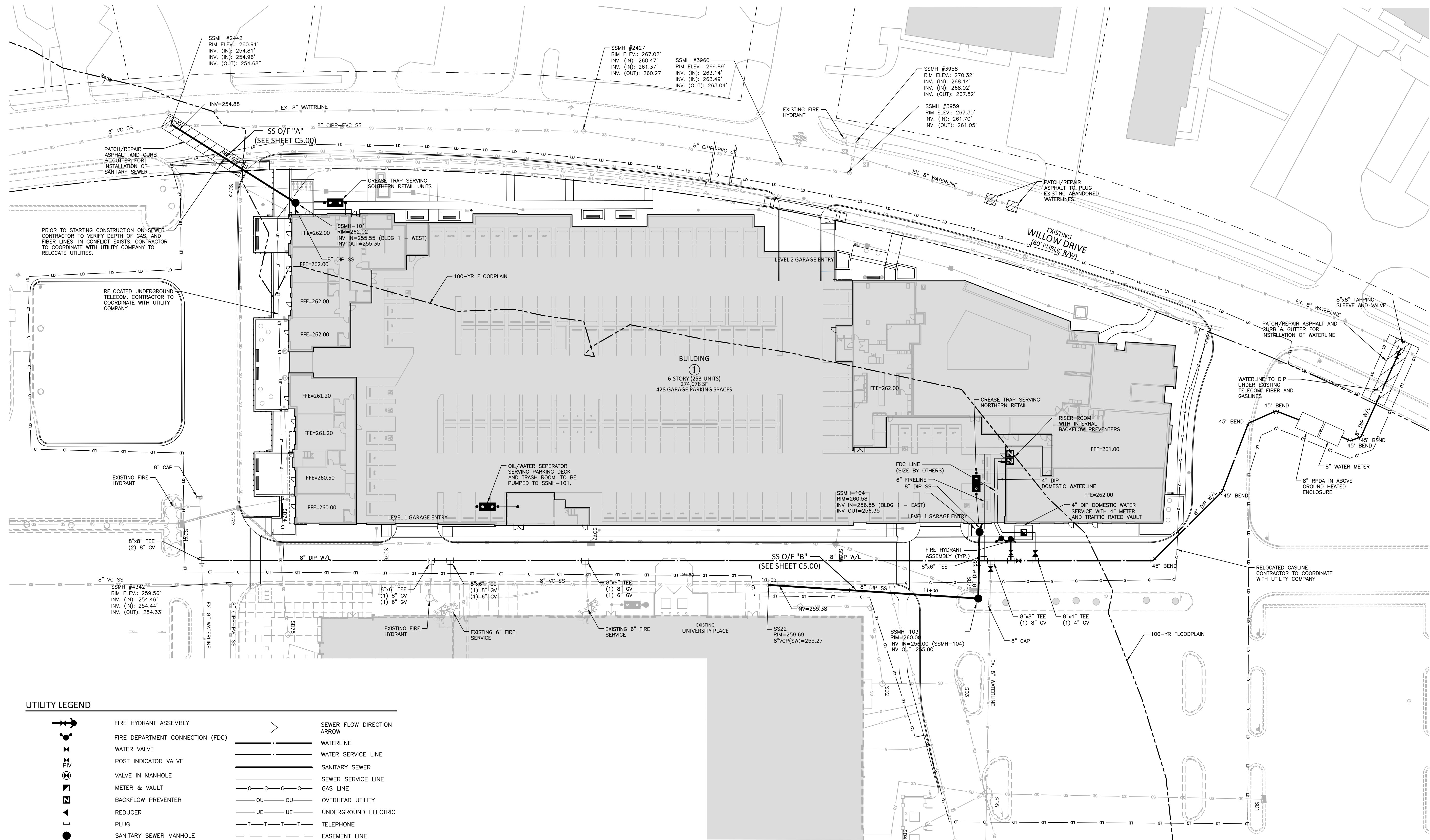
PLAN INFORMATION

PROJECT NO.	2021110354
FILENAME	RAM19000-L
CHECKED BY	LAW
DRAWN BY	MRO
SCALE	1"=30'
DATE	07. 16. 2021

SHEET

UTILITY PLAN

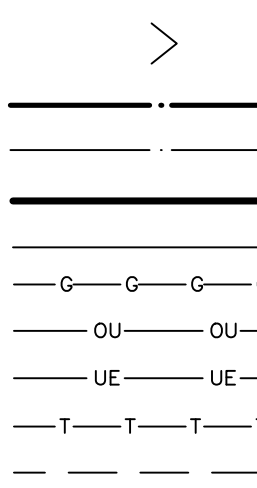
C4.01



UTILITY LEGEND



FIRE HYDRANT ASSEMBLY
FIRE DEPARTMENT CONNECTION (FDC)
WATER VALVE
POST INDICATOR VALVE
VALVE IN MANHOLE
METER & VAULT
BACKFLOW PREVENTER
REDUCER
PLUG
SANITARY SEWER MANHOLE
SEWER CLEAN-OUT
GREASE TRAP




SEWER FLOW DIRECTION
ARROW
WATERLINE
WATER SERVICE LINE
SANITARY SEWER
SEWER SERVICE LINE
GAS LINE
OVERHEAD UTILITY
UNDERGROUND ELECTRIC
TELEPHONE
EASEMENT LINE

SEE SHEET C0.00 FOR ALL PROJECT, SITE,
GRADING, STORM DRAINAGE AND
UTILITY NOTES

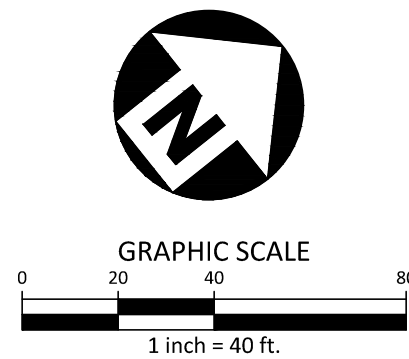
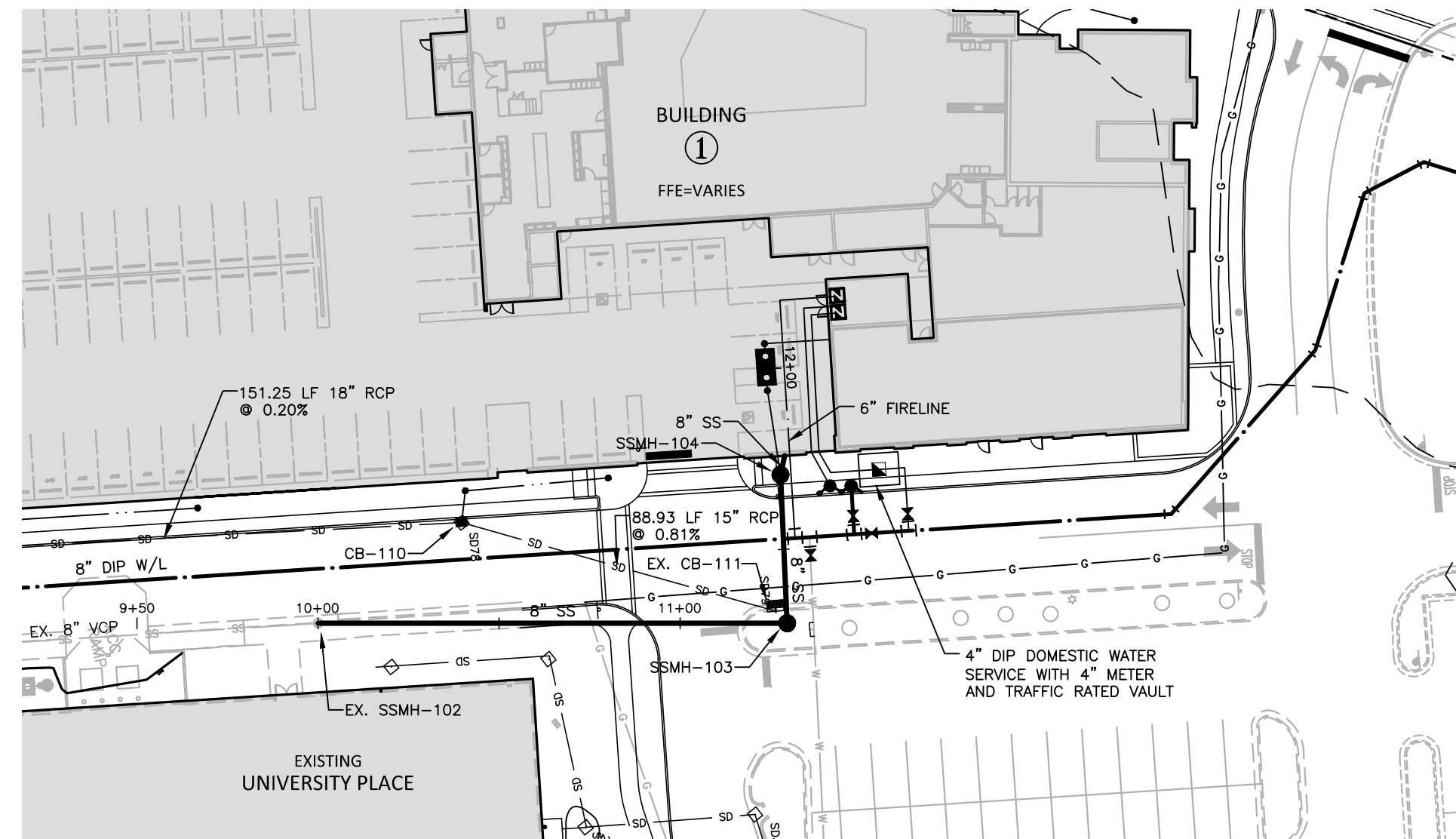
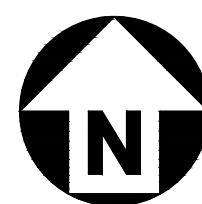
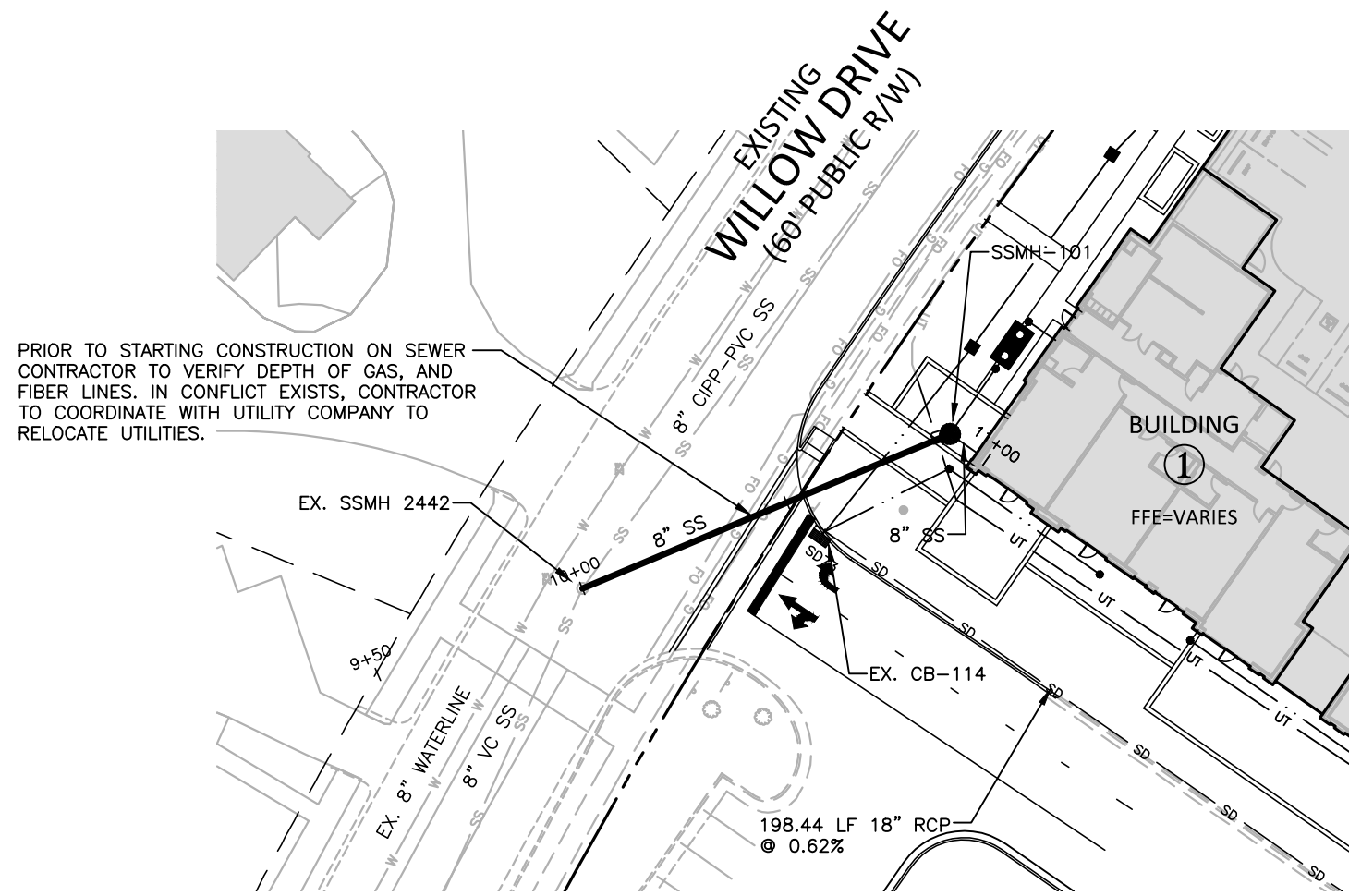
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



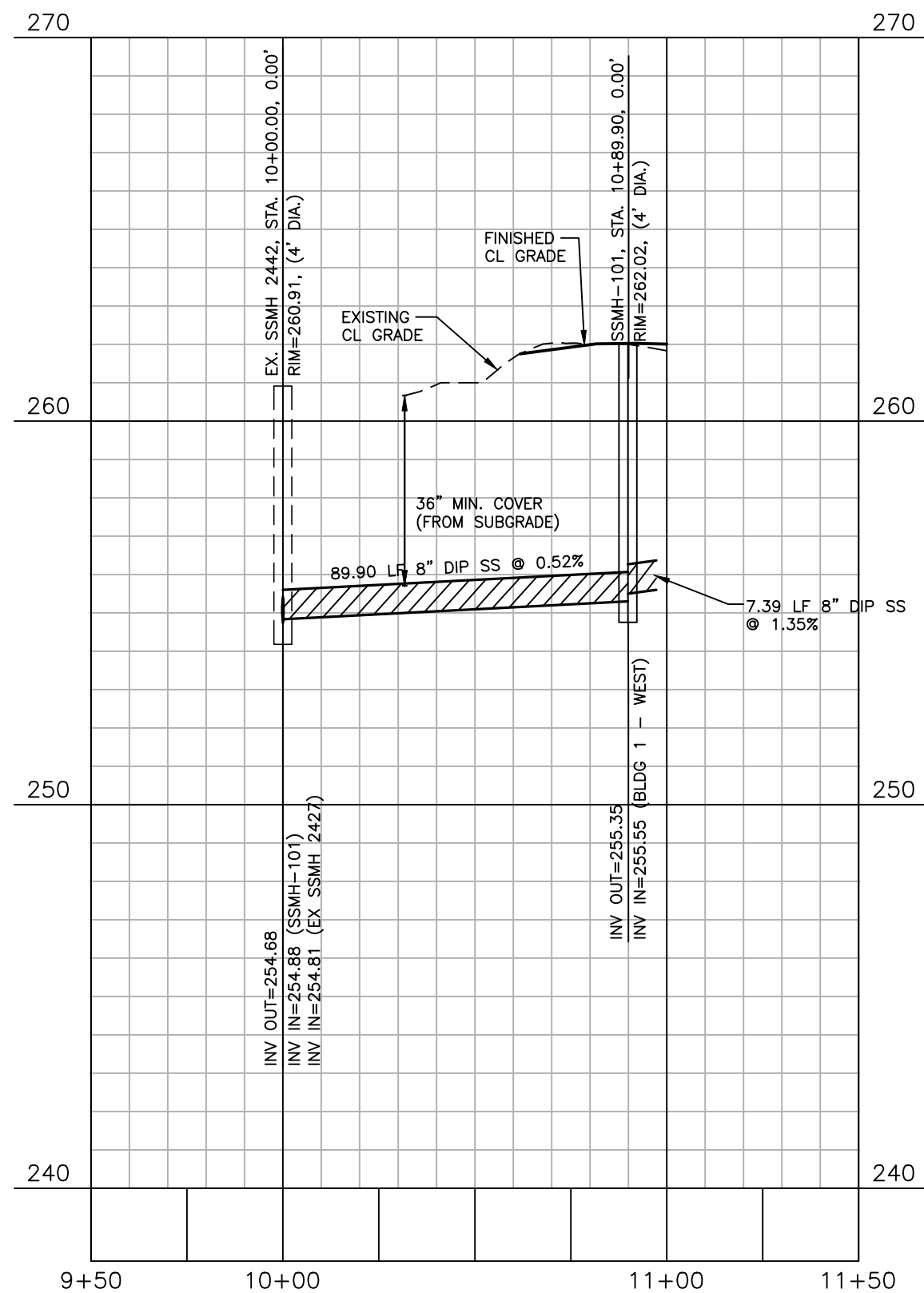
GRAPHIC SCALE



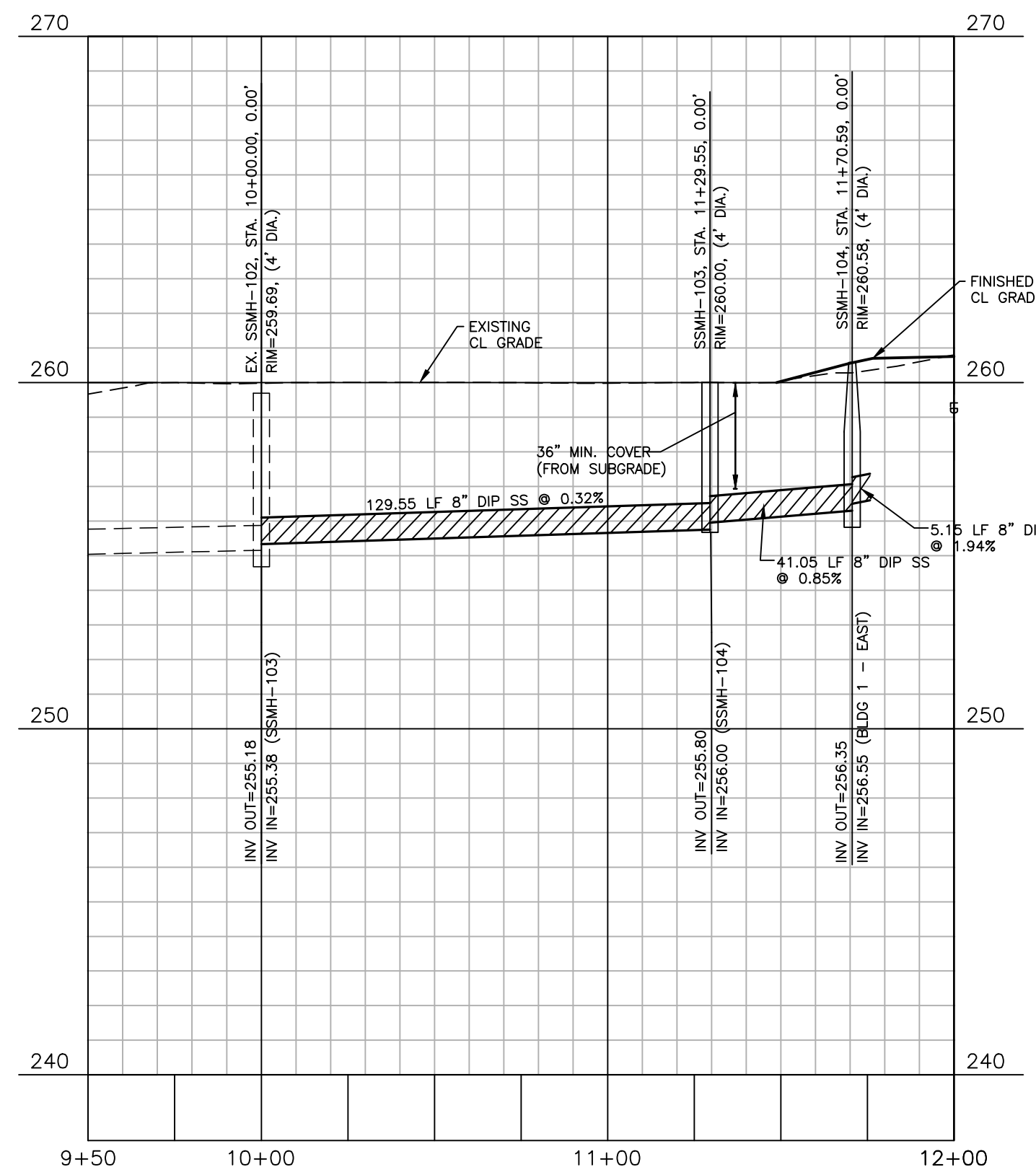
1 inch = 30 ft.



SS O/F "A"



SS O/F "B"



X:\Projects\RAM\RAM-19000\04-Production\Engineering\Construction Drawings\Multi-Family\Current Drawings\RAM19000-P1.dwg, 7/16/2021, 10:04:54 AM, Mallory D'Elia

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamscsco.com

CLIENT
RAM REALTY
127 W. WORTHINGTON AVE, SUITE 290
CHARLOTTE, NORTH CAROLINA 28203

ram
Ram Realty Advisors

REVISIONS
NO. DATE



**UNIVERSITY PLACE
MULTI-FAMILY**
ZONING COMPLIANCE PERMIT
CHAPEL HILL, NC 27514

PLAN INFORMATION
PROJECT NO. 2021110354
FILENAME RAM19000-P1
CHECKED BY LAW
DRAWN BY MRO
SCALE 1"=40'/1"=4"
DATE 07.16.2021

PLAN AND PROFILE
SS O/F "A", STA. 10+00 THRU STA. 11+00
SS O/F "B", STA. 10+00 THRU STA. 12+00

C5.00