

McADAMS

The John R. McAdams Company, Inc.

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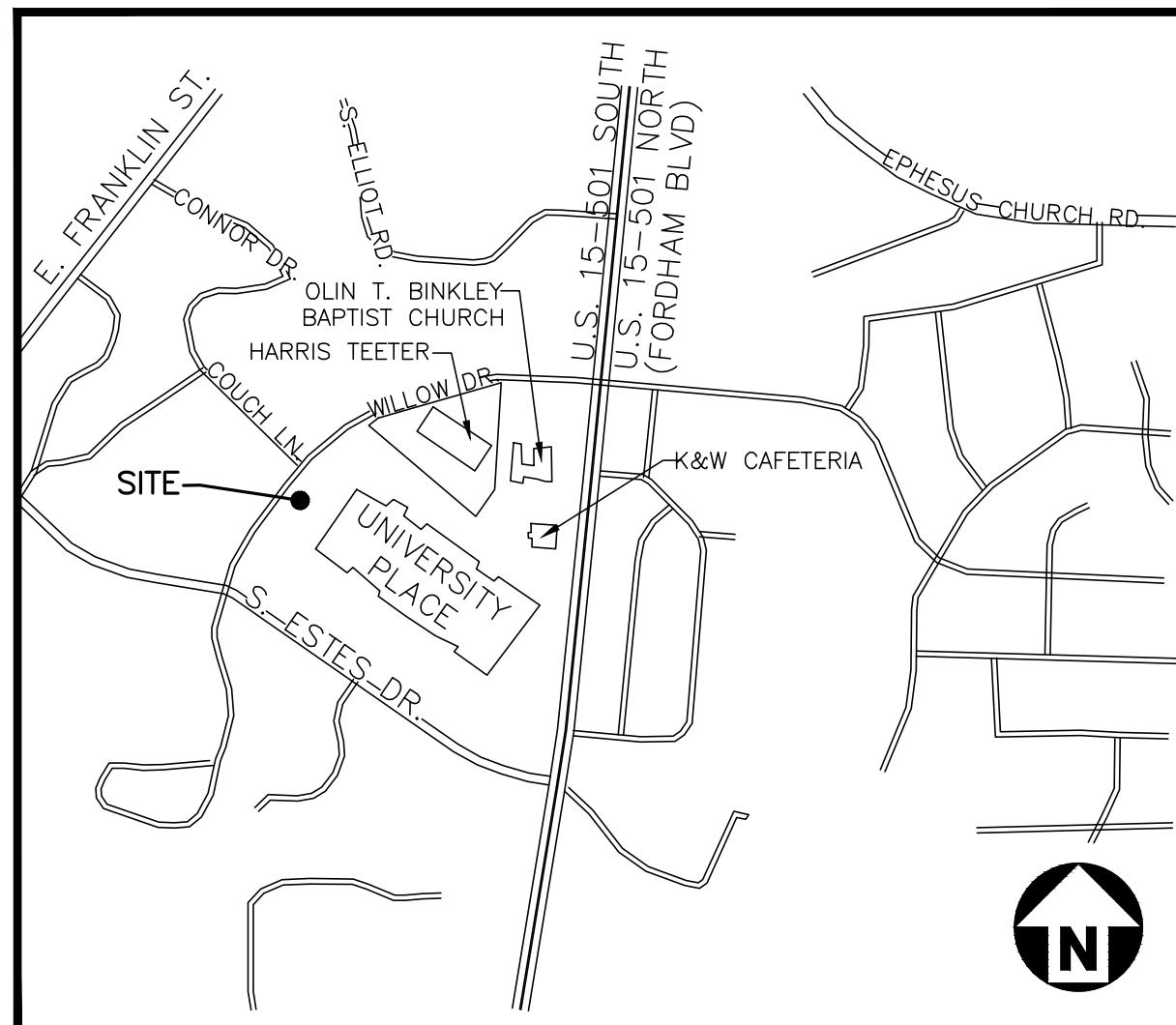
UNIVERSITY PLACE MULTI-FAMILY

910 WILLOW DRIVE
CHAPEL HILL, NORTH CAROLINA, 27514

SITE DATA

PIN	9799125797
SITE AREA	1,718,403 SF / 39.45 AC
GROSS LAND AREA	1,890,243 SF / 43.39 AC
ZONING	CC (COMMUNITY COMMERCIAL)
SUP	2021-06-28/R-6
WATERSHED PROTECTION	JORDAN LAKE
RIVER BASIN	CAPE FEAR
EXISTING USE	COMMERCIAL, RETAIL, SHOPPING CENTERS, RESTAURANTS
PROPOSED USE	MULTI-FAMILY RESIDENTIAL = 253 UNITS, 464,709 SF RETAIL = 9,774 SF
IMPERVIOUS	EXISTING: 1,472,295 SF, 33.80 AC (77.89%) PROPOSED: -643 SF REMOVED WITH PROJECT 1,471,652 SF, 33.78 AC (77.85%) NEED TO REMOVE 1,471,652 SF, 33.78 AC PROVIDED WITH FUTURE PHASES. SEE IMPERVIOUS SUMMARY
VEHICULAR PARKING	EXISTING: 249 SPACES (WITHIN FOOTPRINT OF BUILDING) MINIMUM REQUIRED: MULTI-FAMILY 1 BR: 180 UNITS*1/UNIT= 180 SPACES 2 BR: 73 UNITS*1.25/UNIT = 91 SPACES RETAIL 9,774 SF*1/300 SF=33 SPACES TOTAL = 304 SPACES MAXIMUM REQUIRED: MULTI-FAMILY 1 BR: 180 UNITS*1.25/UNIT= 225 SPACES 2 BR: 73 UNITS*1.75/UNIT = 128 SPACES RETAIL 9,774 SF*1/200 SF=49 SPACES TOTAL = 402 SPACES PROPOSED: 428 PARKING DECK, SEE SHARED PARKING SUMMARY
ACCESSIBLE PARKING	REQUIRED: 9 SPACES (2 VAN) PROPOSED: 14 SPACES (5 VAN)
BIKE PARKING	REQUIRED: MULTI-FAMILY 253 UNITS*1/4 DU = 64 SPACES (10% SHORT, 90% LONG) RETAIL 9,774 SF*1/2,500 SF = 4 SPACES (80% SHORT, 20% LONG) TOTAL = 68 SPACES (9 SHORT, 59 LONG) PROPOSED: 10 SHORT TERM, 60 LONG TERM (IN PARKING DECK)
BUILDING HEIGHT	MODIFIED POD A AND C MODIFIED POD D
SETBACK HEIGHT	75 FEET (5 STORIES) CORE HEIGHT 90 FEET (7 STORIES) 34 FEET (3 STORIES) PROPOSED 63.58 FEET (5 STORIES) 75.08 FEET (6 STORIES) N/A N/A
SETBACKS	WILLOW DRIVE FORDHAM BLVD - 0 FOOT MIN. MAX WITH PARKING: 77 FEET MAX INTERIOR - 0 FOOT SOLAR - 0 FOOT
BUFFERS	EAST (FORDHAM BLVD) - 0 FOOT (NO BUFFER) SOUTH (ESTES DR) - 0 FOOT (NO BUFFER) WEST (WILLOW DR) - 0 FOOT (NO BUFFER) NORTH (BINKLEY BAPTIST CHURCH) - 10 FOOT TYPE B
FAR	MAXIMUM FAR = 0.429 MAXIMUM FLOOR AREA = 810,914 PROPOSED EXISTING FLOOR AREA = 419,300 SF PROPOSED FLOOR AREA = 262,476 SF TOTAL FLOOR AREA = 681,776 SF FAR = 0.361
DISTURBED AREA	4.50 AC
TREE CANOPY	SEE LANDSCAPE PLANS
OUTDOOR AMENITY	NO OUTDOOR PUBLIC AMENITY SPACE PROPOSED WITH THIS PROJECT. PRIVATE COURTYARDS ARE PROPOSED WITHIN THE BUILDING.

X:\Project\RAM-19000\4-Production\Engineering\Construction\Drawing\UniversityPlaceMulti-Family\Current Drawing\RAM19000-4-Production\Engineering\Construction\Drawing\UniversityPlaceMulti-Family.dwg 7/28/2021 3:16:59 PM, Weaver, Le



VICINITY MAP
N.T.S.

ZONING COMPLIANCE PERMIT

PROJECT NUMBER: 2021110354

DATE: JUNE 16, 2021

UNIVERSITY PLACE SHARED PARKING SUMMARY - MF PHASE 1

PLACES	EXISTING SPACES	PROPOSED SPACES	BUILDING SIZE/UNIT COUNT	REQUIRED RATES		REQUIRED RATE DESCRIPTION	REQUIRED SPACES
				MIN	MAX		
EXISTING MAIL	1159 ⁽¹⁾		350000 SF	1/300	1/200	BUSINESS, GENERAL (RETAIL)	1,150.0 1725.3
EXISTING KANGAROO GAS STATION	6		1960 SF	1/375	1/250	OTHER CONVENIENCE BUSINESS	5.2 7.8
EXISTING HARRIS TEETER	214		64125 SF	1/300	1/200	BUSINESS, GENERAL (RETAIL)	177.9 266.9
EXISTING OLD BANK	21		3200 SF	1/250	1/150	BANK	12.8 21.3
EXISTING K&W CAFETERIA	45		11200 SF	1/150	1/75	BUSINESS, CONVENIENCE RESTAURANT	74.7 149.3
EXISTING SUNTRUST BANK	18		4500 SF	1/250	1/150	BANK	18.0 30.0
MF 1BR		424	180 UNITS	1	1/4	DWELLING, MULTIFAMILY	180.0 225.0
MF 2BR			73 UNITS	1 1/4	1 1/4	DWELLING, MULTIFAMILY	91.3 127.8
MF 3BR		0	UNIS 1 3/4	2 1/4	2 1/2	DWELLING, MULTIFAMILY	0.0 0.0
MF 4BR		0	UNITS 2	2 1/2	2 1/2	DWELLING, MULTIFAMILY	0.0 0.0
RETAIL			9763 SF	1/250	1/150	RETAIL	39.1 65.1
TOTAL			1,887				1749.0 2618.5

(1) INCLUDES REMOVAL OF 249 SPACES WITHIN FOOTPRINT OF PROPOSED BUILDING

UNIVERSITY PLACE USE SUMMARY - MF PHASE 1

USE	MINIMUM	MAXIMUM	EXISTING	PROPOSED	TOTAL	REMAINING
RESIDENTIAL	0 DU			253 DU	253 DU	47 DU
COMMERCIAL	300,000 SF	450,000 SF	434,985 SF	9,763 SF	444,748 SF	5,252 SF
OFFICE	0 SF	150,000 SF	0 SF	0 SF	0 SF	150,000 SF
HOTEL	0 ROOMS	150 ROOMS	0 ROOMS	0 ROOMS	0 ROOMS	150 ROOMS

UNIVERSITY PLACE IMPERVIOUS TRACKING TABLE

DEVELOPMENT	EXISTING IMPERVIOUS (SF)	DEMOLITION (SF)	PROPOSED IMPERVIOUS (SF)	FINAL IMPERVIOUS (SF)	FINAL IMPERVIOUS (%)	SUP COMMITMENT TO REMOVE IMPERVIOUS (%)
EXISTING (2008)	1,472,295	0	0	1,472,295	77.9%	-2.9%
PREVIOUS PROJECTS ⁽¹⁾	1,472,295	-3,257	0	1,469,038	77.7%	-2.7%
PHASE 1 - MULTIFAMILY	1,469,038	-643	0	1,468,425	77.7%	-2.7%
CURRENT TOTAL	1,468,425					
FUTURE PHASES	1,468,425	-50,743	0	1,417,682	75.0%	0%

(1) PREVIOUS PROJECTS INCLUDES ALL PROJECTS DIRECTLY ADJACENT TO THE SHOPPING CENTER, I.E. SILVERSPOT, BARTACO, ETC. THIS ALSO INCLUDES REVISION TO LOADING AREA BEHIND HARRIS TEETER AND RIGHT IN RIGHT OUT FROM 15/501.



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.
CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811".
REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

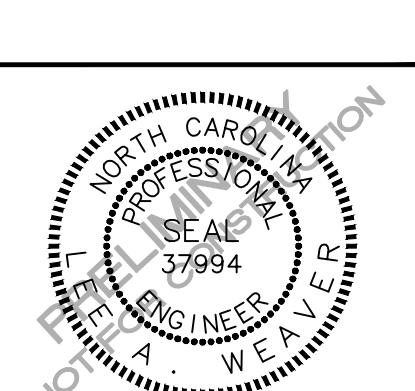
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

ZONING COMPLIANCE PERMIT FOR:

UNIVERSITY PLACE
MULTI-FAMILY
CHAPEL HILL, NORTH
CAROLINA, 27514
PROJECT NUMBER: RAM-19000

REVISIONS

NO. DATE



CONTACT

SEAN GLEASON
Gleason@mcadamsco.com
PHONE: 919. 361. 5000

CLIENT

RAM REALTY
127 W. WORTHINGTON AVE, SUITE 290
CHARLOTTE, NORTH CAROLINA 28203



PROJECT DIRECTORY

SHEET INDEX

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C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN
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C4.01	UTILITY PLAN
C4.02	FIRE PROTECTION PLAN
C5.00	PLAN AND PROFILE - SS O/F "A" STA. 10+00.00 THRU STA. 11+00.00 PLAN AND PROFILE - SS O/F "B" STA. 10+00.00 THRU STA. 2+00.00
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C8.02	STORM DRAINAGE DETAILS
C8.03	OWASA DETAILS
C8.04	OWASA DETAILS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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**UNIVERSITY PLACE
MULTI-FAMILY
ZONING COMPLIANCE PERMIT**

CHAPEL HILL, NC 27514



REVISIONS

NO. DATE DESCRIPTION

PLAN INFORMATION

PROJECT NO. 202110354
FILENAME RAM19000-AM1
CHECKED BY LAW
DRAWN BY MRO
SCALE 1"=200'
DATE 07.16.2021

SHEET

AREA MAP

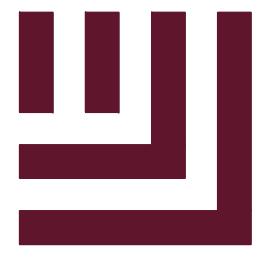
C0.00



0 100 200 400
GRAPHIC SCALE
1 inch = 200 ft.



FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



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**UNIVERSITY PLACE
MULTI-FAMILY
ZONING COMPLIANCE PERMIT
CHAPEL HILL, NC 27514**



REVISIONS

NO. DATE DESCRIPTION

PLAN INFORMATION

PROJECT NO. 2021110354
FILENAME RAM19000-N1
CHECKED BY LAW
DRAWN BY MRO
SCALE N/A
DATE 07. 16. 2021

SHEET

PROJECT NOTES

C0.01

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

GENERAL NOTES:

1. CONTRACTOR TO NOTIFY SURROUNDING PROPERTIES 7 DAYS PRIOR TO STARTING CONSTRUCTION.

2. CONTRACTOR TO PROVIDE NOTICE TO THE TOWN OF CHAPEL HILL REGARDING SPECIFIC DATES FOR ANY NECESSARY ROAD CLOSURES AND LANE REDUCTIONS.

3. GENERAL CONTRACTOR TO COORDINATE WITH SPECIFIC PROPERTIES AFFECTED BY THE PROPOSED ROAD CLOSURES IF REQUIRED TO ENSURE CONTINUOUS ACCESS TO THE AFFECTED PROPERTIES.

4. SETBACKS ARE PROPOSED UNDER THE PLANNED DEVELOPMENT HOUSING PROVISION OF THE LUMO AND ARE NOTED ON THIS SHEET.

5. ALL PARKING SHOWN SPACE MARKINGS SHALL BE PER THE TOWN OF CHAPEL HILL CODE FOR PARKING LOTS.

6. MINIMUM CORNER CLEARANCES FROM THE CURBLINE OF INTERSECTING STREETS SHALL BE AT LEAST 20' FROM THE POINT OF TANGENCY. NO DRIVEWAYS OR PARKING SPACES SHALL ENTRAP ON THIS MINIMUM CORNER CLEARANCE.

7. WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN, NO OBSTRUCTION BETWEEN 2' AND 8' IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOULAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.

8. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF CHAPEL HILL, NCDOT AND OWASA STANDARDS AND SPECIFICATIONS.

9. ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

10. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.

11. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.

12. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.

13. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).

14. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL DETERMINE AND HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE TOWN OF CHAPEL HILL ENGINEERING DEPARTMENT, ORANGE COUNTY SOIL AND EROSION DEPARTMENT, ENGINEER, AND OWNER/REPRESENTATIVE.

15. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FLOOR VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCY IS FOUND. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

16. ALL STREET NAME SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD INCLUDING MIXED CASE LETTERING, PROPER LETTER HEIGHTS, AND RETROREFLECTIVITY.

17. ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET AT 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOINT FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE REPAVED/RESURFACED.

18. SEPARATE BUILDING PERMITS ARE REQUIRED FOR RETAINING WALLS, DUMPSITE ENCLOSURES, MONUMENTS, SIGNS, OR OTHER ACCESSORY STRUCTURES OR ELEMENTS.

19. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY, AGENCY, OR COMPANY.

21. EXISTING CONTOURS ARE BASED ON SURVEY COMPLETED BY TIMMONS. EXISTING UTILITIES SHOWN ARE BASED ON SURVEY COMPLETED BY REED. THE CONTRACTOR, HOD, OR SPONSOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING CONSTRUCTION AND DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. FOR NECESSARY PLATE OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

22. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE. THIS INCLUDES WORK WITHIN PUBLIC RIGHT OF WAY.

23. A SINGLE ELECTRICAL SERVICE SHALL BE PROVIDED TO SERVE EACH STRUCTURE WITH THE EXCEPTION OF THE FIRE PUMP.

24. MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE THE BASE FLOOD ELEVATION PLUS 2 FEET.

25. A ZONE FOR FIRE DEPARTMENT LADDERS AND FIREFIGHTING OPERATIONS MUST BE PROVIDED, REQUIRING ALL LINES TO BE BURIED SURROUNDING STRUCTURES.

26. BACK WASH WATER FROM THE POOL SHALL DISCHARGE INTO SANITARY SEWER AND NOT STORM SEWER.

27. CONTRACTOR TO CONTACT THE CHAPEL HILL STORMWATER MANAGEMENT DIVISION AT 919-969-7246 TO SCHEDULE SITE INSPECTION AT LEAST TEN (10) DAYS IN ADVANCE OF REQUESTING THE CERTIFICATE OF OCCUPANCY.

PAVEMENT MARKING/SIGNAGE NOTES:

1. ALL SIGNAGE SHALL BE COORDINATED WITH THE TOWN OF CHAPEL HILL.

2. ALL SIGNAGE SHALL MEET MUTCD STANDARDS AND SPECIFICATIONS.

3. ALL SIGNAGE SHALL MEET NCDOT PEDESTRIAN SAFETY SPECIFICATIONS.

4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) AND/OR TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.

5. ALL SIGNS SHALL BE PRISMATIC AND ADHERE TO THE MINIMAL RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST VERSION OF THE MUTCD.

6. ALL PAVEMENT MARKINGS ON PUBLIC STREETS SHALL BE THERMOPLASTIC AND ARE TO BE PLACED PER NCDOT STANDARDS (REFERENCE 2012 NCDOT DETAILS (1205.01-1205.12))

7. SIGN DESIGNS FOR STREET NAME SIGNS SHALL BE APPROVED BY TRANSPORTATION/ENGINEERING DEPARTMENT STAFF TO ENSURE COMPLIANCE WITH MUTCD SPECIFICATIONS. DESIGNS MUST BE APPROVED BY TOWN STAFF PRIOR TO ACCEPTANCE OF STREETS OR ISSUANCE OF 1ST CO.

8. ALL STREET NAME SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD INCLUDING MIXED CASE LETTERING, PROPER LETTER HEIGHTS, AND RETROREFLECTIVITY.

FIRE DEPARTMENT NOTES:

1. SITE SHALL COMPLY WITH THE LATEST NATIONAL BUILDING AND FIRE CODES.

2. FUNCTIONAL FIRE PROTECTION SHALL BE PROVIDED PRIOR TO THE ARRIVAL OF COMBUSTIBLE MATERIALS ON THE SITE.

3. FIRE ACCESS ROUTE SHALL HAVE A MINIMUM RADIUS OF 28' (FACE OF CURB) TO ALLOW FIRE APPARATUS ACCESS THROUGH SITE (IFC 503.2.4).

4. ANY GATES ACROSS FIRE APPARATUS ACCESS ROADS SHALL BE A MINIMUM WIDTH OF 20', BE SWINGING OR SLIDING TYPE AND HAVE AN EMERGENCY MEANS OF OPERATION. ALL GATES IN FIRE TRUCK APPARATUS ACCESS ROUTES SHALL BE OPERABLE BY EITHER FORCIBLE ENTRY OR KEYED AND MUST BE CAPABLE OF BEING OPERATED BY ONE PERSON. ALL GATES IN FIRE TRUCK APPARATUS ACCESS ROUTES SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL375 AND ASTM F2200.

5. ALL PORTIONS OF THE FIRST FLOOR OF THE BUILDING MUST BE WITHIN 150' OF THE FIRE ACCESS ROUTE (IFC 503.1.)

6. ADDRESS NUMBERS SHALL BE A MINIMUM OF 6 INCHES HIGH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. REFLECTIVE NUMBERS ARE PREFERRED AND REQUIRED ON FRONT AND REAR DOORS OF STRIP SHOPPING CENTERS. WHEN THE DISTANCE FROM THE STREET OR FIRE DEPARTMENT ACCESS LANE TO THE FRONT OR ADDRESS SIDE OF THE BUILDING EXCEEDS 25 FEET, LARGER NUMBERS ARE REQUIRED. 26 FEET TO 50 FEET SHALL HAVE 8 INCH NUMBERS, 51 FEET TO 75 FEET SHALL HAVE 12 INCH NUMBERS, AND OVER 75 FEET SHALL HAVE 18 INCH NUMBERS. WHERE ACCESS IS BY PRIVATE MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

7. ALL FIRE TRUCK ACCESSIBLE ROUTES SHALL BE RATED FOR 80,000 LB AND HAVE A MINIMUM CLEAR WIDTH OF 26' (IFC 503.2).

8. FIRE RISER ROOM SHALL BE EQUIPPED WITH AN EXTERNAL LOCK BOX.

9. RISER ROOM SHALL HAVE ADEQUATE DRAINAGE FOR EMERGENCY RP2 DISCHARGE.

10. PRIVATE FIRE SERVICE MAINS AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 24, NC FPC 507.2.1.

11. ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.

12. OPEN BURNING OF TREES, LIMBS, STUMPS, AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS PROJECT SHALL BE PROHIBITED.

13. DURING CONSTRUCTION, VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANCE AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.

14. THE OWNER/DEVELOPER SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NC FPC AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.

DEMOLITION NOTES

1. THE INFORMATION SHOWN WITHIN THE OVERALL PROJECT BOUNDARY WAS TAKEN FROM DESIGN DRAWINGS AND FIELD SURVEY WHEREVER POSSIBLE. ANY DISCREPANCY IN THIS PLANS ACTUAL FIELD CONDITIONS SHALL BE REPORTED BY THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.

2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

3. CONTRACTOR WILL CONTACT APPROPRIATE UTILITY OWNERS TO COORDINATE REMOVAL/RELOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CONTACT NC 811 OR (811) 1-800-632-4949. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES.

4. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIM, HIS EMPLOYEES OR HIS WORK. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.

5. ANY STRUCTURE THAT IS 500 SF OR LARGER THAT IS TO BE REMOVED OR DEMOLISHED MUST FIRST BE ASSESSED FOR DECONSTRUCTION POSSIBILITIES. CONTACT SOLID WASTE MANAGEMENT STAFF AT 919-969-2788 EXT 107 OR 109 TO ARRANGE FOR ASSESSMENT.

6. DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, INCLUDING POSTING A WRITTEN ADDRESS IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404.

LANDSCAPE PROTECTION NOTES:

1. PLAN SHOWS RARE AND SPECIMEN TREES IN ACCORDANCE WITH THE ORDINANCE THAT WAS IN EFFECT AT THE TIME OF APPROVAL.

2. LANDSCAPING ON EAST SIDE OF SITE ALONG THE ALTERNATIVE BUFFER SHALL BE COORDINATED TO PRESERVE EXISTING TREES AS MUCH AS POSSIBLE. PROPOSED PLANTINGS IN BUFFER MAY ENTRAP BEYOND "TREE PROTECTION" FENCE. CONFLICTS BETWEEN PROPOSED PLANTINGS AND EXISTING TREES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR REMEDIATION.

3. ALL IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH AUTOMATIC CONTROLLERS THAT ACTIVATE THE SYSTEM ACCORDING TO A DESIRED FREQUENCY AND DURATION, AND SHALL ALSO BE EQUIPPED WITH RAIN OR SOIL MOISTURE SENSORS THAT WILL PREVENT IRRIGATION DURING RAINFALLS OR DRAINS OR WHEN THERE IS NO GROWTH IN THE GROUND FOR PLANT HEALTH AND SURVIVAL IN ACCORDANCE WITH THE LOCAL GOVERNMENT WATER CONSERVATION ORDINANCES.

4. ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).

5. ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT AGREEMENT. ENCROACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL.

6. STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.

7. ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.

8. CONNECTIONS FOR SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH OWASA STANDARDS, INCLUDING CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND PROPER GEOTECHNICAL INFORMATION FOR SOIL LOADING.

9. IF HYDRAULIC ELEVATORS ARE USED THE SUMP MUST BE PLUMBED TO SANITARY SEWER LINES.

GRADING & STORM DRAINAGE NOTES:

1. CONTRACTOR SHALL NOTIFY NC 811 (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NC 811. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE ORANGE COUNTY SOIL AND EROSION CONTROL OFFICER, TOWN OF CHAPEL HILL STORMWATER MANAGEMENT DIVISION, AND OWNER'S REP/ENGINEER.

3. CONTRACTOR TO CONTACT MICHAEL WRIGHT WITH THE TOWN OF CHAPEL HILL AT 919-969-5084 TO POST EROSION CONTROL BOND PRIOR TO ANY LAND DISTURBANCE.

4. GRADING AND CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 88 (NAVD88).

5. SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE APPROVED, PLACED AND COMPAKED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND SHOULD MEET OR EXCEED TOWN OF CHAPEL HILL STANDARDS.

6. GRADING IN AREAS DESIGNATED AS "ACCESSIBLE" SHALL COMPLY WITH ALL FEDERAL AND LOCAL ACCESSIBILITY RULES AND GUIDELINES. EVEN THOUGH PLANS MAY NOT SHOW ALL SPOT ELEVATIONS IN THESE REGIONS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE AREAS ARE GRADED TO AMERICAN DISABILITY ACT (ADA) COMPLIANT SPECIFICATIONS.

7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY AREAS WHERE SPILL CURB IS NECESSARY TO CONVEY RUNOFF TO THE NEAREST CATCH BASIN OR DROP INLET. THE OWNER AND/OR ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR CURBING INSTALLED PRIOR TO PAVING THAT DOES NOT DRAIN PROPERLY.

8. ALL PROPOSED INLETS, CATCH BASINS, AND DROP INLETS SHALL BE PROTECTED BY EROSION CONTROL MEASURES AS SHOWN AND SPECIFIED ON THE EROSION CONTROL PLAN.

9. THE CURB INLETS AND YARD INLETS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN UNLESS OTHERWISE DIRECT

UNIVERSITY PLACE MULTI-FAMILY ZONING COMPLIANCE PERMIT

ONING COMPLIANCE

LEGEND

CONCRETE MONUMENT	Q	POWER/UTILITY POLE	AC	AIR CONDITIONER	SZ	APPLE
EXISTING IRON PIPE	GT	GREASE TRAP MANHOLE		SIGN	SZ	ASH
IRON PIPE SET	Ø	CLEAN OUT		CAMERA	SZ	BEECH
CALCULATED POINT	S	SEWER MANHOLE		FLOOD LIGHT	SZ	BIRCH
MASONRY NAIL	IV	IRRIGATION CONTROL VALVE		ROOF DRAIN	SZ	BLACK WALNUT
NC GEODETIC SURVEY MON.	W	RECLAIMED WATER METER		BORE HOLE	SZ	CEDAR
FIRE HYDRANT	G	GAS SERVICE METER		BOLLARD LIGHT	SZ	CHERRY
WATER METER	PG	GAS MARKER	I	BIKE RACK	SZ	CRAPE MYRTLE
BACKFLOW PREVENTER	GRG	GAS REGULATOR	G	GAS LINE	SZ	DOGWOOD
WATER MANHOLE	GTG	GAS TEST STATION	W	WATER LINE	SZ	RED OAK
WATER VALVE	GW	GAS VALVE	SS	SEWER LINE	SZ	ELM
BLOW OFF VALVE	G	CABLE TV BOX	SD	STORM LINE	SZ	SWEET GUM
HOSEBIB	C	CATV HANHOLE	(W)	WATER LINE PER RECORD/GIS	SZ	HICKORY
FIRE DEPT. CONNECTION	TVH	TELEPHONE HANHOLE	(SS)	SEWER LINE PER RECORD/GIS	SZ	HOLLY
DRAINAGE INLET/YARD INLET	TLH	TELEPHONE BOX	(SD)	STORM LINE PER RECORD/GIS	SZ	HARDWOOD
CL CATCH BASIN AT BC	T	TELEPHONE MANHOLE	X	FENCE	SZ	JAPANESE MAPLE
STORM DRAIN MANHOLE	T	TELEPHONE PEDESTAL		CANOPY/BUILDING OVERHANG	SZ	MAGNOLIA
FES	TA	FIBER OPTIC MARKER	I	GUARD RAIL	SZ	MAPLE
ELECTRIC MANHOLE	G	FIBER OPTIC HANHOLE	CATV	UNDERGROUND TV CABLE	SZ	MIMOSA
ELECTRIC METER	FOH	UNKNOWN MANHOLE	UE	UNDERGROUND ELECTRIC LINE	SZ	OAK
ELECTRIC TRANSFORMER	U	UNKNOWN UTILITY PEDESTAL	FO	UNDERGROUND FIBER OPTIC CABLE	SZ	ORNAMENTAL
ELECTRIC PEDESTAL	TA	BURIED CABLE WARNING POST	UNK	UNKNOWN UTILITY	SZ	PECAN
ELECTRIC HANHOLE	T	TRAFFIC SIGNAL BOX	UT	UNDERGROUND TELEPHONE CABLE	SZ	REDBUD
ELECTRIC BOX	TS	TRAFFIC HANHOLE	OU	OVERHEAD ELECTRIC LINE	SZ	PEAR
GUY WIRE	TRH	BOLLARD	W	WOOD LINE/LANDSCAPING	SZ	PEACH
LIGHT POLE	Q					

GENERAL NOTES

1. THIS IS AN EXISTING CONDITIONS SURVEY.
2. BEARINGS FOR THIS SURVEY ARE BASED ON DB 1842, PG. 187.
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. ZONING: CHAPEL HILL
5. AREA BY COORDINATE GEOMETRY.
6. FLOOD NOTE: THIS PROPERTY IS PARTIALLY LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONES "AE" AND "X" AS DEFINED BY F.E.M.A F.I.R.M COMMUNITY PANEL #3710979900L DATED 10/19/2018.
7. REFERENCES: AS SHOWN
8. UTILITy STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRIZE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
9. THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.

SEE SHEET C0.00 FOR ALL PROJECT, SITE,
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UTILITY NOTES

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AND CONSTRUCTION STANDARDS

15 30 60

1 inch = 30 ft

PLAN INFORMATION

PROJECT NO.	2021110354
FILENAME	RAM19000-XC
CHECKED BY	LAW
DRAWN BY	MRO
SCALE	1"=30'
DATE	07. 16. 2021

EXISTING CONDITIONS

EXISTING CONDITIONS



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Durham, NC 27713

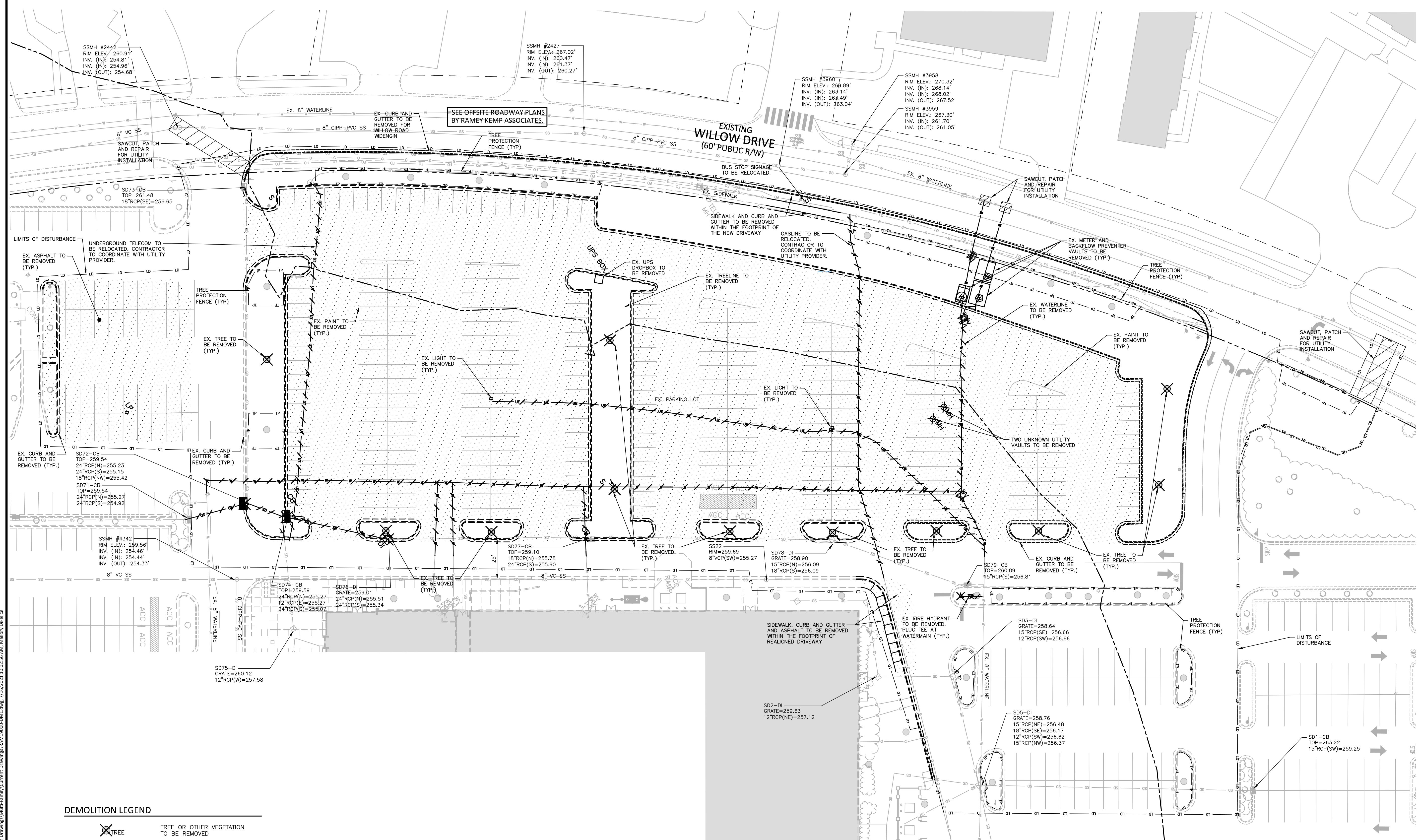
Phone 919.361.5000
fax 919.361.2269
license number: C-0293
www.mcadamsco.com

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RAM REALTY
127 W. WORTHINGTON AVE, SUITE 290
CHARLOTTE, NORTH CAROLINA 28203

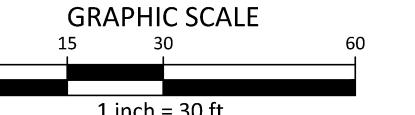


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ZONING COMPLIANCE PERMIT
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PLAN INFORMATION

PROJECT NO. 202110354
FILENAME RAM19000-OAS1
CHECKED BY LAW
DRAWN BY MRO
SCALE 1"=30'
DATE 07.16.2021

SHEET

DEMOLITION PLAN

C1.02



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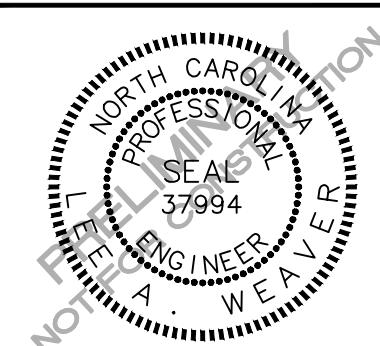
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UNIVERSITY PLACE MULTI-FAMILY ZONING COMPLIANCE PERMIT

ONING COMPLIANCE CHAPEL HILL NC 277514



REVISIONS

NO.	DATE	DESCRIPTION
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PLAN INFORMATION

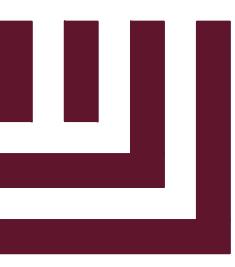
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FILENAME	RAM19000-OAS1
CHECKED BY	LAW
DRAWN BY	MRO
SCALE	1"=60'
DATE	07. 16. 2021

SHE

OVERALL SITE PLAN

62 63

12.00



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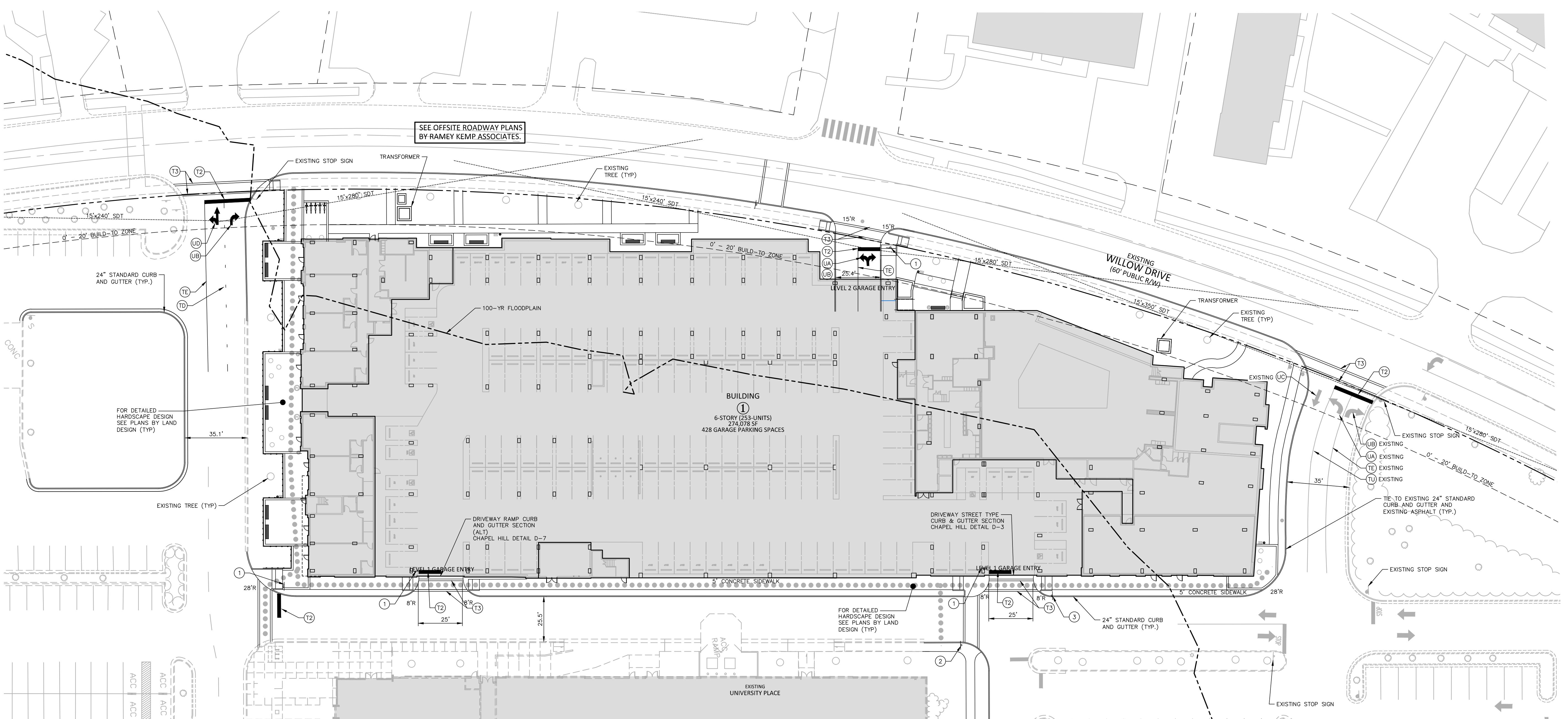
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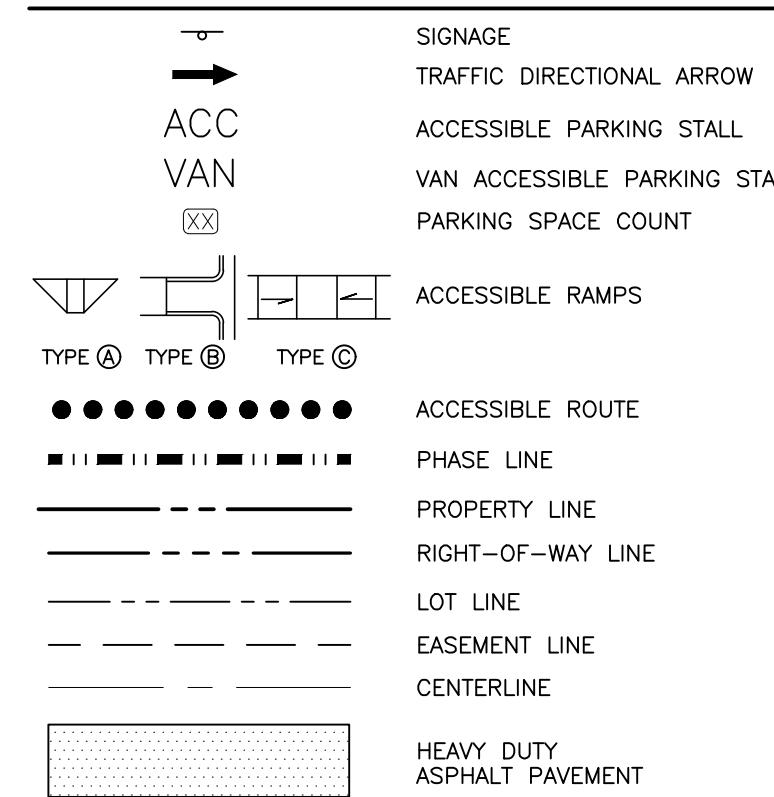
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ram
Ram Realty Advisors

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SITE LEGEND



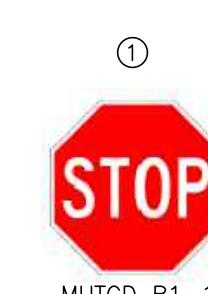
PAVEMENT MARKING LEGEND

T2	24" WHITE STRIP
T3	24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
TD	4" WHITE MINISKIP (3'-9 1/2")
TE	4" WHITE SOLID LANE LINE
TI	4" YELLOW DOUBLE CENTER

ARROWS/CHARACTERS
UA LEFT TURN ARROW
UB RIGHT TURN ARROW
UC STRAIGHT ARROW
UD COMBINATION STRAIGHT/LEFT TURN ARROW
UE COMBINATION STRAIGHT/RIGHT TURN ARROW
UF COMBINATION LEFT/RIGHT TURN ARROW
UG COMBINATION LEFT/STRAIGHT/RIGHT TURN ARROW
UR SHARROW

PAVEMENT MARKING / SIGNAGE NOTES

- ALL PAVEMENT MARKINGS WITHIN PUBLIC RIGHT OF WAY (INCLUDING DRIVEWAYS) SHALL BE THERMOPLASTIC AND ARE TO BE PLACED PER NC DOT STANDARDS (REFERENCE NC DOT DETAILS 1205.01-1205.12)
- ALL PAVEMENT MARKINGS WITHIN THE SITE SHALL BE PAINT AND ARE TO BE PLACED PER NC DOT STANDARDS (REFERENCE NC DOT DETAILS 1205.01-1205.12)
- ALL NEW SIGNS WILL INCLUDE PRISMATIC SHEETING AND WILL CONFORM TO THE LATEST RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.
- ALL SIGNS MEET MUTCD GUIDELINES FOR LETTER HEIGHT, LETTER CASE AND SIGN COLOR.
- EXISTING SIGNS SHALL BE RELOCATED TO THE APPROPRIATE LOCATION IN THE FIELD.



MUTCD R1-1



W11-2
W/16-7P

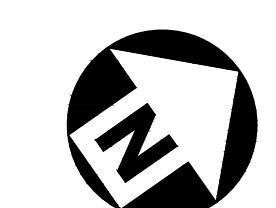


W11-2
W/16-9P

AHEAD

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0 15 30 60
1 inch = 30 ft.

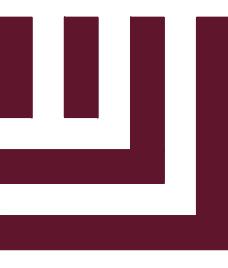
PLAN INFORMATION

PROJECT NO. 202110354
FILENAME RAM19000-S1
CHECKED BY LAW
DRAWN BY MRO
SCALE 1"=30'
DATE 07.16.2021

SHEET

**SITE AND PAVEMENT
MARKING PLAN**

C2.01



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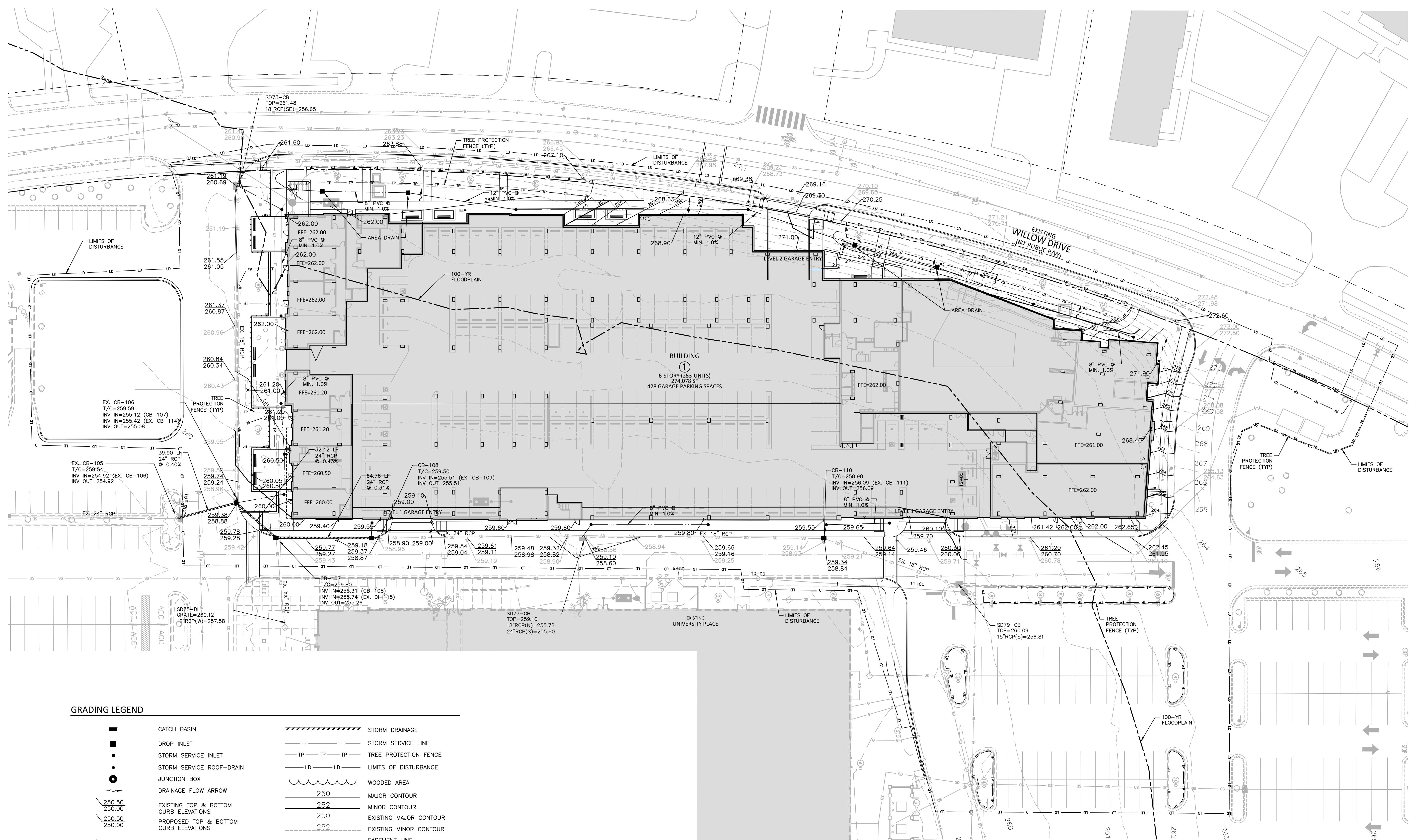
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REVISIONS

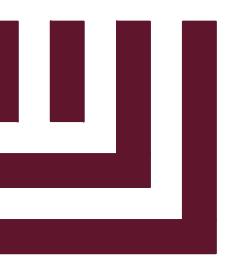
NO. DATE DESCRIPTION

PLAN INFORMATION

PROJECT NO. 2021110354
FILENAME RAM19000-OAG1
CHECKED BY LAW
DRAWN BY MRO
SCALE 1"=30'
DATE 07. 16. 2021

sheet

**GRADING AND STORM DRAINAGE PLAN
C3.01**



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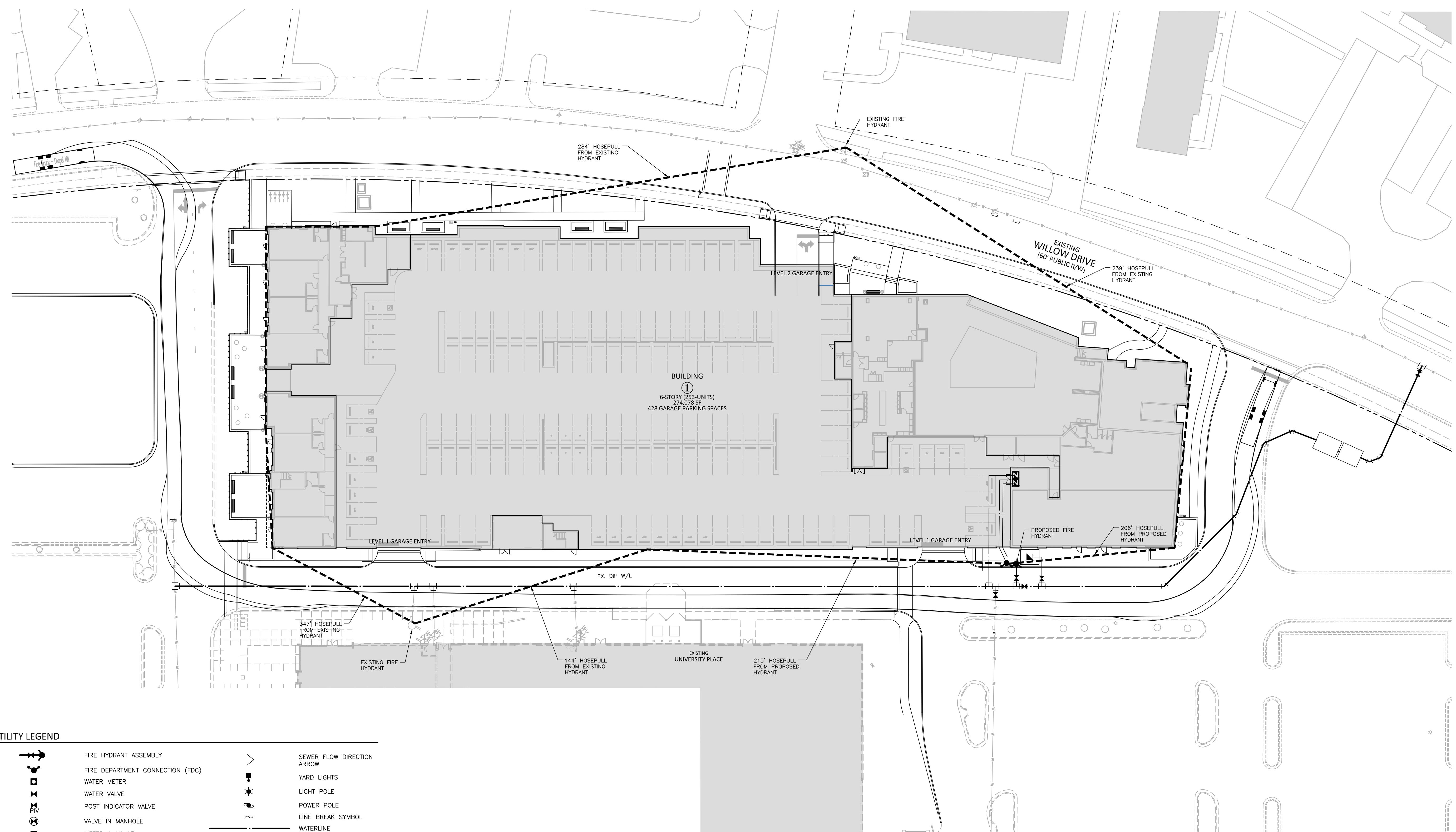
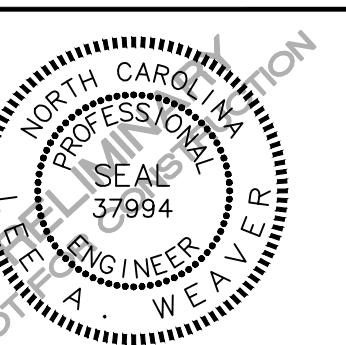
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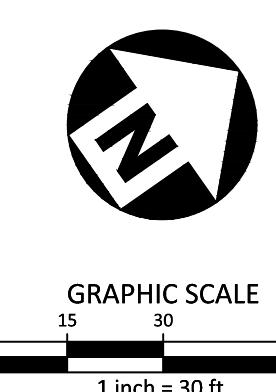
X:\Project\RAM\RAM-190004\Production\Engineering\Construction\Drawing\RAM190004-FA1 Rev 7\7\6\2021 10:04:15 AM Mallow\DefLine

UTILITY LEGEND

FIRE HYDRANT ASSEMBLY	SEWER FLOW DIRECTION ARROW
FIRE DEPARTMENT CONNECTION (FDC)	YARD LIGHTS
WATER METER	LIGHT POLE
WATER VALVE	POWER POLE
POST INDICATOR VALVE	LINE BREAK SYMBOL
VALVE IN MANHOLE	WATERLINE
METER & VAULT	WATER SERVICE LINE
BACKFLOW PREVENTER	UTILITY SLEEVE
REDUCER	SANITARY SEWER
PLUG	SEWER SERVICE LINE
BLOW-OFF ASSEMBLY	SEWER FORCE MAIN
SANITARY SEWER MANHOLE	GAS LINE
SEWER CLEAN-OUT	OVERHEAD UTILITY
GREASE TRAP	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE

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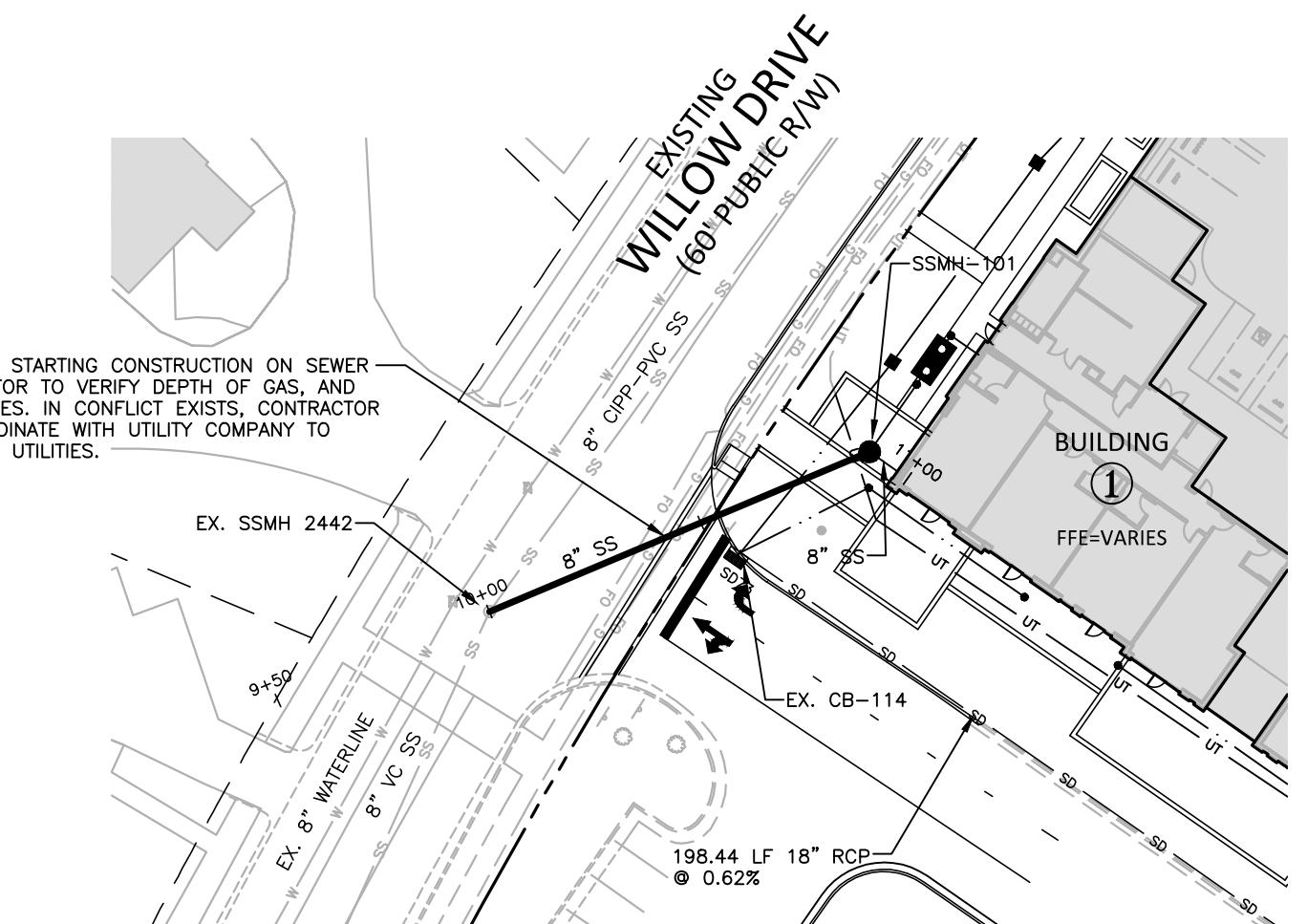
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FILENAME RAM190004-FA1
CHECKED BY LAW
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SCALE 1"=30'
DATE 07.16.2021

SHEET

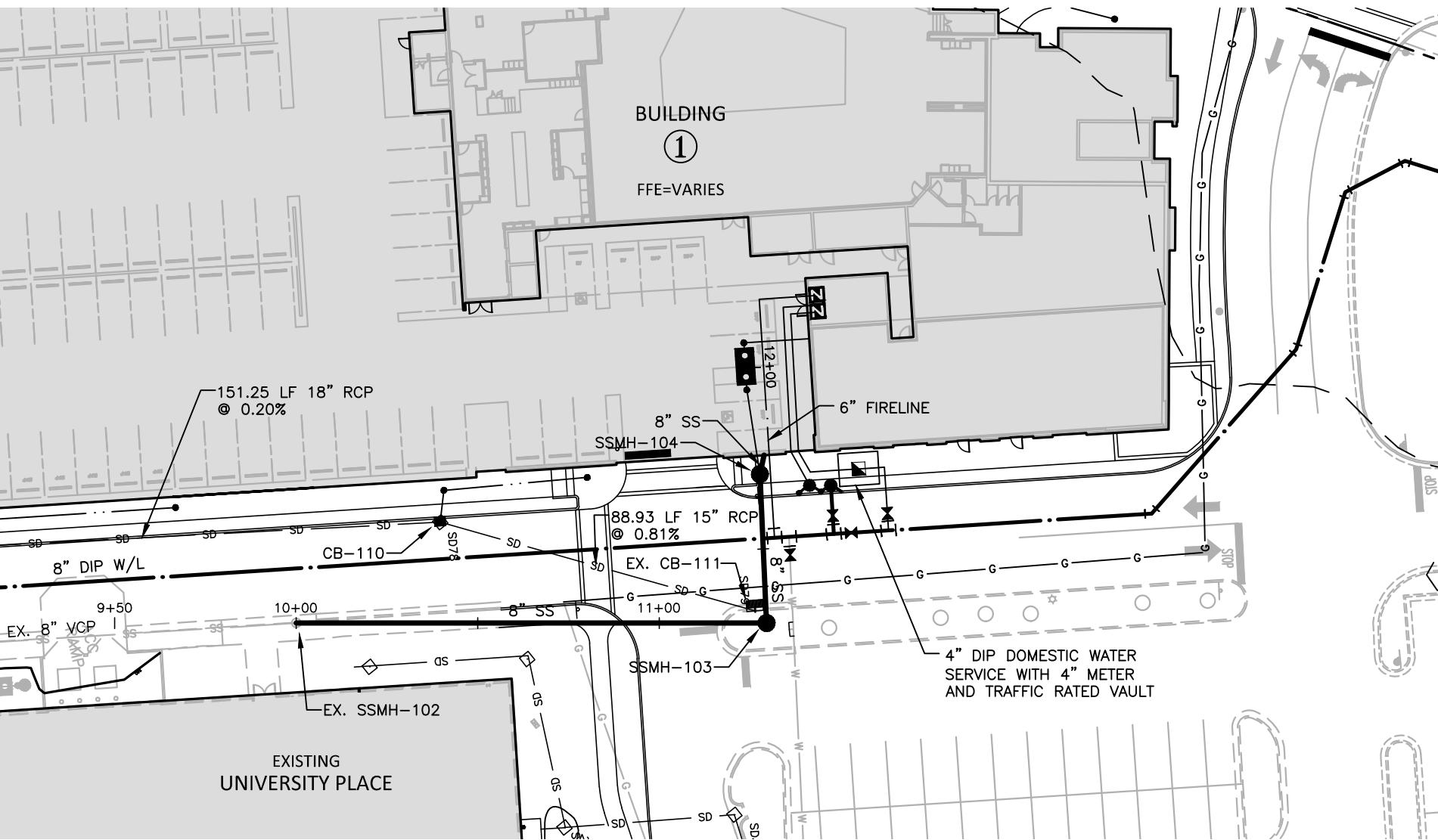
**FIRE PROTECTION
PLAN**

C4.02

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



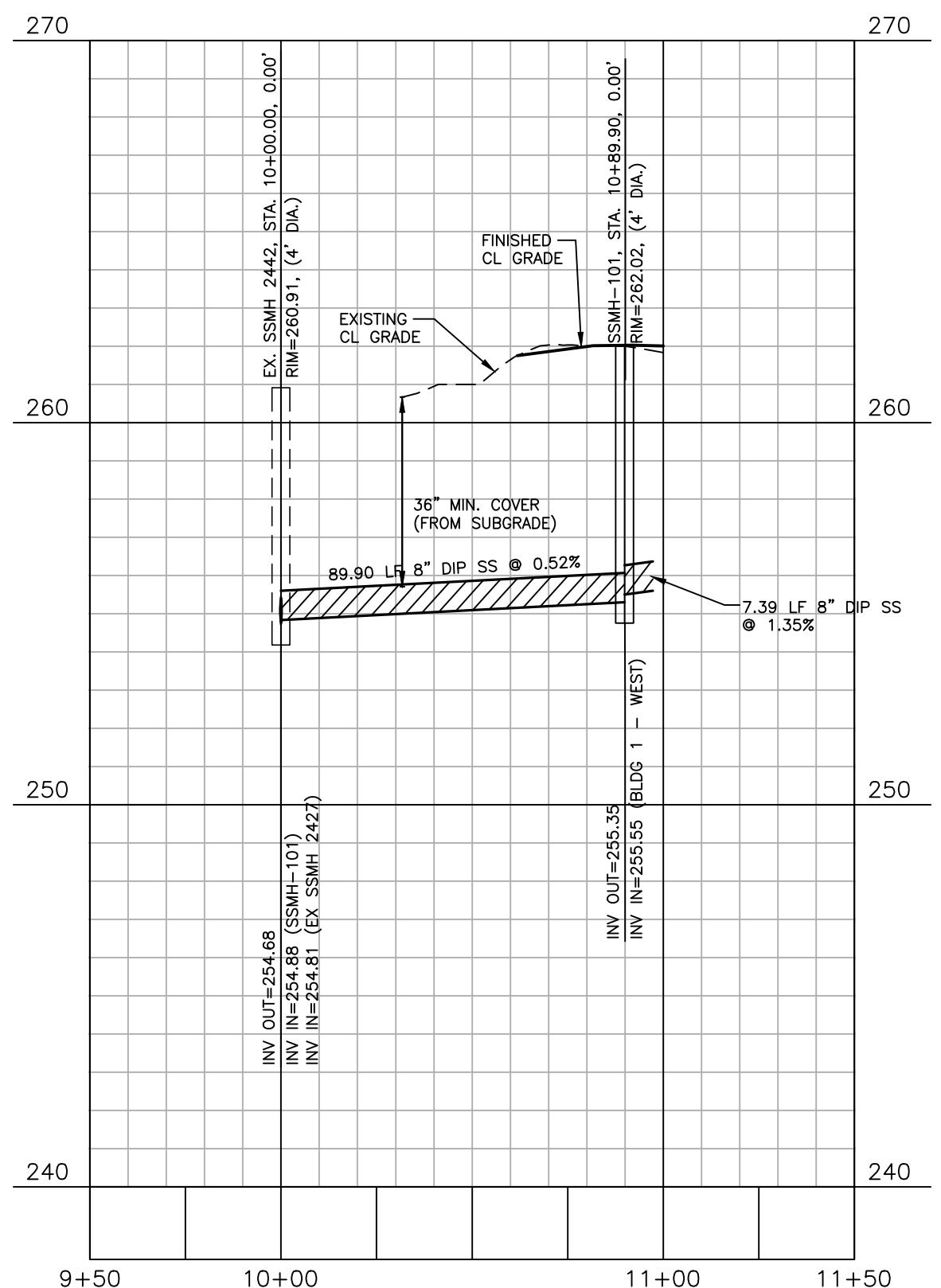
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N

GRAPHIC SCALE
1 inch = 40 ft.

SS O/F "A"



SS O/F "B"

