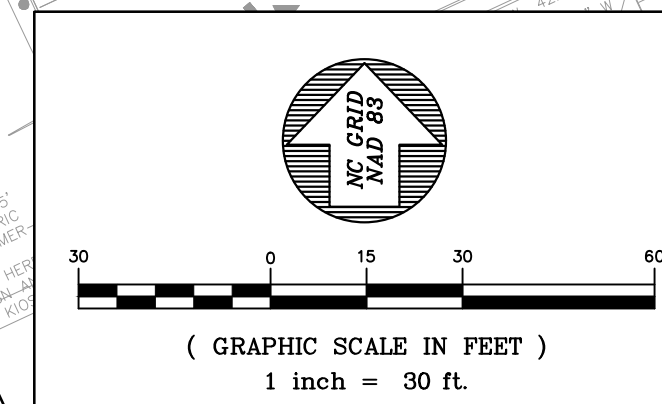


**101 E. ROSEMARY STREET
CHAPEL HILL, NORTH CAROLINA**

[illegible]

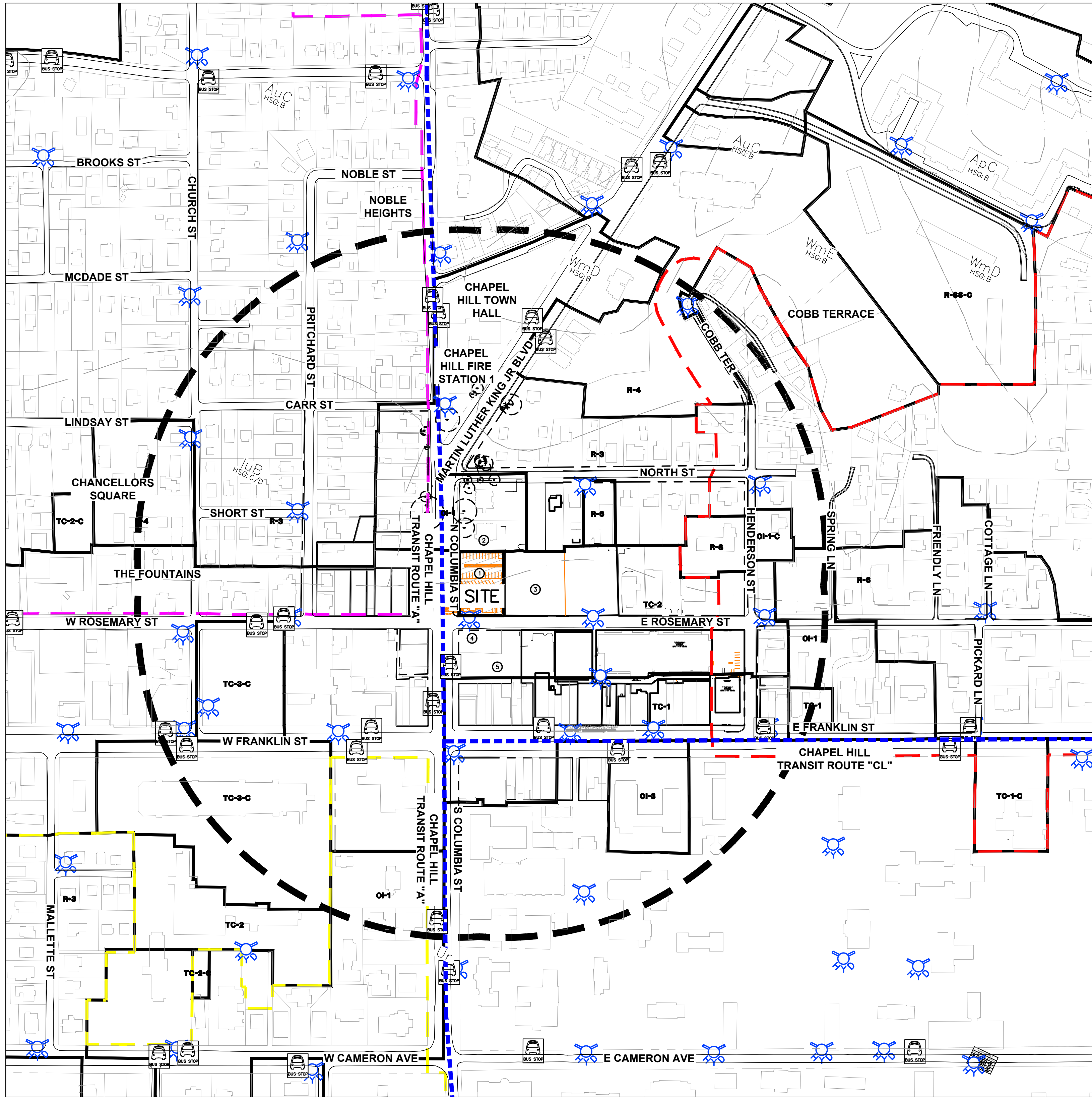
LINK ROSEMARY 101 E. ROSEMARY ST CHAPEL HILL, NORTH CAROLINA		CONDITIONAL ZONING DRAWINGS	
JOB #: 119016.04		DATE: JULY 2021	
SCALE: AS NOTED		DRAWN BY: NRP	
REVIEWED BY: G.J.R.		SHEET	
G0001			

1435 WEST MOREHEAD STREET, SUITE 160
CHARLOTTE, NC 28208
(704) 334-1716

 **GRUBB PROPERTIES**
People who care. Places that matter.
113 EDINBURGH SOUTH DR., SUITE 120
CARY, NC 27511
(919) 388-5772

 **BALLENTINE
ASSOCIATES, P.A.**
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27511
(919) 929-0481 (919) 489-4788

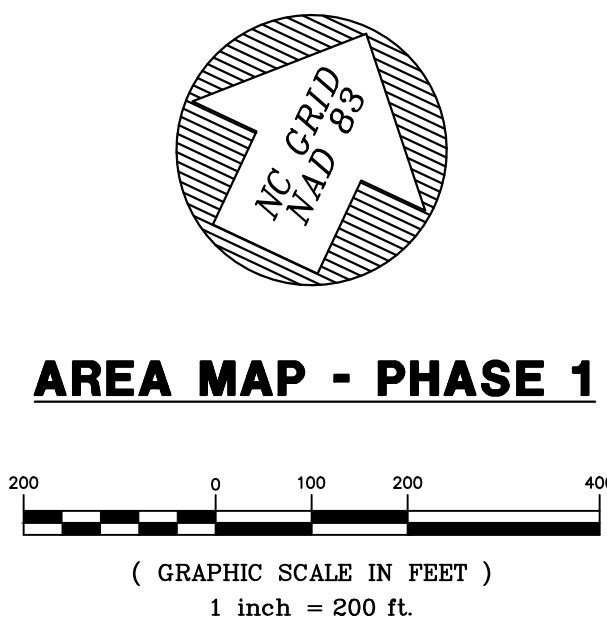
**REVIEW DRAWING
NOT FOR CONSTRUCTION**



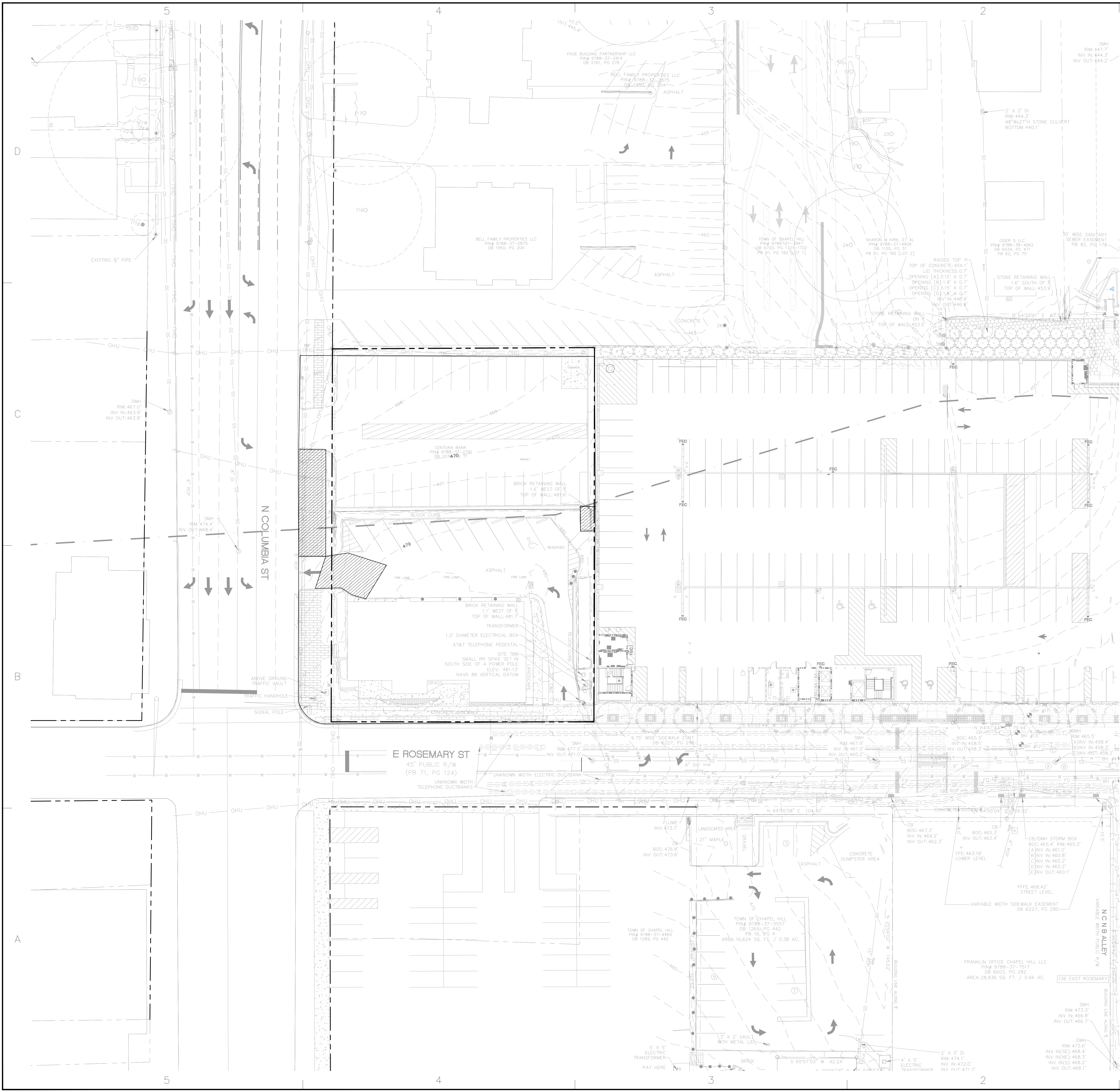
SITE PARCEL DATA						
LABEL #	OWNER	PIN #	ZONING	DB./PG.	PARCEL ACREAGE	CURRENT LAND USE
1	CENTURA BANK	9788-37-2791	TC-2	1078/71	0.64	BANK

ADJOINER PARCEL DATA				
LABEL #	OWNER(S)	PIN #	ZONING	CURRENT LAND USE
2	BELL FAMILY PROPERTIES LLC	9788-37-2875	OI-1	OFFICE
3	FRANKLIN OFFICE CHAPEL HILL LLC	9788-37-4748	TC-2	PARKING LOT
4	TOWN OF CHAPEL HILL	9788-37-4469	TC-2	PARKING LOT
5	TOWN OF CHAPEL HILL	9788-37-5557	TC-2	PARKING LOT

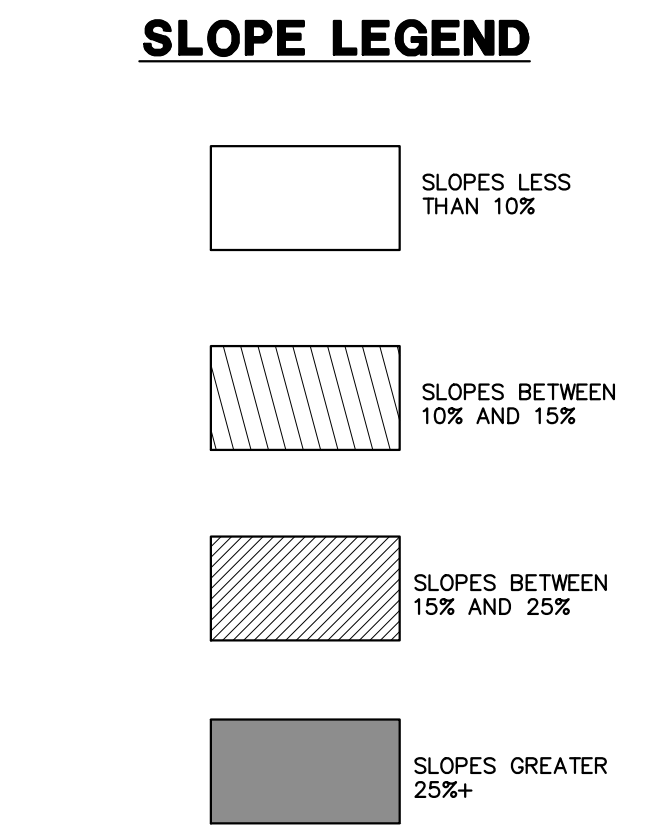
DRAWING LEGEND	
SYMBOL	DESCRIPTION
	1000' NOTIFICATION LINE
	ZONING BOUNDARY
	FRANKLIN-ROSEMARY HISTORIC DISTRICT
	CAMERON-MCCAULEY HISTORIC DISTRICT
	NORTHSIDE NEIGHBORHOOD CONSERVATION DISTRICT
	CHAPEL HILL TRANSIT ROUTE
	ZONING CLASSIFICATION
	EXISTING FIRE HYDRANT
	EXISTING BUS STOP
	PROJECT SITE



AREA MAP - PHASE 1

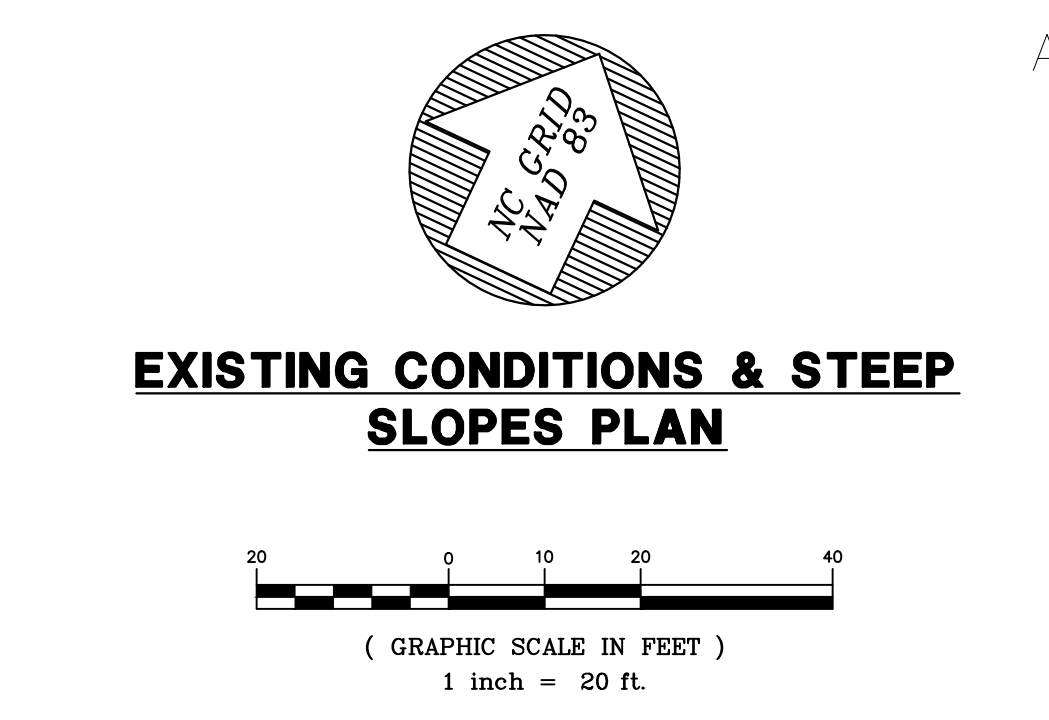


- NOTES**
- EXISTING CONDITIONS SHOWN ARE BASED UPON SITE SURVEYS PERFORMED BY BALLENTINE ASSOCIATES, KCI ASSOCIATES AND ORANGE COUNTY GIS DATA.
 - THE PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAP 3710978800K.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949). LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 - THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
 - SEE AREA MAP, C0001, FOR NEAREST CHAPEL HILL TRANSIT ROUTES.



DRAWING LEGEND

SYMBOL/ABB	REVISION	DESCRIPTION
[Solid line]	EXISTING	PROPERTY LINE
[Dashed line]	EXISTING	RIGHT-OF-WAY LINE
[Dotted line]	EXISTING	ADJOINER PROPERTY LINE
[Line with SD]	EXISTING	STORM DRAIN LINE
[Line with W]	EXISTING	WATER LINE
[Line with SS]	EXISTING	SANITARY SEWER LINE
[Line with UE]	EXISTING	UNDERGROUND ELECTRIC LINE
[Line with OHU]	EXISTING	OVERHEAD ELECTRIC LINE
[Line with G]	EXISTING	GAS LINE
[Line with FO]	EXISTING	FIBER OPTIC LINE
[Dashed line]	EXISTING	LIMITS OF DISTURBANCE
[Wavy line]	EXISTING	TREE LINE
[Line with 480]	EXISTING	MAJOR CONTOUR
[Line with 462]	EXISTING	MINOR CONTOUR
[Line with S]	EXISTING	SOIL BOUNDARY
[Line with AuC]	EXISTING	APPLYING-URBAN LAND COMPLEX
[Line with Ur]	EXISTING	URBAN LAND
[Circle with dot]	EXISTING	BOREHOLE
[Circle with cross]	EXISTING	EXISTING IRON PIPE
[Circle with X]	EXISTING	SIGN
[Circle with dot]	EXISTING	CATCH BASIN
[Circle with cross]	EXISTING	DROP INLET
[Circle with dot]	EXISTING	WATER VALVE
[Circle with cross]	EXISTING	FIRE HYDRANT
[Circle with dot]	EXISTING	SANITARY SEWER MANHOLE
[Circle with cross]	EXISTING	SANITARY SEWER CLEANOUT
[Circle with dot]	EXISTING	POWER POLE
[Circle with cross]	EXISTING	LIGHT POLE
[Circle with dot]	EXISTING	ELECTRIC BOX
[Circle with cross]	EXISTING	HVAC UNIT
[Circle with dot]	EXISTING	GAS METER
[Circle with cross]	EXISTING	GAS VALVE
[Circle with dot]	EXISTING	TELEPHONE VAULT
[Circle with cross]	EXISTING	FIBER OPTIC MARKER
[Circle with dot]	EXISTING	DECIDUOUS TREE
[Circle with cross]	EXISTING	CONIFEROUS TREE
[Circle with dot]	EXISTING	CONCRETE SIDEWALK
[Circle with cross]	EXISTING	BRICK SIDEWALK



BALLENTINE ASSOCIATES, P.A.
227 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929 - 0461
(919) 469 - 4785

Copyright © 2021
BALLENTINE ASSOCIATES, P.A.
THIS DOCUMENT IS THE PROPERTY OF
BALLENTINE ASSOCIATES, P.A. ALL
RIGHTS RESERVED. ANY
REPRODUCTION OF THIS DOCUMENT OR
PERMISSION OF BALLENTINE
ASSOCIATES, P.A. WILL BE SUBJECT
TO A SEPARATE AGREEMENT.

REGISTERED PROFESSIONAL ENGINEER
CORPORATE
S.EAL
C328
NORTH CAROLINA
Chapel Hill

NOT FOR CONSTRUCTION
ENGINEER
DION W. SMITH
1117 CONBURN SOUTH DRIVE
SUITE 110
CARY, NC 27511
OWNERS REPRESENTATIVE:
JOE DYE
(919) 388-5774
FAX (919) 461-3939
EMAIL: jody@ballentine.com

DATE: 29 JULY 2021

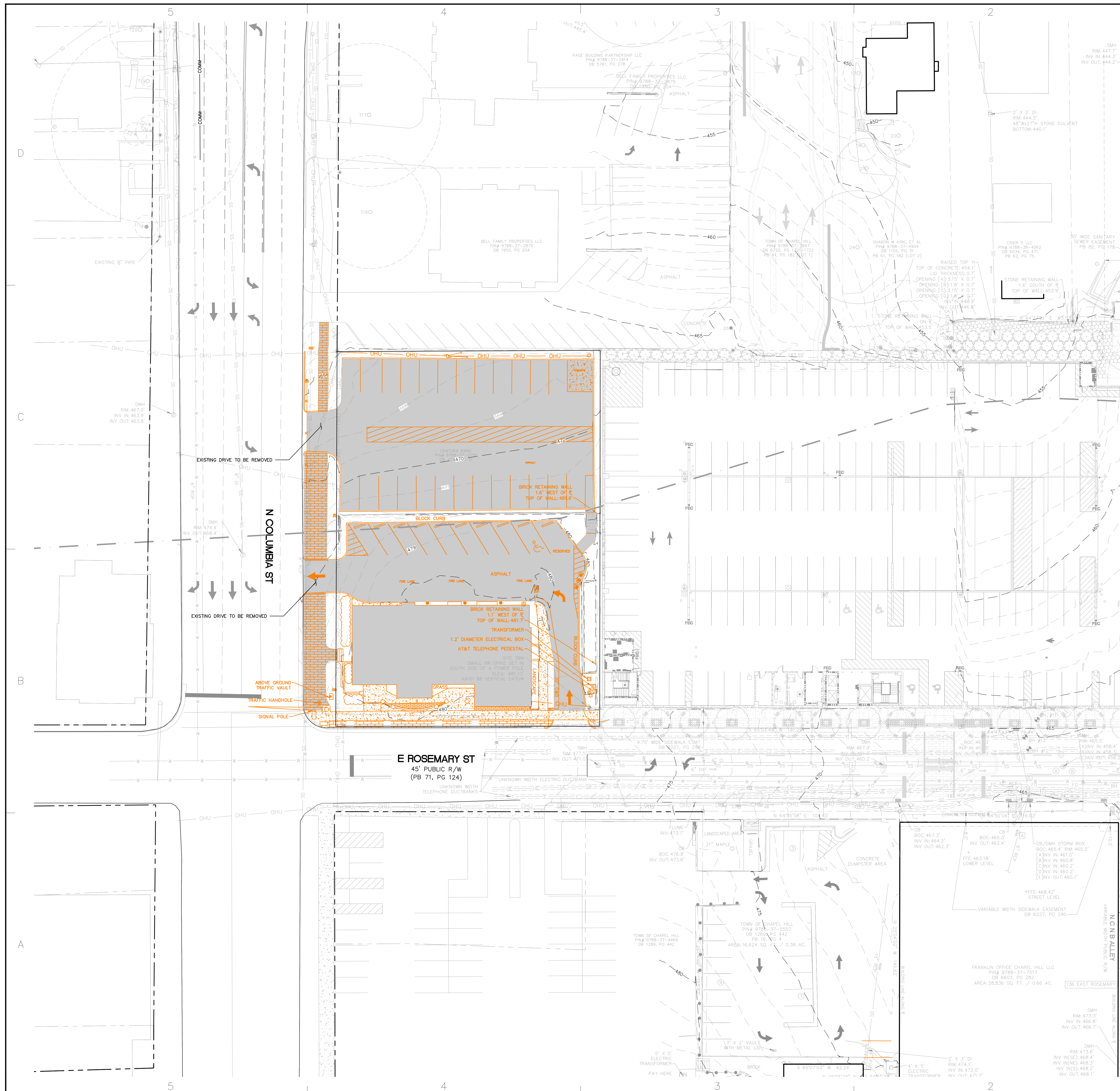
ISSUED: CONDITIONAL ZONING SUBMITTAL

LINK ROSEMARY
101 E. ROSEMARY ST
CHAPEL HILL, NORTH CAROLINA

CONDITIONAL ZONING DRAWINGS

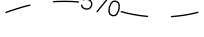
JOB #: 119016.04
DATE: JULY 2021
SCALE: AS NOTED
DRAWN BY: NRP
REVIEWED BY: G.J.R.

SHEET
C0101

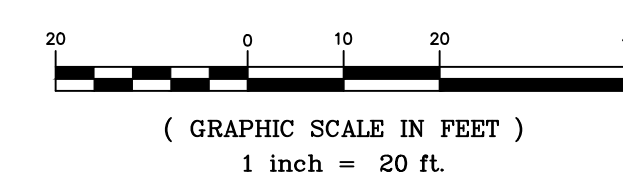


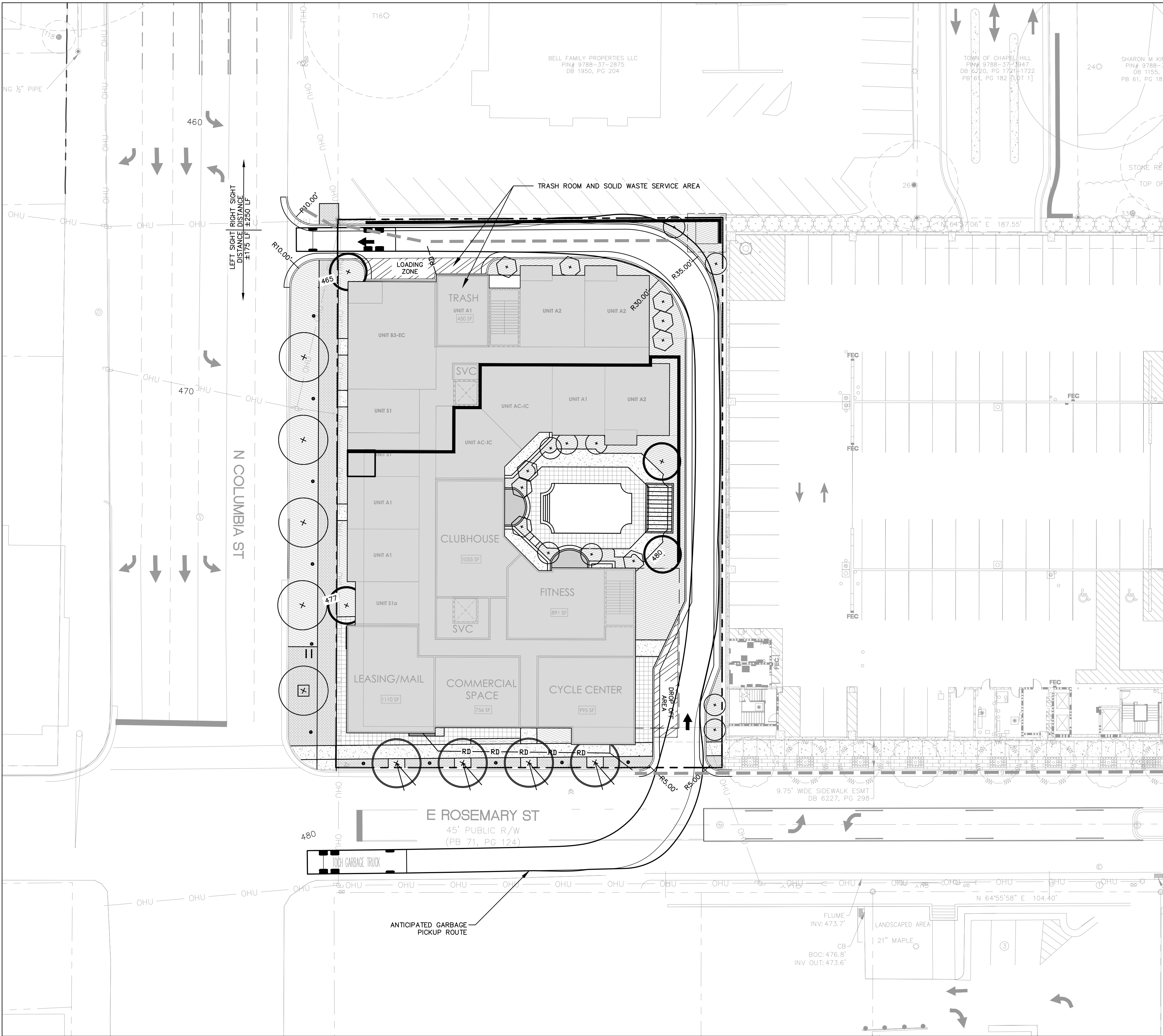
CONSTRUCTION MANAGEMENT NOTES:

1. PER LUMO SECTION 11-40, CONSTRUCTION HOURS SHALL BE LIMITED TO 7:00 AM TO 9:00 ON WEEKDAYS AND 8:00 AM TO 9:00 PM ON WEEKENDS.
2. CONSTRUCTION TRAFFIC SHALL NOT PARK ON PUBLIC STREETS AND SHALL NOT USE NEIGHBORHOOD STREETS.
3. REFER TO CONSTRUCTION MANAGEMENT PLAN FOR LAYOUT OF ALL CONSTRUCTION MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SYMBOL / ABBREVIATION	EXISTING	DEMO	DESCRIPTION
			POWER POLE
			SANITARY SEWER CLEANOUT
			FIRE HYDRANT
			WATER VALVE
			WATER METER
			MAIL BOXES
			GAS METER
			FENCE LINE
			TELEPHONE CABLING LINE
			OVERHEAD ELECTRIC LINE
			UNDERGROUND ELECTRIC LINE
			WATER LINE
			GAS LINE
			SANITARY SEWER LINE
			STORM DRAIN PIPE
			PROPERTY LINE
			ADJACENT PROPERTY LINE
			TREE LINE
			MAJOR CONTOUR
			MINOR CONTOUR
			EXISTING BUILDINGS AND PAVEMENTS
			SOIL BOUNDARY
			APPLYING URBAN LAND COMPLEX
			WEDOWEE SANDY LOAM

DEMOLITION PLAN

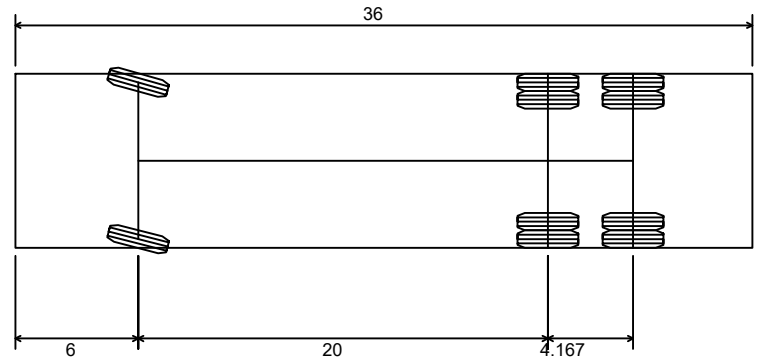




Vehicle Tracking v18.00 - Pool

Vehicle Tracking Vehicle Details Ref:

Vehicle Name: TOCH GARBAGE TRUCK
Type: Refuse vehicle
Category: (Unspecified)
Classification: (Unspecified)
Source: CCC & HEIL PRODUCTS
Description: 36 X 8.5
Notes:
Unit 1 Name: TOCH GARBAGE TRUCK Tractor



TOCH GARBAGE TRUCK
Overall Length 36.000ft
Overall Width 8.500ft
Overall Body Height 12.359ft
Min Body Ground Clearance 1.048ft
Track Width 8.500ft
Lock-to-lock time 7.00s
Curb to Curb Turning Radius 33.500ft

Every Effort Has Been Made To Ensure The Accuracy Of This Information
Please Check Data From Your Own Sources

SOLID WASTE MANAGEMENT PLAN

PROJECT NARRATIVE

THE FOLLOWING IS A NARRATIVE OF HOW SOLID WASTE, MIXED RECYCLABLES, AND CORRUGATED CARDBOARD WILL BE HANDLED FOR THE 101 E ROSEMARY ST. DEVELOPMENT ON E. ROSEMARY ST AND N. COLUMBIA ST. IN CHAPEL HILL. IT IS THE INTENT OF THE PROJECT DEVELOPER/APPLICANT TO UTILIZE THE SERVICES OF A PRIVATE COMPANY FOR THE COLLECTION OF THE STORED SOLID WASTE, MIXED RECYCLABLES, AND CORRUGATED CARDBOARD PURSUANT TO THIS OUTLINE. IN DOING SO, THE PROJECT DEVELOPER/APPLICANT UNDERSTANDS AND AGREES THAT THEY ARE WAIVING THEIR RIGHTS TO HAVE ORANGE COUNTY COMMUNITY RECYCLING COLLECT MIXED RECYCLABLES AND THAT THE PROJECT WILL NOT RECEIVE PUBLIC RECYCLING COLLECTION AT ANY TIME NOW OR IN THE FUTURE UNLESS A RECYCLING CENTER IS CONSTRUCTED TO ORANGE COUNTY SPECIFICATIONS OR CONTINGENCY FOR SUCH A CENTER IS INCLUDED ON THE DEVELOPMENT PLANS. FURTHER, THE PROJECT DEVELOPER/APPLICANT UNDERSTANDS THAT THE FEES FOR PUBLIC RECYCLING AND WASTE MANAGEMENT SHALL NOT BE WAIVED. IN ADDITION, PRIOR TO PLAN APPROVAL, THE PROJECT DEVELOPER/APPLICANT SHALL PROVIDE A COPY OF A LETTER FROM THE INTENDED PRIVATE GARBAGE, MIXED RECYCLABLE AND CORRUGATED CARDBOARD COLLECTOR ACKNOWLEDGING THAT THEY HAVE REVIEWED THE PROJECT PLANS AND AGREE TO THE PRESCRIBED METHODS FOR STORAGE AND COLLECTION OF THESE MATERIALS AS STATED HEREIN.

REFUSE SUMMARY

- GARBAGE RECEPTACLES WILL BE LOCATED WITHIN THE BUILDING INSIDE A DESIGNATED TRASH ROOM AND WILL BE MONITORED AND COLLECTED AS NEEDED BY MANAGEMENT PERSONNEL. RESIDENTS ARE RESPONSIBLE FOR DEPOSITING THEIR TRASH INTO THE RECEPTACLES. CORRUGATED CARDBOARD AND MIXED RECYCLABLES SHALL NOT BE PLACED IN THE GARBAGE RECEPTACLES. GARBAGE AND RECYCLING RECEPTACLES WILL BE MARKED WITH APPROPRIATE SYMBOLS.
- THE RECEPTACLES WILL BE LOCATED IN THE TRASH ROOM ON THE BASEMENT LEVEL OF THE BUILDING. MANAGEMENT PERSONNEL SHALL BE RESPONSIBLE FOR MANAGING THE ROOM AS NEEDED.
- ON TRASH COLLECTION DAY, MANAGEMENT PERSONNEL SHALL ENSURE THAT THE RECEPTACLES ARE ACCESSIBLE TO THE PRIVATE COLLECTION VENDOR.
- INITIALLY WE ANTICIPATE TRASH PICK-UP TO OCCUR AT LEAST ONCE PER WEEK. MANAGEMENT PERSONNEL WILL MONITOR TRASH VOLUMES AND ADJUST PICK-UP SCHEDULE(S) AS NEEDED.
- GARBAGE COLLECTION AND HAUL OFF WILL BE PERFORMED BY A PRIVATE VENDOR, HIRED BY MANAGEMENT.

RECYCLING SUMMARY

- THE TRASH ROOM SHALL BE UTILIZED TO ACCOMMODATE 90 GALLON ROLL CARTS. THE ROLL CARTS WILL BE USED TO STORE ALL COMMINGLED RECYCLING, INCLUDING CORRUGATED CARDBOARD. RESIDENTS ARE RESPONSIBLE FOR DEPOSITING THEIR RECYCLABLES THE 90 GALLON ROLL CARTS.
- TRASH SHALL NOT BE PLACED IN THE RECYCLING ROLL CARTS AND SIGNS STATING THIS WILL BE PLACED ON THE CARTS.
- INITIALLY WE ANTICIPATE COMMINGLED RECYCLING PICK-UP TO OCCUR AT LEAST TWICE PER WEEK. MANAGEMENT PERSONNEL WILL MONITOR COMMINGLED RECYCLING VOLUMES AND ADJUST PICK-UP SCHEDULE(S) AS NEEDED.
- RECYCLING COLLECTION AND HAUL OFF WILL BE PERFORMED BY A PRIVATE VENDOR, HIRED BY MANAGEMENT.

CARDBOARD

- AS NOTED ABOVE, CORRUGATED CARDBOARD WILL BE COMMINGLED WITH OTHER RECYCLABLES AND PLACED INTO THE 90 GALLON ROLL CARTS.
- RESIDENTS WILL BE RESPONSIBLE FOR DELIVERING BROKEN DOWN CORRUGATED CARDBOARD BOXES AND OTHER CARDBOARD TO THE ROLL CARTS.
- INITIALLY WE ANTICIPATE RECYCLING PICK-UP TO OCCUR AT LEAST TWICE PER WEEK. MANAGEMENT PERSONNEL WILL MONITOR CARDBOARD VOLUMES AND ADJUST PICK-UP SCHEDULE(S) AS NEEDED.

PUBLIC RECYCLING WAIVER

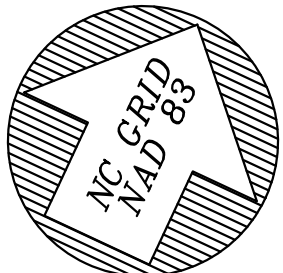
- APPLICANT ELECTS TO PROVIDE RECYCLING SERVICES TO RESIDENTS/TENANTS OF THIS PROPERTY IN LIEU OF BUILDING A RECYCLING STATION CONSTRUCTED TO ORANGE COUNTY SPECIFICATIONS. THE SITE WILL NOT RECEIVE PUBLIC RECYCLING COLLECTION NOW OR IN THE FUTURE UNLESS SUCH A RECYCLING STATION IS CONSTRUCTED OR CONTINGENCY FOR SUCH A STATION IS INCLUDED ON THE DEVELOPMENT PLANS.
- APPLICANT MUST REQUIRE AT THE LEAST THE SAME LEVEL OF SERVICE (CURRENT OR FUTURE) TO ITS RESIDENTS AS THAT PROVIDED BY ORANGE COUNTY.
- COUNTY FEES FOR RECYCLING AND WASTE MANAGEMENT ASSOCIATED WITH THIS PROJECT/PROPERTY WILL NOT BE WAIVED.
- APPLICANT AGREES TO ENTER INTO A SERVICE AGREEMENT WITH A PRIVATE SOLID WASTE/RECYCLING COLLECTION CONTRACTOR THAT IS ACCEPTABLE TO ORANGE COUNTY. FURTHER, THE AGREEMENT SHALL PROVIDE FOR THE COLLECTION AND RECYCLING OF CORRUGATED CARDBOARD IN ADDITION TO THE OTHER CO-MINGLED RECYCLABLES AND AN EXECUTED COPY OF THE AGREEMENT SHALL BE PROVIDED TO AND APPROVED BY ORANGE COUNTY PRIOR TO APPROVAL OF FINAL CONSTRUCTION PLANS FOR THE PROPERTY/PROJECT.

CONSTRUCTION WASTE NOTES

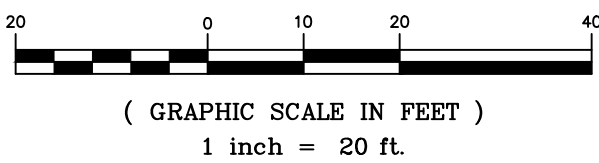
- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS.
- PURSUANT TO THE COUNTY'S RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- PURSUANT TO THE COUNTY'S RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE (WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS) SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ("ACM") AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

DRAWING LEGEND

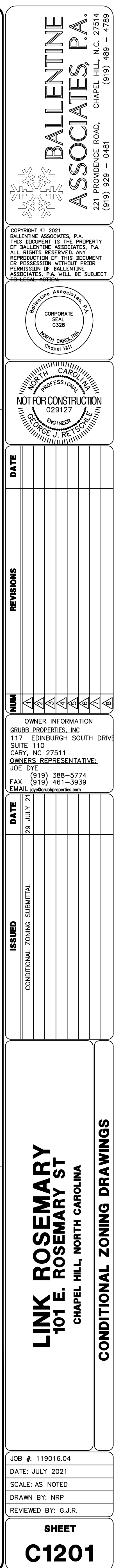
SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---			PROPERTY LINE / RIGHT-OF-WAY
---			SETBACK / BTZ LINE
			GARBAGE TRUCK



SOLID WASTE MANAGEMENT PLAN



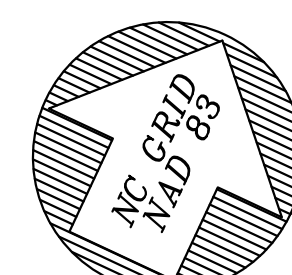
REVIEW DRAWING
NOT FOR CONSTRUCTION



2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE NCECO, NCDOT AND TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 15 INCHES AND LARGER SHALL BE CLASS III RCP.
5. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF EXISTING UTILITIES. IT IS NOT GUARANTEED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
6. ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE LONGITUDINAL SLOPE DOES NOT EXCEED 5% AND THE CROSS-SLOPE DOES NOT EXCEED 2%. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
7. TOTAL DISTURBED AREA = 0.73 ACRES. SEE IMPERVIOUS BREAKDOWN IN "SITE DATA" TABLE ON SHEET C101.
8. ALL ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
9. ALL STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.

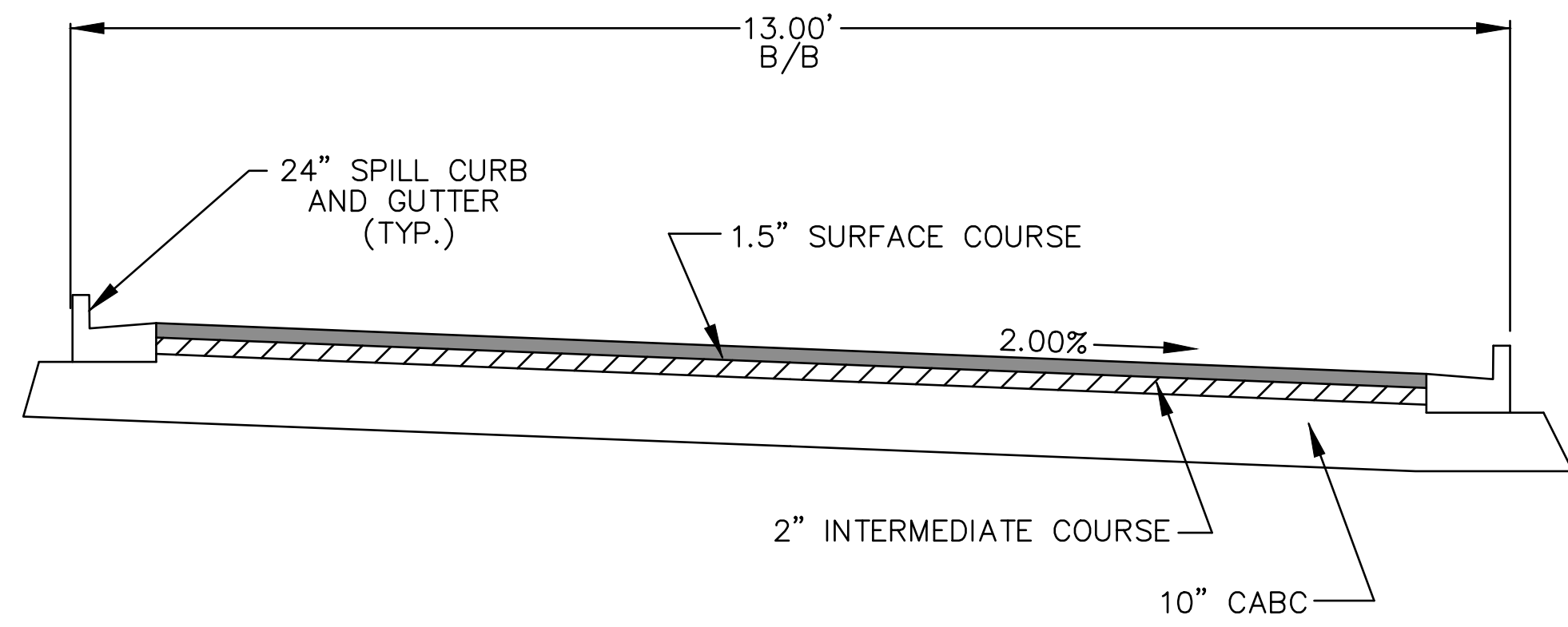
[illegible]

SYMBOL/ABBREVIATION EXISTING	NEW	DESCRIPTION
CB/C1		CATCH BASIN/CURB INLET
		YARD INLET
		STORM DRAINAGE MANHOLE
		STORM DRAINAGE PIPE
		CONTOUR
		SPOT ELEVATION
		SPOT ELEVATION AT CURB
		EASEMENT LINE
		SILT FENCE
		LIMITS OF DISTURBANCE

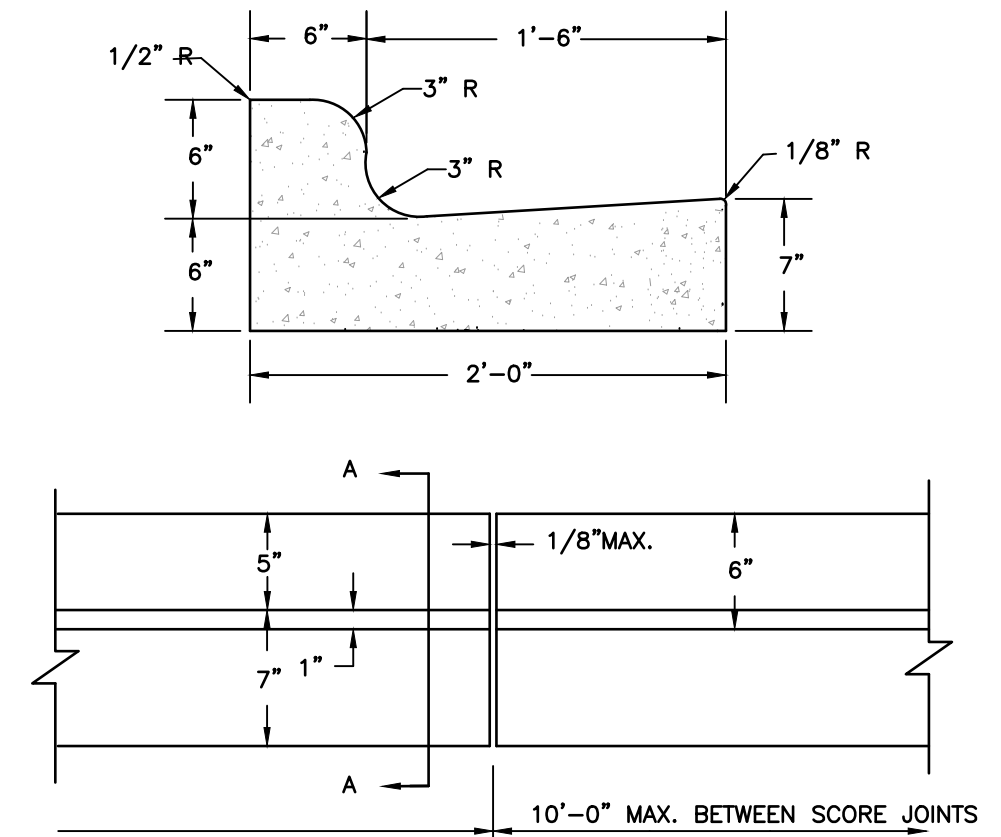


(GRAPHIC SCALE IN FEET)
1 inch = 20 ft.

1 **REVIEW DRAWING**
NOT FOR CONSTRUCTION

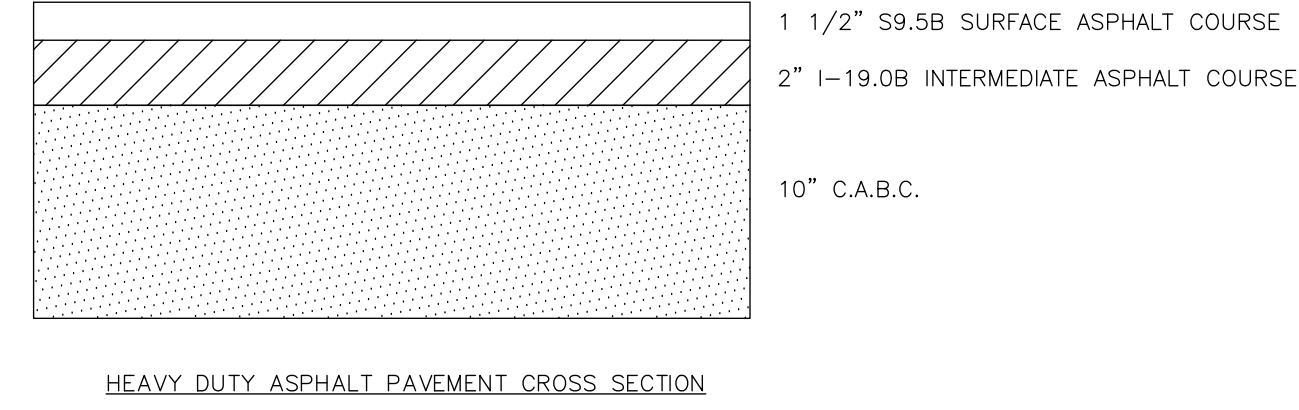


C1
C5001 12' ASPHALT DRIVE
N.T.S.

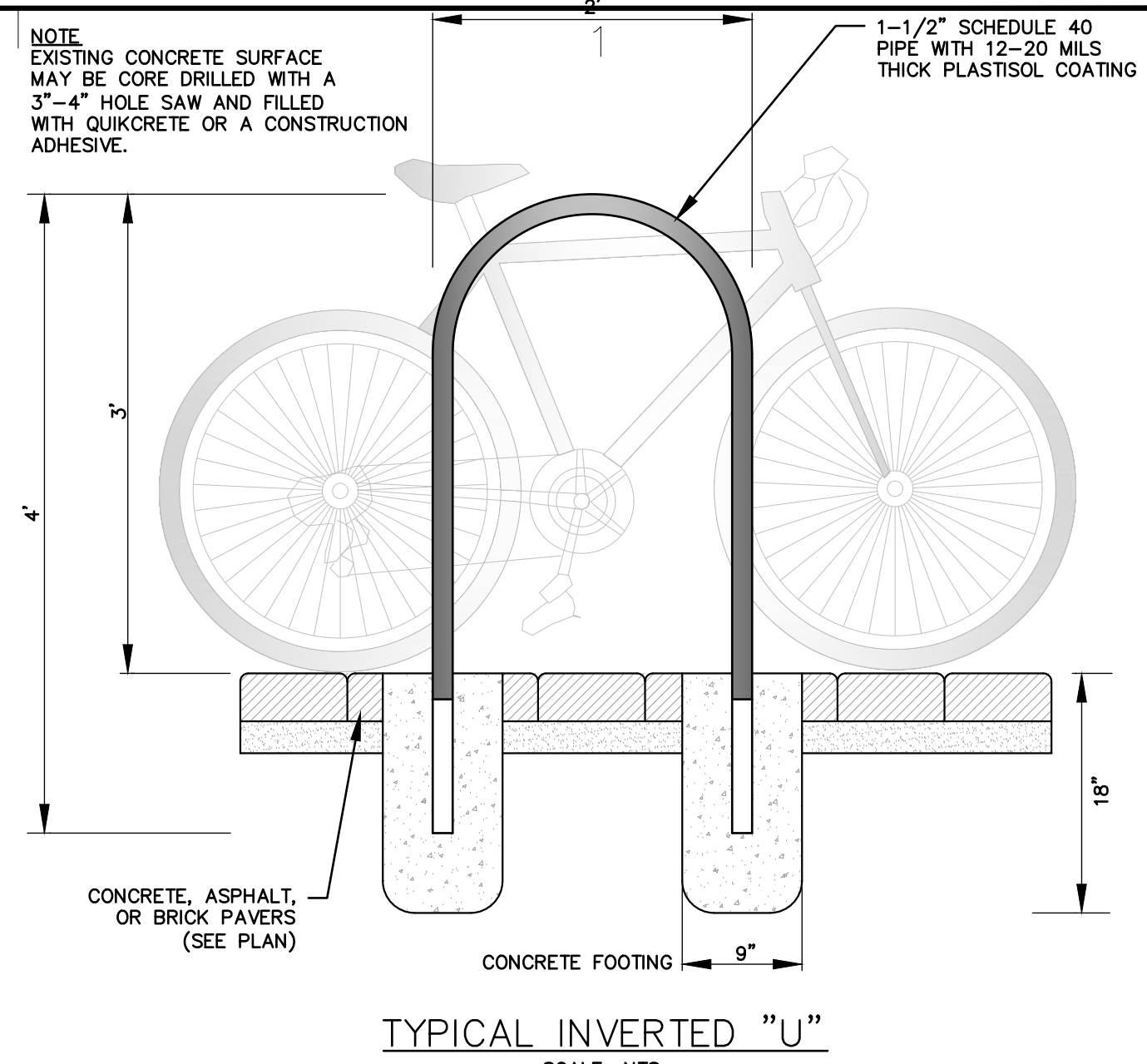


NOTES:
WHERE THE SAWED JOINT WILL LEAVE A SECTION OF CURB & GUTTER LESS THAN FIVE (5') LINEAR FEET
THE ENTIRE SECTION OF CURB MUST BE REMOVED TO THE NEAREST JOINT.

C2
C5001 24" CONCRETE CURB AND GUTTER
N.T.S.



C3
C5001 HEAVY DUTY ASPHALT PAVEMENT
N.T.S.



C4
C5001 CLASS II BIKE RACK
SCALE: N.T.S.

SITE DETAILS

REVIEW DRAWING
NOT FOR CONSTRUCTION

LINK ROSEMARY
101 E. ROSEMARY ST
CHAPEL HILL, NORTH CAROLINA

CONDITIONAL ZONING DRAWINGS

JOB #: 119016.04
DATE: JULY 2021
SCALE: AS NOTED
DRAWN BY: NRP
REVIEWED BY: G.J.R.

SHEET

C5001

OWNER INFORMATION
DB/BB PROPERTIES, INC.
1117 EDINBURGH SOUTH DRIVE
SUITE 110
CARY, NC 27511
OWNERS REPRESENTATIVE:
JOE DYE
(919) 388-5774
FAX (919) 461-3939
EMAIL: jody@dbbproperties.com

NOT FOR CONSTRUCTION
029127

BALENTINE ASSOCIATES, P.A.
CORPORATE SEAL
C328
NORTH CAROLINA
Chapel Hill

COPYRIGHT © 2021
BALENTINE ASSOCIATES, P.A.
THIS DOCUMENT IS THE PROPERTY OF
BALENTINE ASSOCIATES, P.A. ALL
RIGHTS RESERVED. ANY REPRODUCTION
OF THIS DOCUMENT OR POSSESSION
WITHOUT PRIOR PERMISSION OF
BALENTINE ASSOCIATES, P.A. WILL BE
SUBJECT TO LEGAL ACTION.

BALENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929 - 0481

MATERIALS LEGEND

- CONCRETE
- RED BRICK PAVERS, TO MATCH EXISTING AND COMPLY WITH TOWN OF CHAPEL HILL DESIGN STANDARDS
- BRICK UNIT PAVERS
- CONCRETE UNIT PAVERS, TO COMPLY WITH TOWN OF CHAPEL HILL DESIGN STANDARDS
- BIKE RACK, TO COMPLY WITH TOWN OF CHAPEL HILL DESIGN STANDARDS
- TRASH RECEPTACLE, TO COMPLY WITH TOWN OF CHAPEL HILL DESIGN STANDARDS
- TREE GRATE, TO COMPLY WITH TOWN OF CHAPEL HILL DESIGN STANDARDS
- OVERHEAD STRUCTURE - COURTYARD
- SEAT WALL
- PEDESTRIAN POLE LIGHT, TO COMPLY WITH TOWN OF CHAPEL HILL DESIGN STANDARDS

LANDSCAPE AND PLANTING NOTES

A. MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER (FOR SINGLE STEM TREES).

B. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3" TO 5" TRUNKS, AND MINIMUM 8' TALL.

C. ALL NEW PLANTING AREAS (GRASS/TURF, SOD, PLANTS, TREES, SHRUBS, GROUNDCOVER, ETC.) SHALL BE FINE GRADED PRIOR TO INSTALLATION. FINE GRADING SHALL CONSIST OF UNCOMPACTED SOIL THAT IS HAND RAKED, SMOOTH, AND FREE OF DEBRIS (NO STONES, ROOTS, OR ANY OTHER MATERIAL GREATER THAN 1" IN SIZE).

D. TILL SOIL TO A DEPTH OF 24" FOR TREES AND SHRUBS AND 6" FOR GRASS/TURF. AMEND THE TOP 24" OF SOIL FOR TREES AND SHRUBS AND TOP 6" OF SOIL FOR GRASS/TURF TO MEET TOPSOIL/PLANTING MIX STANDARDS AS REQUIRED BY SPECIFICATIONS.

E. CONTRACTOR IS REQUIRED TO PERFORM SOIL TESTS TO DETERMINE SOIL NUTRIENT REQUIREMENTS FOR ALL GRASS/TURF, SOD, PLANT, TREE, SHRUB, AND GROUNDCOVER AREAS. CONTRACTOR TO SUBMIT SOIL TEST TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO MOBILIZATION.

F. IN ADDITION TO THE SOIL MIXTURE, CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING SOIL AMENDMENTS, AS INDICATED BY SOIL TESTS, AS WELL AS, AN ADEQUATE DRAINAGE SYSTEM FOR PLANTING BEDS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN ENVIRONMENT SUITABLE FOR THE GROWTH OF HEALTHY PLANT MATERIAL. THE LANDSCAPE ARCHITECT MAY REQUIRE ADDITIONAL SOIL AMENDMENTS AND EXCAVATION OF EXISTING SOIL DURING ONSITE OBSERVATIONS PRIOR TO OR AFTER CONSTRUCTION. REFER TO PLANTING DETAILS FOR INFORMATION ON PLANTING BED PREPARATIONS. ALL PLANTING BEDS WILL BE PROBED BY THE LANDSCAPE ARCHITECT TO DETERMINE DEPTH AND SOIL QUALITY FOLLOWING INSTALLATION.

G. ALL PLANTING BEDS AND SOD/TURF/SEEDED AREAS TO RECEIVE AN AMENDED SOIL MIXTURE. SOIL MIX SHALL BE COMPOSED OF 75% EXISTING SOIL, 15% ORGANIC MATERIAL, AND 10% SAND. SUPPLEMENT SOIL MIX WITH NITROGEN CONCENTRATION AS DETERMINED BY SOIL TEST RESULTS.

H. SITE LIGHT POLES GREATER THAN 15' TALL MUST BE A MINIMUM OF 30' AWAY FROM ALL TREES. SITE LIGHT POLES LESS THAN 15' TALL MUST BE A MINIMUM OF 15' AWAY FROM ALL TREES.

I. ENSURE ALL TREES ARE A MINIMUM OF 15' FROM ALL UNDERGROUND UTILITIES (GAS, WATER, PHONE, AND ELECTRICAL LINES). CONTACT LANDSCAPE ARCHITECT IF FIELD MODIFICATIONS ARE REQUIRED.

J. NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATIONS TO THE APPROVED PLANS. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".

K. ALL DISTURBED AREAS SHALL BE LANDSCAPED (GRASS/TURF, SOD, PLANTS, TREES, SHRUBS, GROUNDCOVER, ETC.). ALL AREAS NOT DESIGNATED AS PLANTING BEDS OR SOD ARE TO BE SEEDED WITH GRASS SEED UNTIL A PERMANENT STAND OF GRASS IS ESTABLISHED PER THE SPECIFICATIONS.

L. CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES TO LANDSCAPE ARCHITECT.

M. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

N. LARGE MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES CONFLICT WITH POWER LINES, SIGNS, UNDERGROUND UTILITIES, OR ANY OTHER SITE FEATURES, CONTACT LANDSCAPE ARCHITECT BEFORE PLANTING.

O. CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED AND SAID MATERIAL AS SPECIFIED IS ALSO AVAILABLE AT TIME OF INSTALLATION. NO SUBSTITUTIONS DUE TO PLANT AVAILABILITY WILL BE APPROVED.

P. PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING PLANS TO DETERMINE FINAL QUANTITIES. PROMPTLY REPORT ANY DISCREPANCIES WHICH MAY AFFECT BIDDING. GRAPHIC REPRESENTATION OF PLANTS SHALL SUPERCEDE QUANTITIES LISTED IN THE PLANT SCHEDULE.

Q. ROOT TYPE MAY BE FREELY SUBSTITUTED FOR BALLED AND BURLAPPED OR CONTAINER GROWN PLANTS (UNLESS NOTED AS SPECIMEN TREES ON PLANT SCHEDULE). ALL OTHER SPECIFICATIONS ARE TO REMAIN UNCHANGED (HEIGHT, WIDTH, ETC.).

R. FOR ALL TREES, SHRUBS, GROUNDCOVERS AND SOD - CONTRACTOR TO APPLY A PRE-EMERGENT HERBICIDE, 'PREEN' OR EQUAL TO ALL PLANT BED AREAS AND PROVIDE DOCUMENTATION OF QUANTITY AND PRODUCT USED TO LANDSCAPE ARCHITECT PRIOR TO FINAL PROJECT APPROVAL.

S. FOR ALL SEEDED GRASS/TURF - REMOVE WEEDS BEFORE SEEDING. WHERE WEEDS ARE PRESENT, APPLY SELECTIVE HERBICIDES TO ELIMINATE ALL WEEDS. DO NOT USE PRE-EMERGENCE HERBICIDES.

T. CONTRACTOR IS TO PROVIDE OWNER AN ESTABLISHED, HEALTHY, UNIFORM, CLOSE STAND OF GRASS, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SQ FT AREA AND BARE SPOTS ARE NOT TO EXCEED 5 BY 5 INCHES.

U. ALL PLANT MATERIAL MUST BE PLANTED IN CORRELATION WITH THE APPROPRIATE GROWING SEASON OF INDIVIDUAL PLANT REQUIREMENTS. SOME PERENNIALS MAY REQUIRE A SPRING PLANTING IN ORDER TO SURVIVE A FULL WINTER DORMANCY.

V. ALL PLANT MATERIAL AND WORKMANSHIP TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. REPLACEMENT PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS DOCUMENT AND SPECIFICATIONS. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS.

W. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING THE PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.

1 MATERIALS PLAN
1" = 20'

PLANTING LEGEND

- SHUMARD OAK
- BLACK GUM
- SERVICEBERRY
- CELESTIAL DOGWOOD
- REDBUD
- UNDERSTORY PLANTING MIX - STREETSCAPE
 - YALPON HOLLY
 - OAKLEAF HYDRANGEA
 - MEXICAN FEATHER GRASS
 - KARL FOERSTER REED GRASS
 - SHENANDOAH SWITCHGRASS
 - CATMINT
 - WHITE GAURA
 - THREADLEAF COREOPSIS
 - SIBERIAN IRIS
 - ROSY SEDGE
 - TEXAS SEDGE
- UNDERSTORY PLANTING MIX - COURTYARD
 - LOROPETALUM
 - FORMOSA AZALEA
 - SETSUGEKKA CAMELLIA
 - NORTHERN SEA OATS
 - AUTUMN MOOR GRASS
 - FOAM FLOWER
 - ASTILBE
 - WOODLAND PHLOX
 - WHITE GAURA
 - THREADLEAF COREOPSIS
 - SOUTHERN SHIELD FERN
 - AUTUMN FERN
 - PENNSYLVANIA SEDGE
 - BLUE GREEN SEDGE

2 PLANTING PLAN
1" = 20'

LANDSCAPE PLAN

1" = 20'

REVIEW DRAWING
NOT FOR CONSTRUCTION

BALENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929 - 0481

LITTLE
DIVERSIFIED ARCHITECTURAL CONSULTING

101 E ROSEMARY STREET
101 E. ROSEMARY ST
CHAPEL HILL, NORTH CAROLINA

CONDITIONAL ZONING DRAWINGS

JOB #: 119016.04
DATE: JULY 2021
SCALE: AS NOTED
DRAWN BY: TM, MC
REVIEWED BY: MC

SHEET
L100

LINK APARTMENTS ROSEMARY

CHAPEL HILL, NC

CHAPEL HILL CZ APPLICATION

07.29.2021

LINK APARTMENTS ROSEMARY UNIT MATRIX																					
Units	Gross (HTD.) SF	Net (HTD.) SF	Gross Balcony SF	Gross Patio SF	Gross Stoop SF	Units/Level							Total Unit Count	Units With Balconies	Units With Patios	Units With Stoops	Total Gross (HTD.) SF	Total Net (HTD.) SF	Total Unit Gross SF	Unit Type %	
	A	B	C	D	E	B1	1	2	3	4	5	6	7	F	G	H	I	J = (A x D)	K = (B x D)		L = (C x G + D x H + E x I) + J
S1	412	368	0	0	0	1	2	5	5	5	5	5	5	33	0	0	0	13,596	12,144	13,596	26%
S1a	364	324	0	0	0	0	1	1	1	1	1	1	1	7	0	0	0	2,548	2,268	2,548	
S2	506	450	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Small One Bedroom Total						1	3	6	6	6	6	6	6	40	0	0	0	16,144	14,412	16,144	65%
A1	496	449	0	160	0	0	4	6	6	6	6	6	5	39	0	0	0	19,344	20,787	19,344	
A2	585	533	67	217	70	2	3	5	5	5	5	5	3	33	0	0	3	19,305	17,589	19,515	
AC-1C	660	617	38	0	56	0	2	4	4	4	4	4	4	26	0	0	5	17,160	16,042	17,440	
One Bedroom Total						2	9	15	15	15	15	15	12	98	0	0	8	55,809	54,418	56,299	9%
B3-EC	1,151	1,070	102	106	0	1	1	2	2	2	2	2	1	13	0	0	0	14,963	13,910	14,963	
	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Two Bedroom Total						1	1	2	2	2	2	2	1	13	0	0	0	14,963	13,910	14,963	100%
Grand Totals						4	13	23	23	23	23	23	19	151	0	0	8	86,916	82,740	87,406	
Average Unit Size	576	NET SF/FL =																			
Total # of Bedrooms	164	2,5046,75912,13112,13112,13112,13112,1319,546																			

CORE FACTOR:	0.81	CORE FACTOR = Total Gross Unit SF/Total Gross Building SF (w/o parking area)	0.00	PARKING SPACES PER BEDROOM
			0.00	PARKING SPACES PER UNIT

NET HTD. SF: AREA INSIDE OF EXTERIOR/ INSULATED WALLS ("PAINT TO PAINT")
GROSS HTD. SF: AREA INCLUDING EXTERIOR/INSULATED WALLS ("EXTERIOR FACE OF STUD")
GROSS SF: TOTAL AREA UNDER ROOF

PROJECT DESIGN TEAM

architect

BeachamBunce+Manley
ARCHITECTURE pllc
1435 West Morehead Street, Suite 200
Charlotte, North Carolina 28208
vc 704 | 334 | 1716
fx 704 | 334 | 6571
contact: Heath Wickline

landscape

N/A

structural

N/A

civil

N/A

mechanical

N/A

electrical

N/A

plumbing

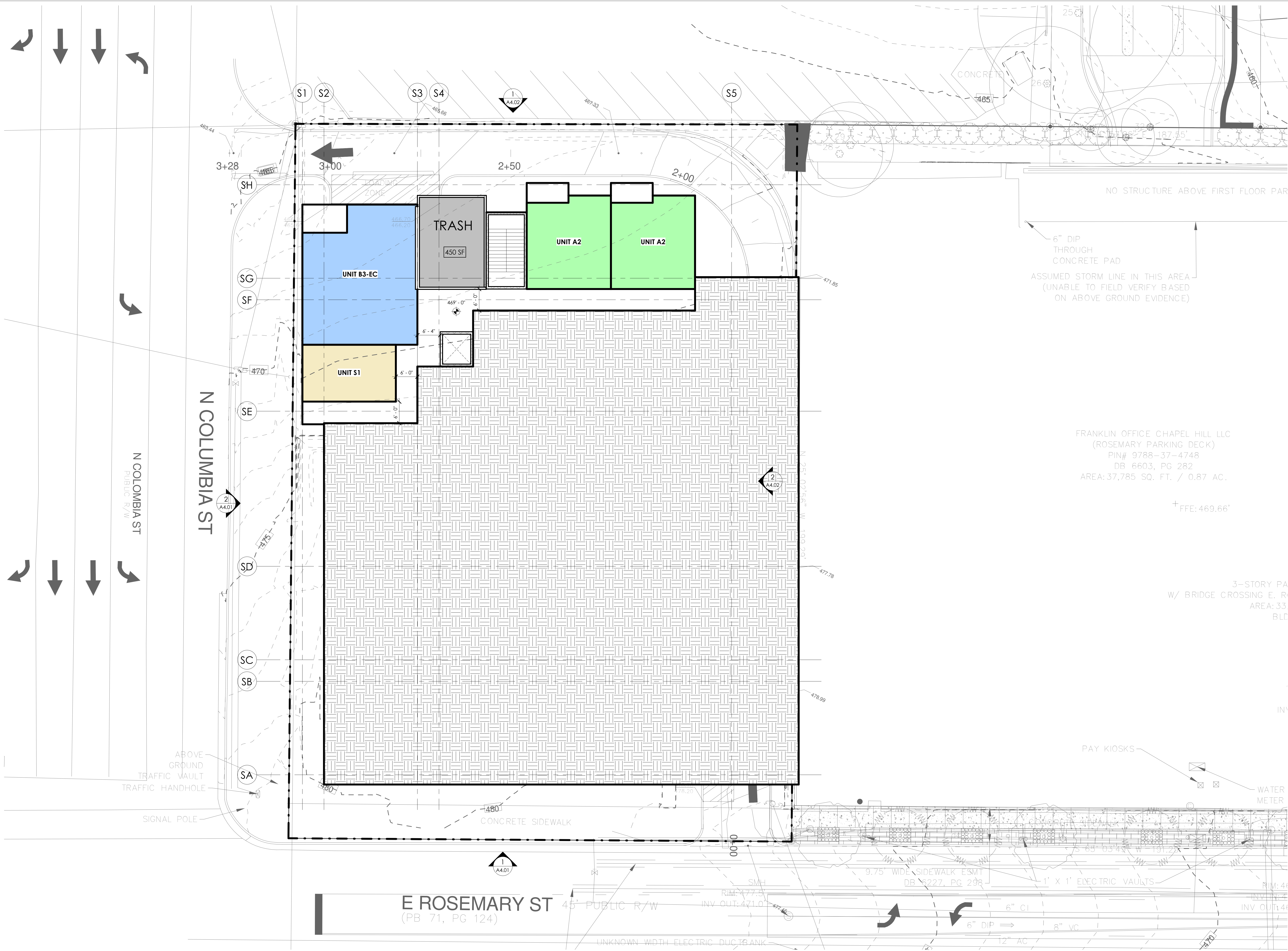
N/A

fire protection

N/A



BeachamBunce+Manley
ARCHITECTURE pllc
grinnell waterworks building
1435 w. morehead st.
suite 200
charlotte, north carolina 28208
vc 704 | 334 | 1716



LEVEL B1 (T.O.S.)
SCALE: 3/32" = 1'-0"

CHAPEL HILL CZ
APPLICATION

LINK APARTMENTS
ROSEMARY

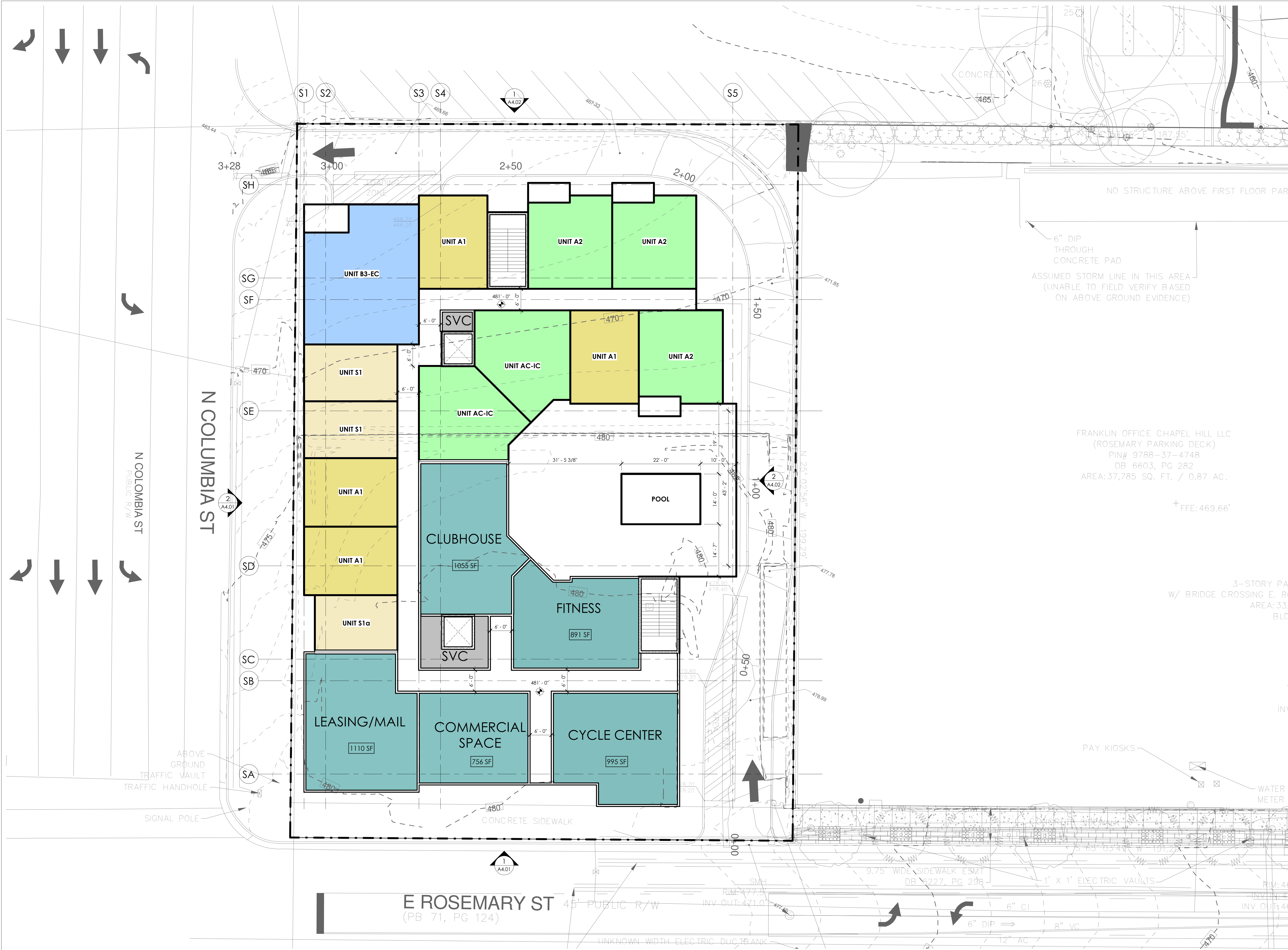


LOCATION / CHAPEL HILL, NC
PROJECT # / 21GRU230
DATE / 07.29.2021
DRAWN / PT

COPYRIGHT 2021 BB+M ARCHITECTURE PLLC.

Revisions		
No.	Description	Date

OVERALL PLAN -
BASEMENT LEVEL



LEVEL 1 (T.O.S.)
SCALE: 3/32" = 1'-0"

**CHAPEL HILL CZ
APPLICATION**

LINK APARTMENTS
ROSEMARY



LOCATION / CHAPEL HILL, NC
PROJECT # / 21GRU230
DATE / 07.29.2021
DRAWN / PT

COPYRIGHT 2021 BB+M ARCHITECTURE PLLC.

Revisions		
No.	Description	Date

**OVERALL PLAN - LEVEL
1**



**CHAPEL HILL CZ
APPLICATION**

LINK APARTMENTS
ROSEMARY



LOCATION / CHAPEL HILL, NC
PROJECT # / 21GRU230
DATE / 07.29.2021
DRAWN / PT

COPYRIGHT 2021 BB+M ARCHITECTURE PLLC.

Revisions		
No.	Description	Date

**OVERALL PLAN - LEVEL
2-5**

CHAPEL HILL CZ
APPLICATION

LINK APARTMENTS
ROSEMARY



LOCATION / CHAPEL HILL, NC
PROJECT # / 21GRU230
DATE / 07.29.2021
DRAWN / PT

COPYRIGHT 2021 BB+M ARCHITECTURE PLLC.

Revisions		
No.	Description	Date

OVERALL PLAN - LEVEL
6



1
A1.06

LEVEL 6 (T.O.D.)

SCALE: 3/32" = 1'-0"

**CHAPEL HILL CZ
APPLICATION**

LINK APARTMENTS
ROSEMARY



LOCATION / CHAPEL HILL, NC
PROJECT # / 21GRU230
DATE / 07.29.2021
DRAWN / PT

COPYRIGHT 2021 BB+M ARCHITECTURE PLLC.

Revisions		
No.	Description	Date

**OVERALL PLAN - LEVEL
7**



CHAPEL HILL CZ
APPLICATION

LINK APARTMENTS
ROSEMARY

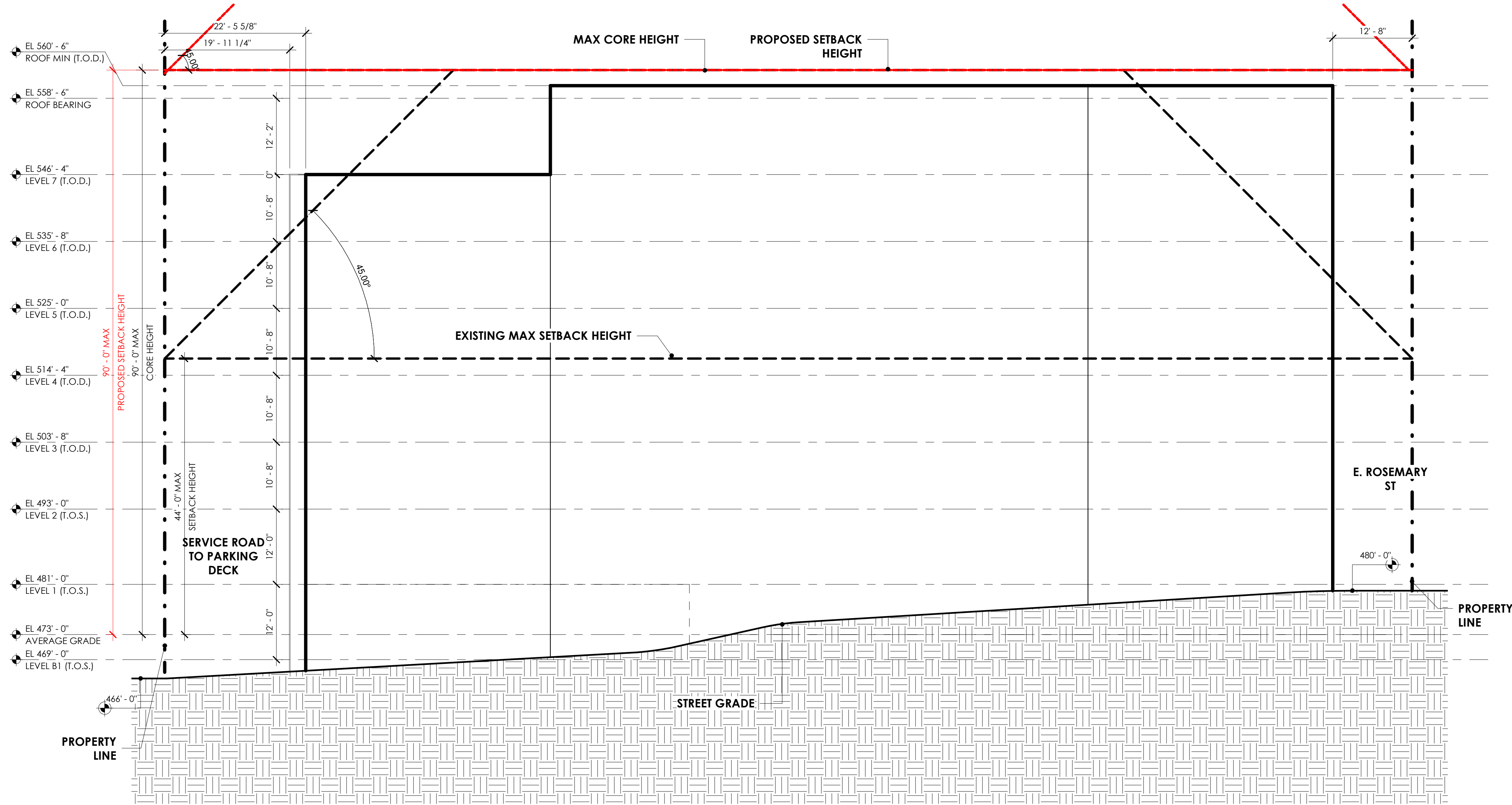


LOCATION / CHAPEL HILL, NC
PROJECT # / 21GRU230
DATE / 07.29.2021
DRAWN / FO

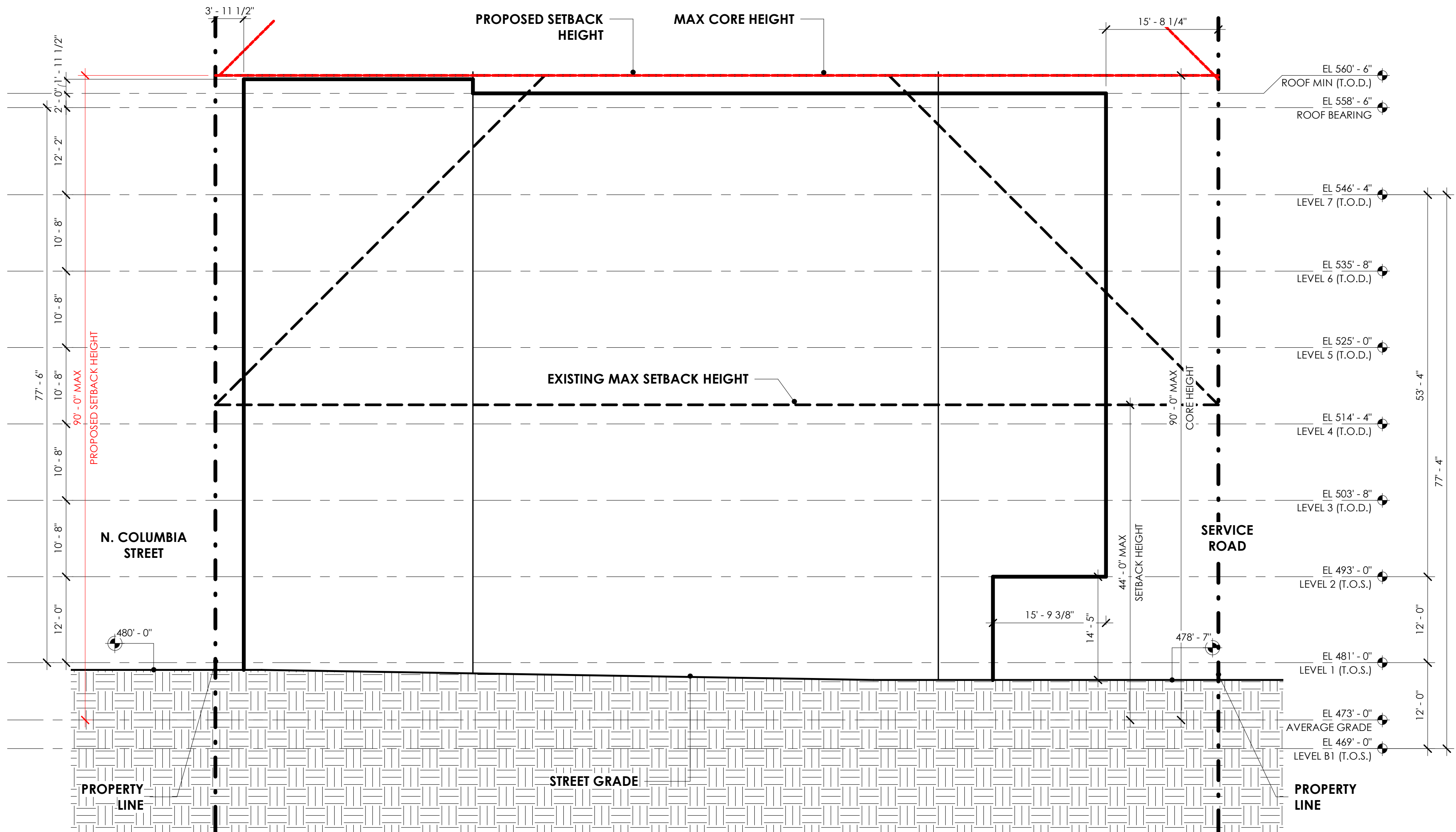
COPYRIGHT 2021 BB+M ARCHITECTURE PLLC.

Revisions		
No.	Description	Date

BUILDING ELEVATIONS -
ROSEMARY ST &
COLUMBIA ST



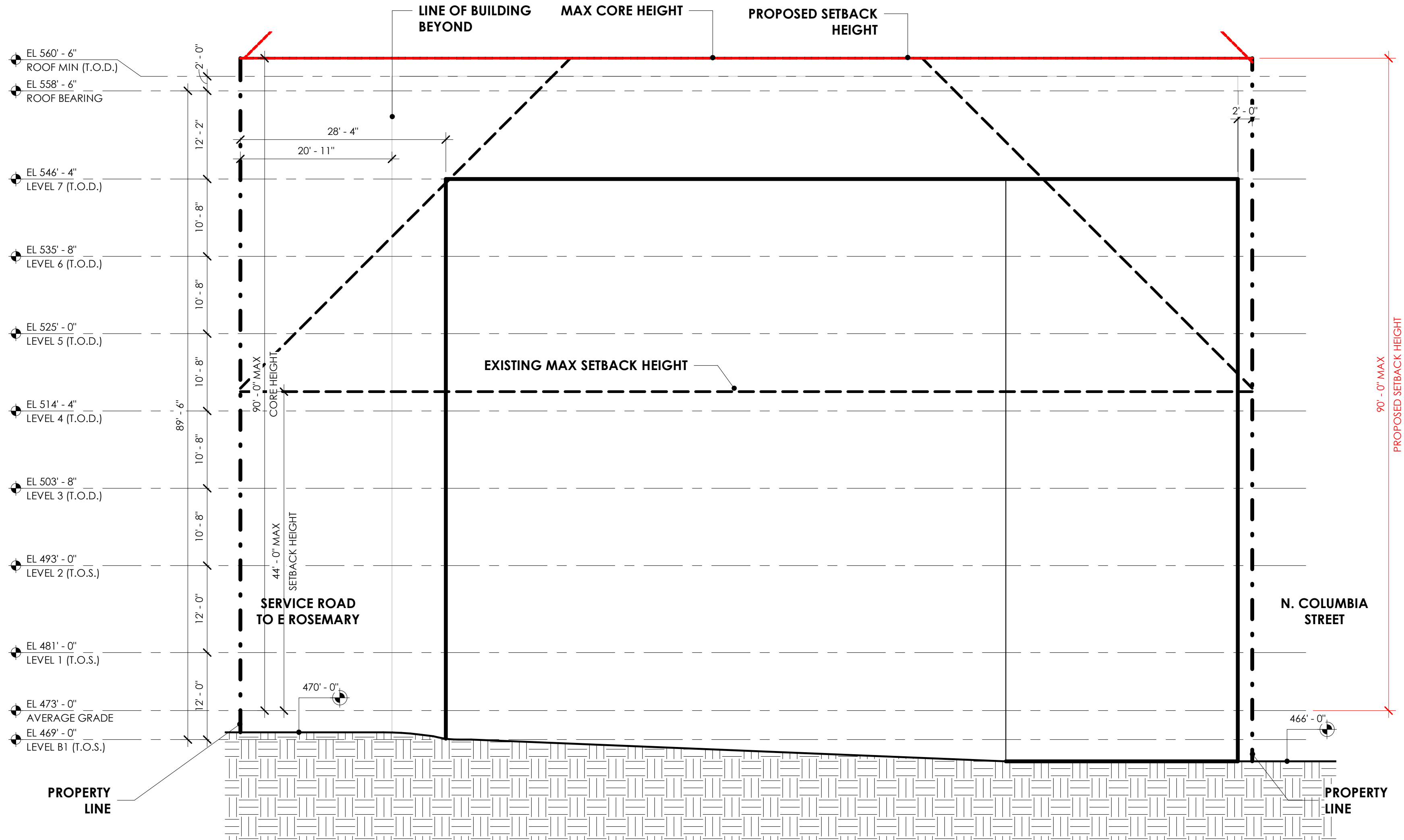
2 COLUMBIA STREET ELEVATION
A4.01 SCALE: 3/32" = 1'-0"



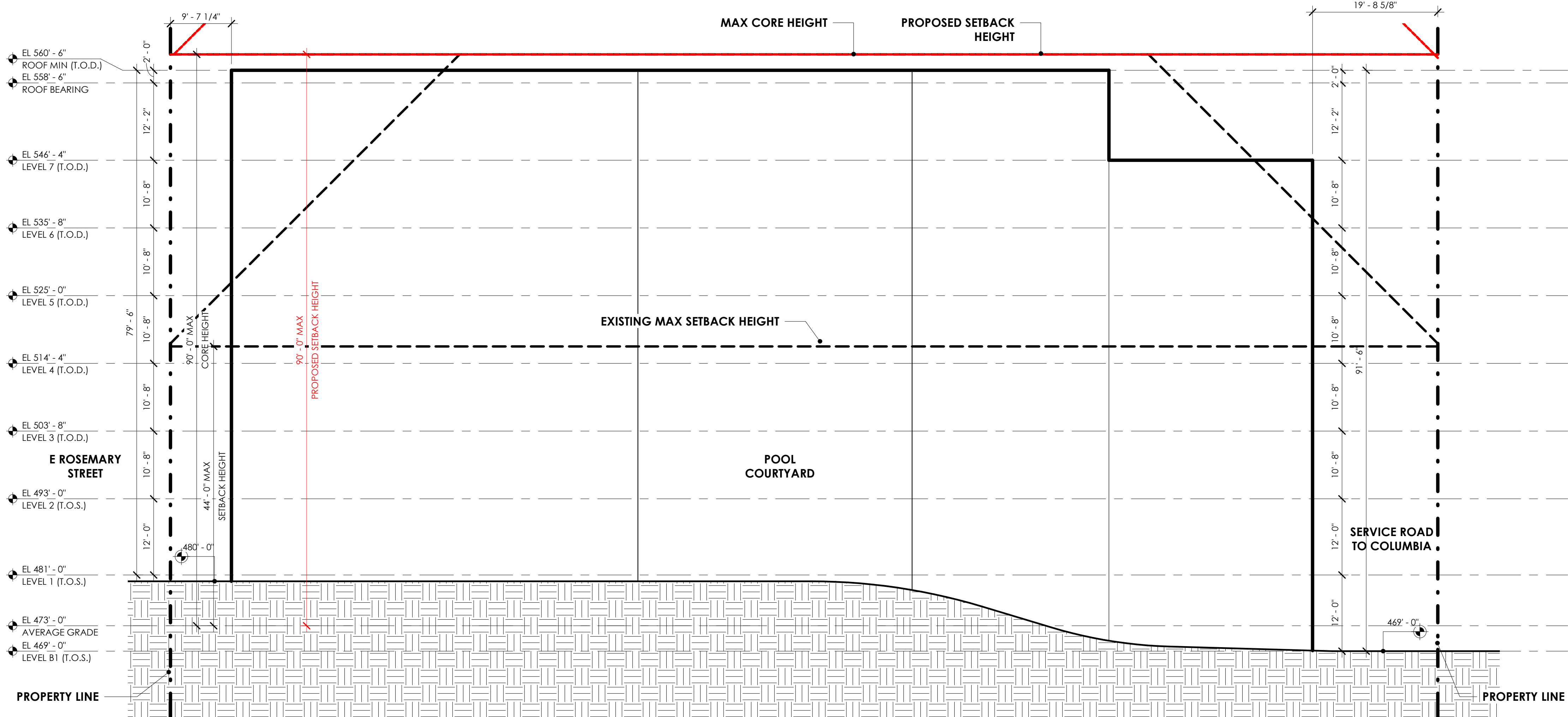
1 ROSEMARY STREET ELEVATION
A4.01 SCALE: 3/32" = 1'-0"



Revisions		
No.	Description	Date



1 SERVICE ROAD ELEVATION
SCALE: 3/32" = 1'-0"



2 PARKING DECK ELEVATION
SCALE: 3/32" = 1'-0"