

# COURTYARDS OF HOMESTEAD

## Special Use Permit

March 27, 2014

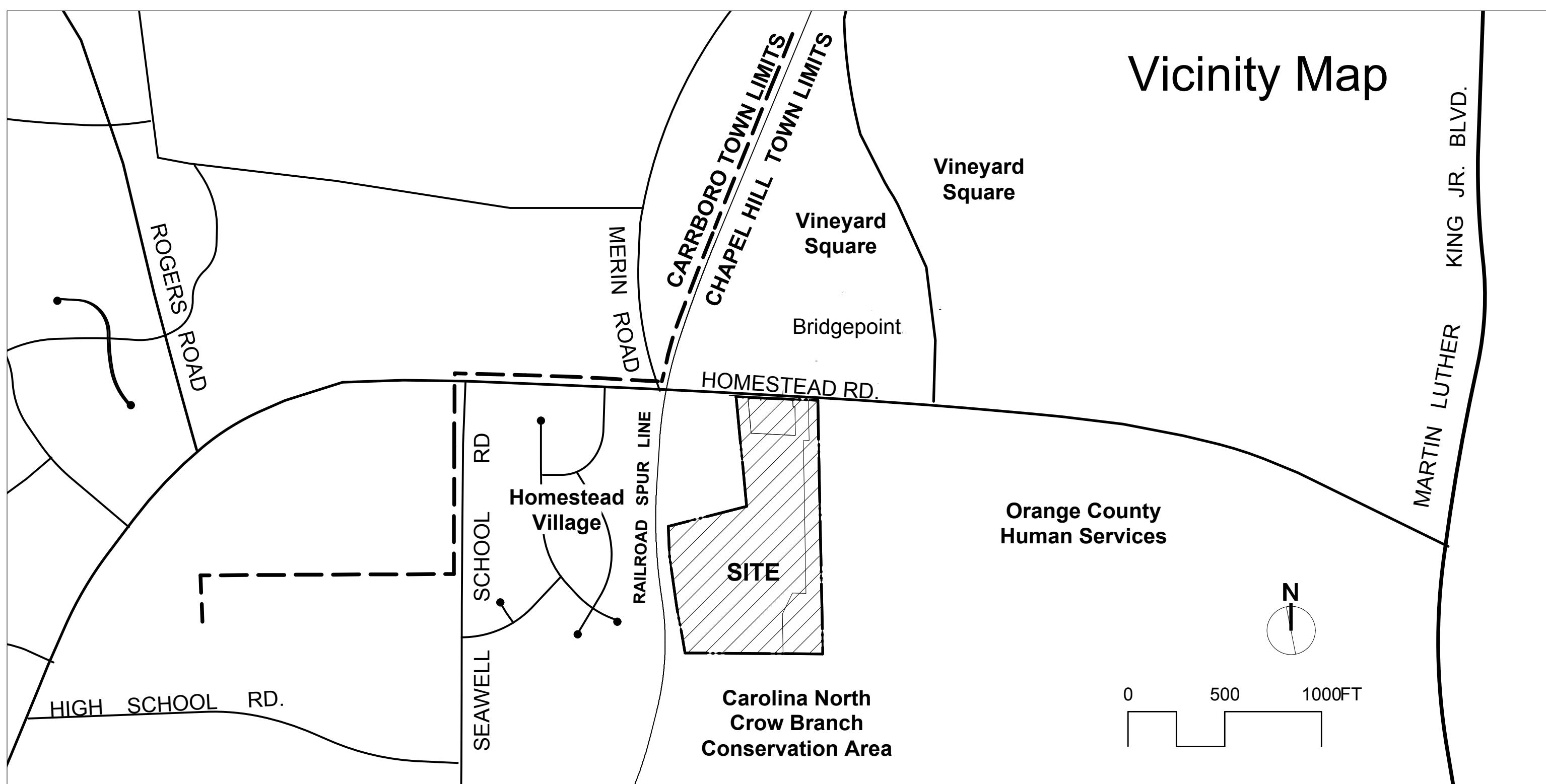
Revisions

▲ May 6, 2014 Per Staff/TRT Comments  
 ▲ July 17, 2014 Corrected Buffers and Modified Proposed Plantings

APPLICANT:  
**Scott Murray Land Planning, Inc.**  
 1450 Environ Way  
 Chapel Hill, NC 27517  
 Contact: Scott Murray  
 (252) 213-9501  
 smurray@stmlandplan.com

DEVELOPER:  
**Epcos Communities**  
 500 Stonehenge Parkway  
 Dublin, OH 43017  
 Contact: Stephan George  
 (919) 815-9987  
 sgeorge@epconcommunities.com

ENGINEERING:  
**McAdams**  
 P.O. Box 14005  
 Research Triangle Park, NC 27709  
 Contact: Ryan Akers  
 (800) 733-5646  
 akers@johnrmcadams.com



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CONSTRUCTION WASTE:  
 a. By Orange County Ordinance, clean wood waste, scrap metal and corrugated cardboard, all present in construction waste, must be recycled.

b. By Orange County Ordinance, all haulers of construction waste must be properly licensed.

c. Prior to any demolition or construction activity on the site the applicant will hold a pre-demolition/pre-construction conference with the County's Solid Waste staff. This may be the same meeting held with other development officials.

PIN # 9870900457, 9870904109 & 9870911164

Property Address: 2201, 2209, & 2301 Homestead Road Chapel Hill, NC

Developer:

Epcor  
Communities

500 Stonehenge Parkway  
Dublin, OH 43017

Project:

Courtyards of  
Homestead

Chapel Hill, North Carolina

Drawing Title:

Area Map

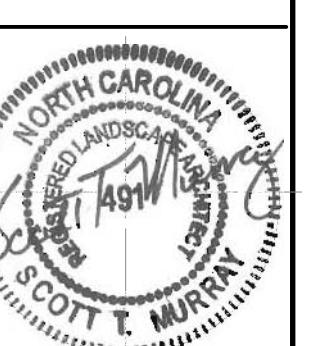
Engineering and Stormwater Consultant:

P.O. Box 14005  
Research Triangle Park  
NC 27709  
2905 Meridian Parkway  
Durham, NC 27713



MCADAMS

No. Date: Issue Notes:



Design Firm:

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smurray@smlandplan.com

CAD File:

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PIN # 9870900457, 9870904109 & 9870911164

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of



Developer:

# Epcon Communities

500 Stonehenge Parkway  
Dublin, OH 43017

# Project: Courtyards of Homestead Chapel Hill, North Carolina

rawing Title:

# Existing Conditions Plat

Engineering and Stormwater Consultant:  
P.O. Box 14005  
Research Triangle Park  
NC 27709

2905 Meridian Parkway  
Durham, NC 27713



Date: Issue Notes:

sign Firm:

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C-2.0

Developer:

Epcor  
Communities

500 Stonehenge Parkway  
Dublin, OH 43017

Project:

Courtyards of  
Homestead  
Chapel Hill, North Carolina

Drawing Title:

Existing  
Conditions  
Map

Engineering and Stormwater Consultant:  
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MCADAMS

1

5-6-14 Added Note

No. Date: Issue Notes:

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smurray@smilandplan.com

CAD File:

Scale: 1"=100' AT D-SIZE

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**SITE DATA**

1. SITE AREA: 17.9 ACRES
2. EXISTING ZONING: R-2 JORDAN WATERSHED (OUTSIDE OF THE JORDAN WATERSHED PROTECTION DISTRICT)
3. TCH STAFF HAVE CERTIFIED THERE ARE NO AREAS OF RCD ON-SITE.

**SITE DESCRIPTION & ANALYSIS**

Encompassing 17.9 ac the proposed site has approximately 425 ft of frontage along Homestead Rd, its northern boundary.

Two existing homes are found on the property, one yellow rental house on Homestead Rd, and a second wood frame house near the southern boundary is occupied by the Tilson Family. Gentle slopes (10% and less) open grass fields and scattered trees characterize the site. Several large trees along Homestead Road frontage are worthy of note. One very large oak (approximately 62" diameter) is found adjacent to and just west of the yellow house. Other hardwoods (maple, etc.) define the yard area east of the yellow house. It is important to note that some of these trees are unhealthy showing signs of severe die-back and heart decay.

The eastern portion of the site is largely wooded with predominately hardwood tree stands and several aging farm buildings. Adjacent land uses include the Wood Family home and undeveloped property.

The southern portion of the site (adjacent to the Crow Branch Conservation Area) is wooded with hardwood tree stands.

The western portions of the site are bordered by a railroad spur line serving UNC and separating the site from Homestead Village to the west. This boundary is largely wooded with volunteer hardwoods and pines.

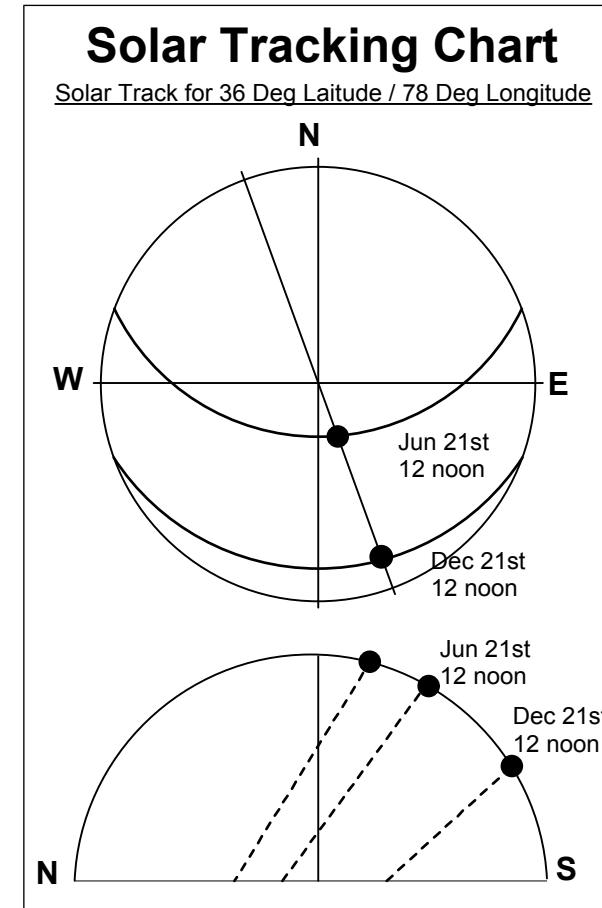
The Hinson homesite forms the remaining boundary along the northwestern property lines. A cedar hedge and other trees have created a hedge along a fence line on this boundary.

A large portion of the site drains to the south with only a small portion draining to the north west and ultimately the Hinson pond.

**NOTE:**  
Any structure that is 500 sq. ft. or larger that is to be removed or demolished must first be assessed for deconstruction possibilities. Contact Solid Waste Enforcement staff at 919-968-2788 x 107 or 109 to arrange for assessment.

0 100 200 300 FT

PIN # 9870900457, 9870904109 & 9870911164



**Existing Conditions Legend**

- Slopes 0% to 10%
- Slopes 10% to 15%
- Slopes 15% to 25%
- Slopes Greater than 25%

**Soils Types Identified**

**EnB** Enon loam, 2 to 6 percent slopes  
**EnC** Enon loam, 6 to 10 percent slopes  
**GeB** Georgville silt loam, 2 to 6 percent slopes  
**GeC** Georgville silt loam, 6 to 10 percent slopes

**TREE LEGEND**

10 C CEDAR  
4 DG DOGWOOD  
12 G SWEET GUM  
5 HW MISC. HARDWOOD  
16 H HICKORY  
19 MG MAGNOLIA  
19 M MAPLE  
31 O OAK  
6 WO WHITE OAK  
18 P PINE  
13 PO POPLAR

DOUBLE AND TRIPLE TRUNKS  
20 D-O DOUBLE OAK  
20 T-O TRIPLE OAK  
20 C CALIPER INCH SIZE OF TREE  
20 T-Q TYPE OF TREE  
20 D FOR DOUBLE, T FOR TRIPLE

**SIGNIFICANT TREES AND CRITICAL TREE AREA**

10 C SIGNIFICANT TREES AND CRITICAL TREE AREA

10 C TREE TO BE REMOVED

**DESCRIPTION** **EXISTING**

1' CONTOUR INTERVAL  
5' CONTOUR INTERVAL  
PROPERTY LINE  
ROADWAY CENTERLINE  
RIGHT OF WAY LIMITS  
EASEMENT LINE  
CURB & GUTTER  
SANITARY SEWER FACILITIES  
STORM SEWER FACILITIES  
WATERLINE  
FIRE HYDRANT ASSEMBLY  
FH  
DRAINAGE MANHOLE  
SEWER MANHOLE  
SEWER CLEANOUT  
WATER MANHOLE  
WATER VALVE  
WATER METER  
POWER POLE  
LIGHT POLE  
OVERHEAD UTILITY  
RETAINING WALL  
FENCING STRUCTURE  
WOODSLINE  
WATERWAYS  
LIMITS OF DISTURBANCE  
TREE PROTECTION FENCE  
SILT FENCE  
SPOT ELEVATION  
SIGNAGE

**EXISTING CONDITIONS NOTES**

1. EXISTING SURVEY INFORMATION WAS TAKEN FROM A SURVEY BY MCADAMS CO. DATED 1/8/2014
2. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL". REPORT ANY DISCREPANCIES TO THE PROJECT ENGINEER IMMEDIATELY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXERCISING REASONABLE EFFORTS TO PROTECT ANY UNKNOWN ELEMENTS IN USE. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE ILLUSTRATED DESIGN.
4. CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC, AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, CONTRACTOR SHALL REPAIR IMMEDIATELY AS DIRECTED BY THE OWNER OR PROJECT ENGINEER.
5. CONTRACTOR SHALL HOLD HARMLESS THE OWNER AND THE PROJECT ENGINEER FOR DAMAGES, INJURIES OR OTHER ACCIDENTS WHICH OCCUR DURING THESE CONSTRUCTION ACTIVITIES.
6. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ADJACENT PROPERTY OWNERS AS REQUIRED FOR WORK OUTSIDE OF PROPERTY LINES.
7. ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.



## EXISTING CONDITIONS LEGEND

TREE LEGEND

Slopes 0% to 10%
Slopes 10% to 15%
Slopes 15% to 25%
Slopes Greater than 25%

## SOILS TYPES IDENTIFIED

EnB	Enon loam, 2 to 6 percent slopes
EnC	Enon loam, 6 to 10 percent slopes
GeB	Georgian silt loam, 2 to 6 percent slopes
GeC	Georgian silt loam, 6 to 10 percent slopes

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Communities

500 Stonehenge Parkway  
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Courtyards of  
Homestead  
Chapel Hill, North Carolina

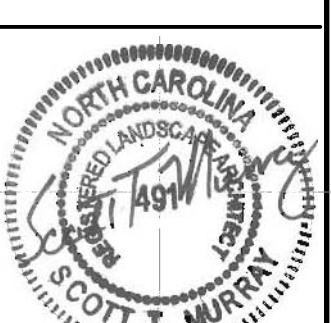
Drawing Title:

Street Sections  
& Site Details

Engineering and Stormwater Consultant:  
P.O. Box 14005  
Research Triangle Park  
NC 27709  
2905 Meridian Parkway  
Durham, NC 27713

MCADAMS

No. Date: Issue Notes:

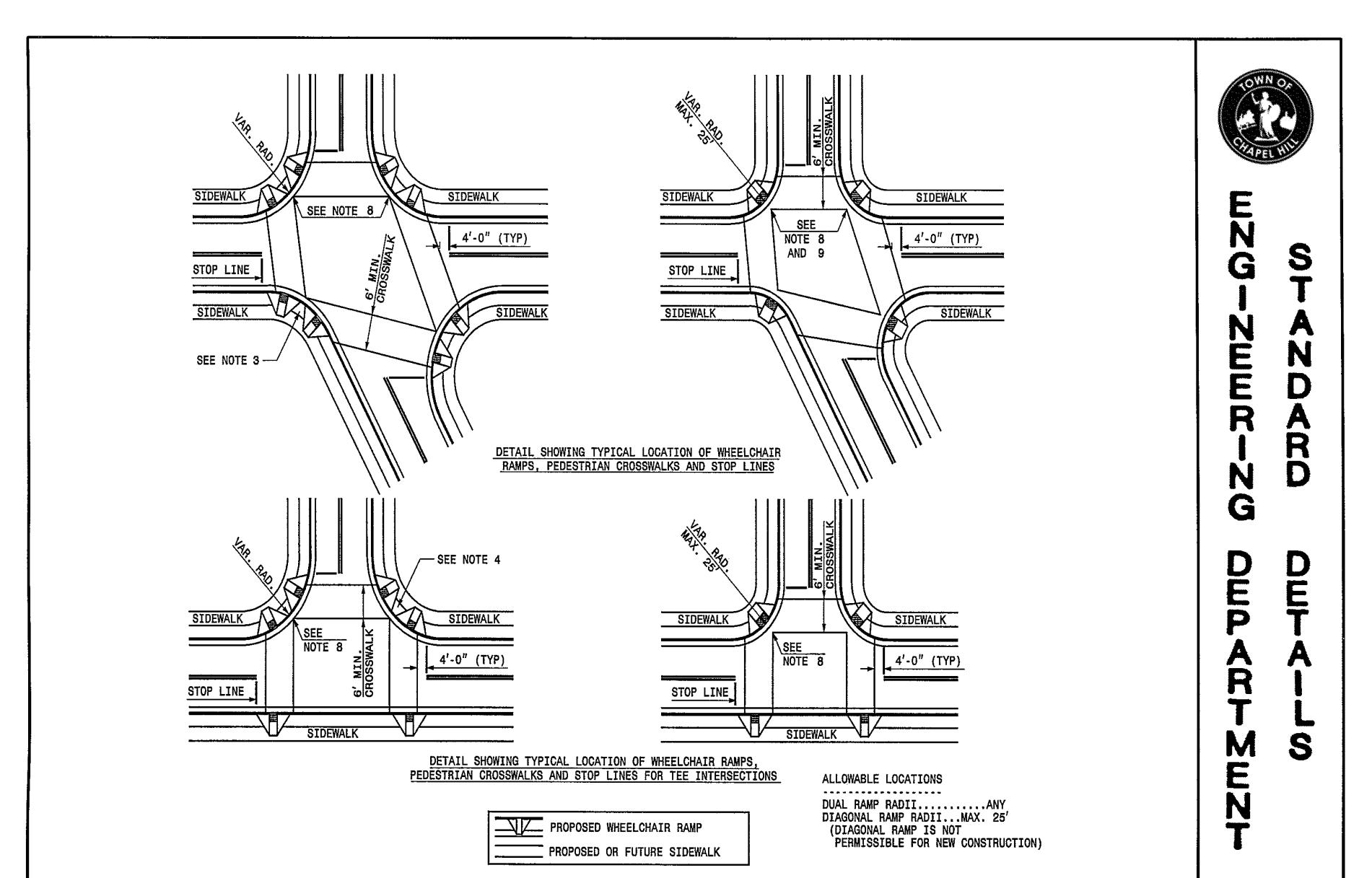
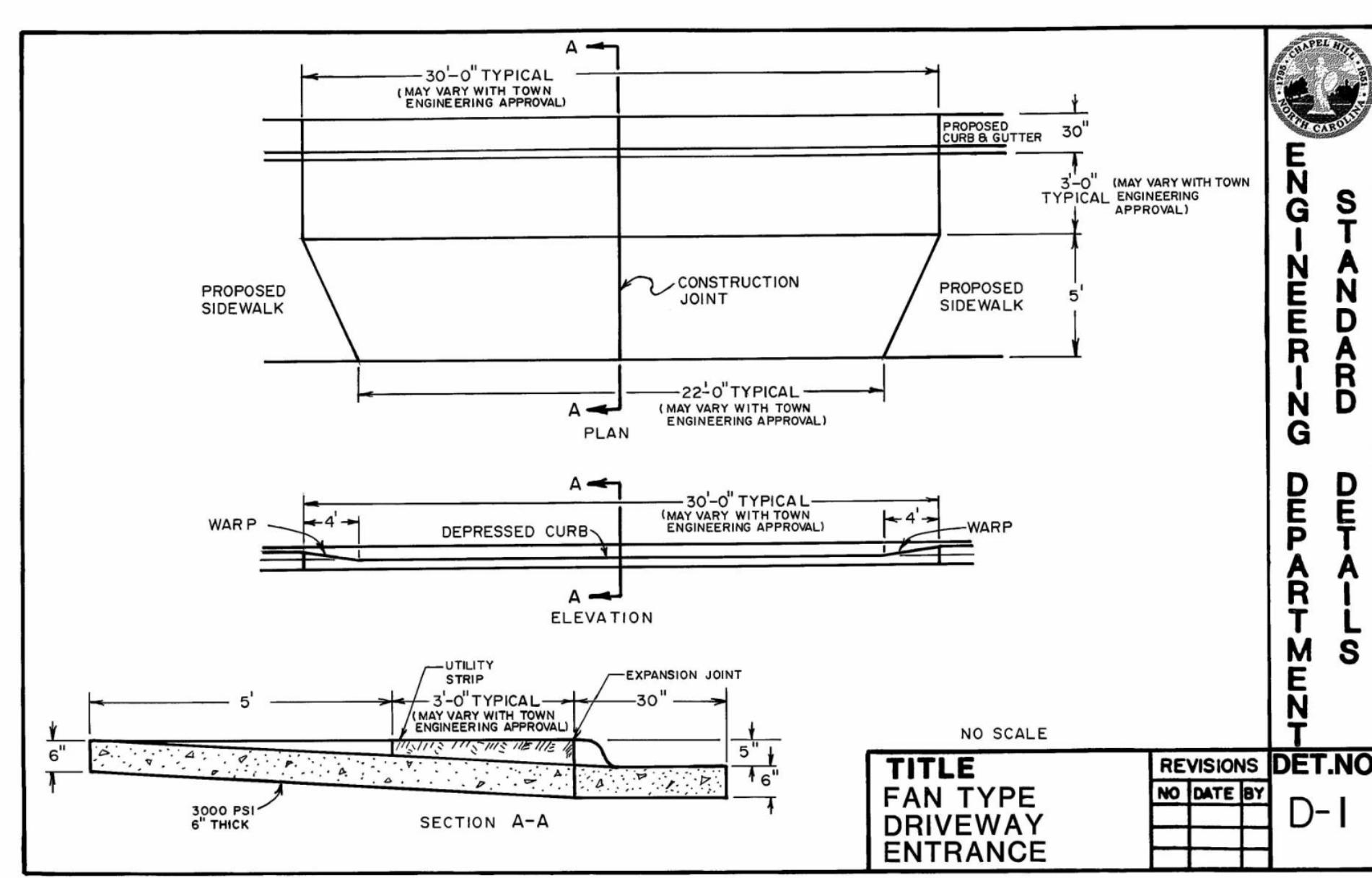
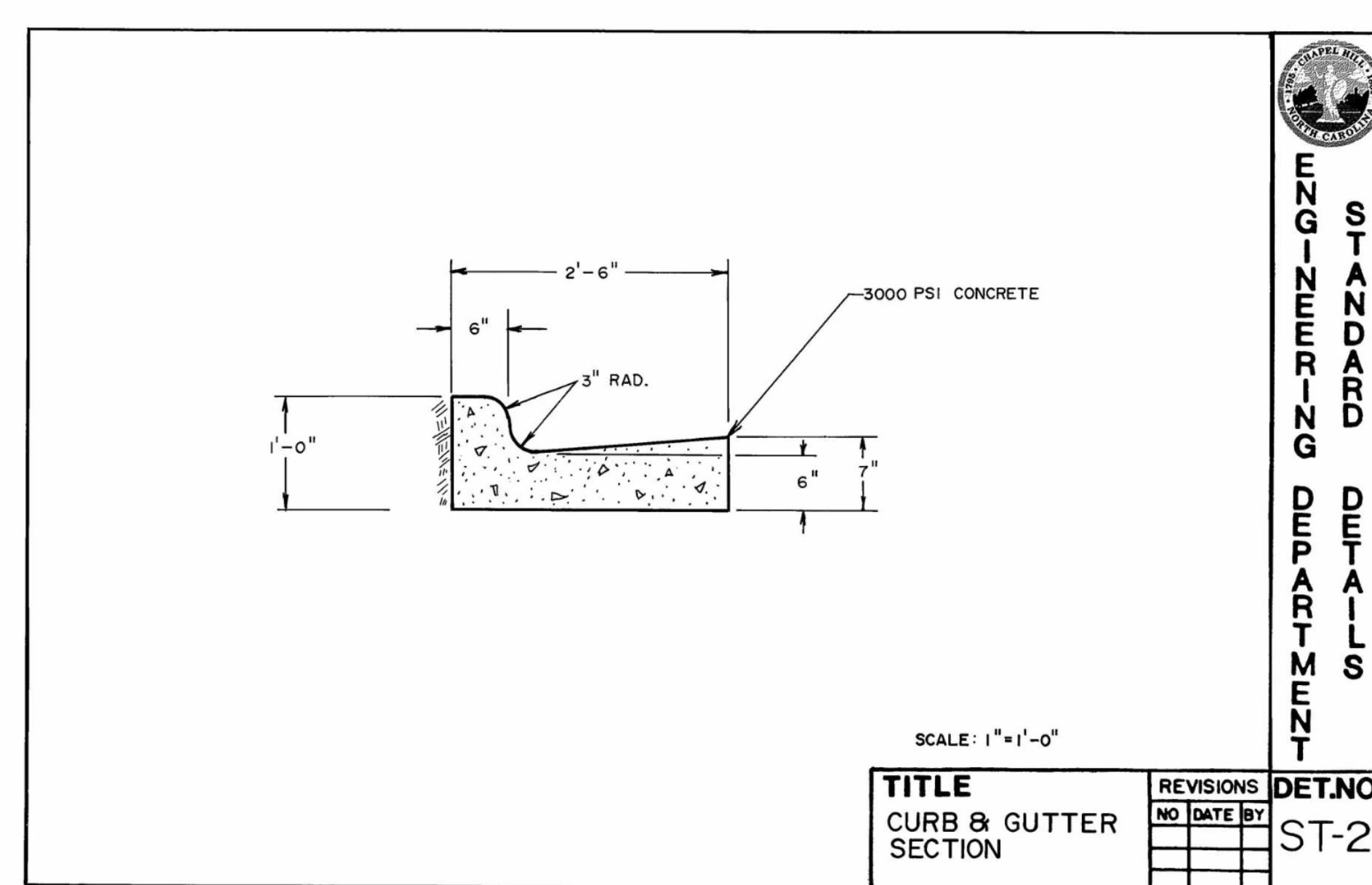
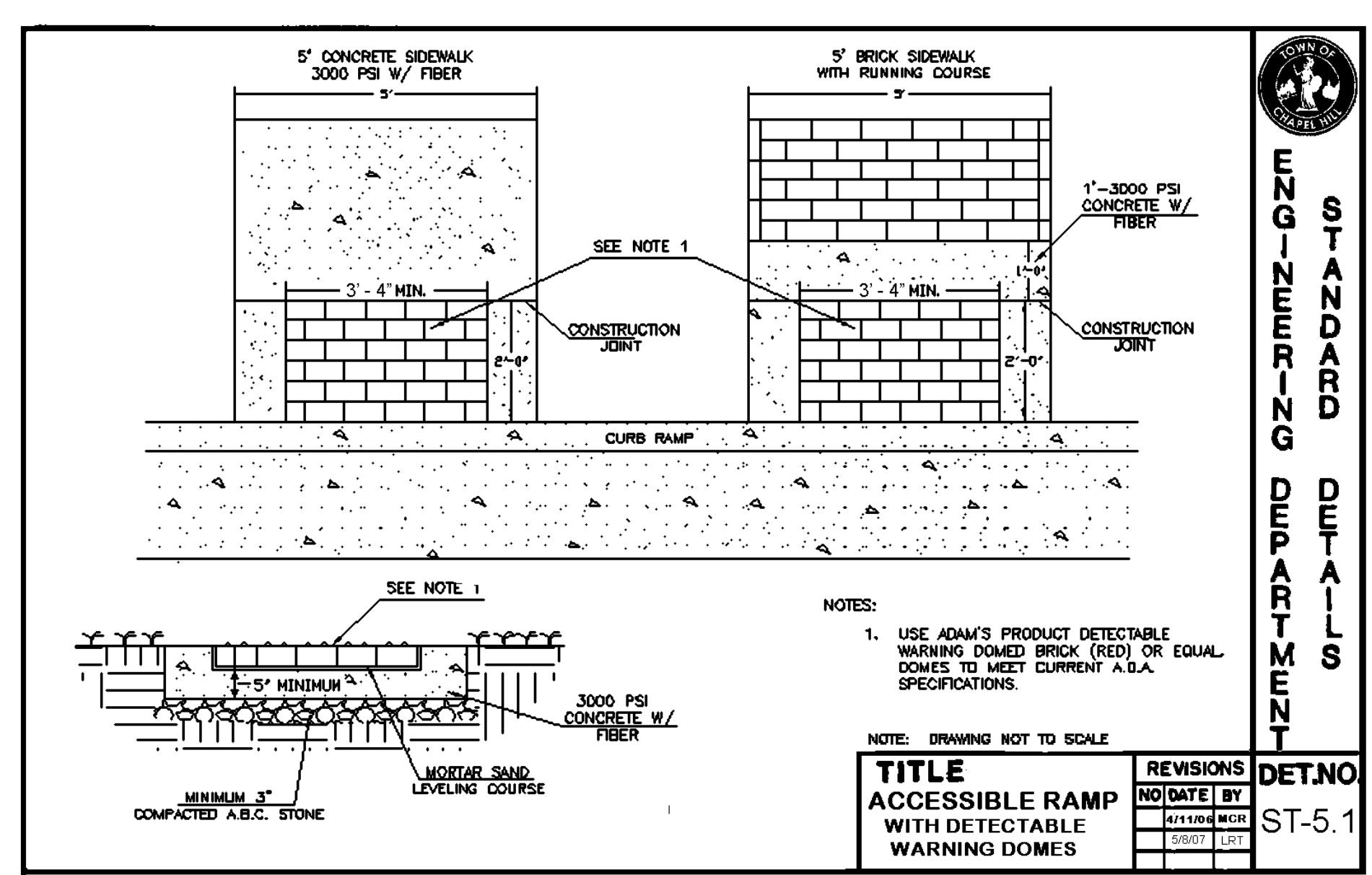
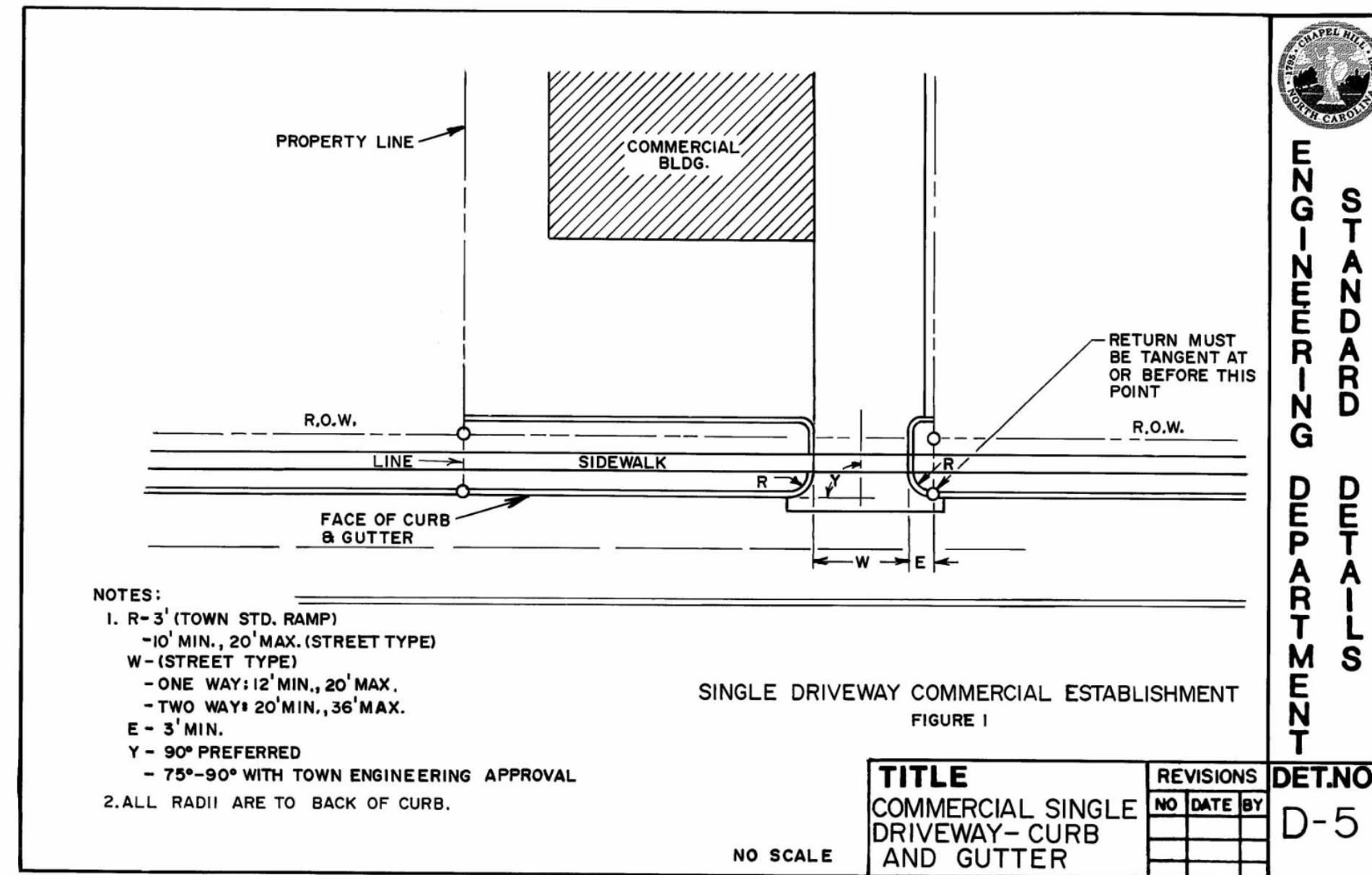
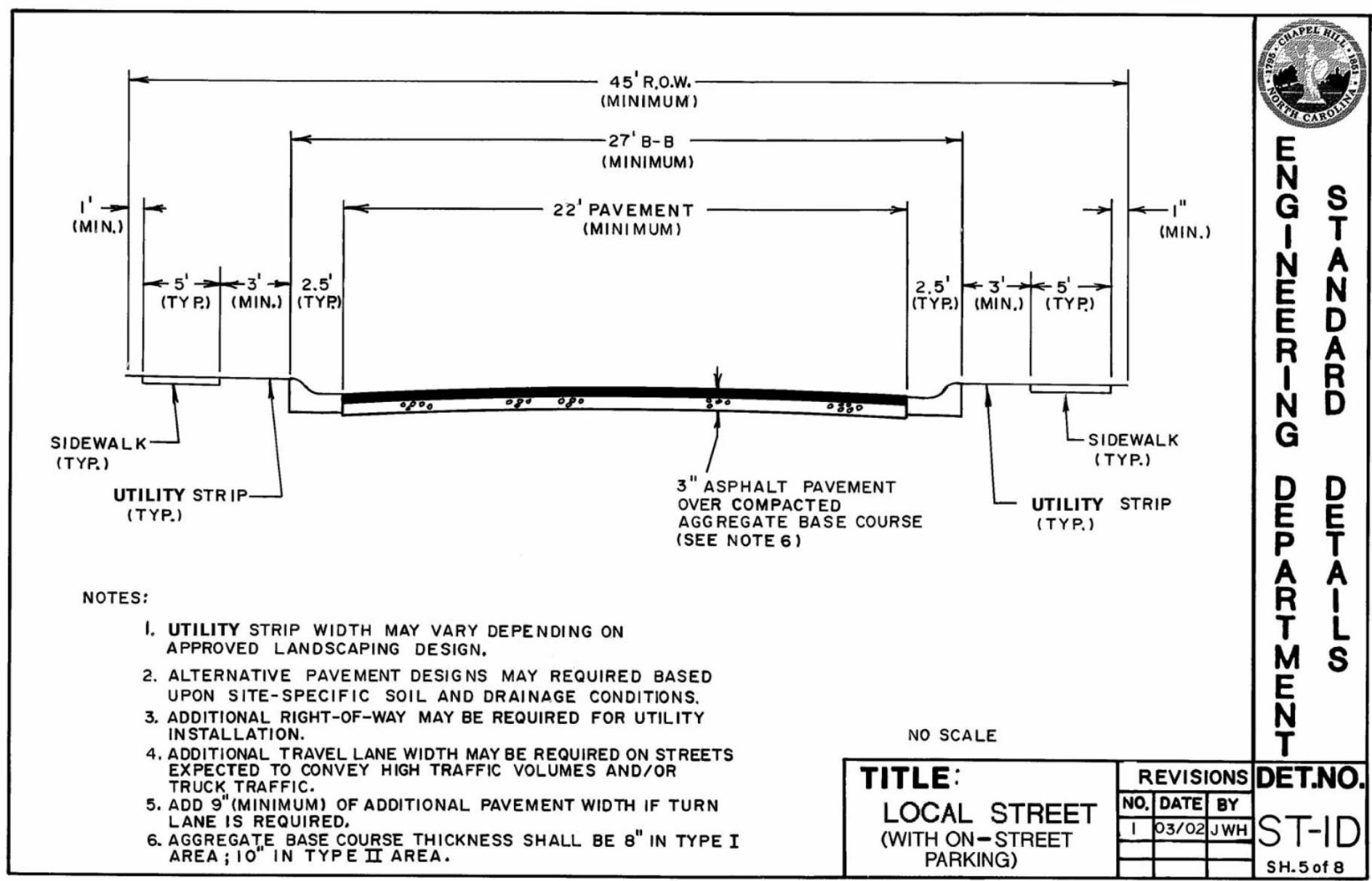


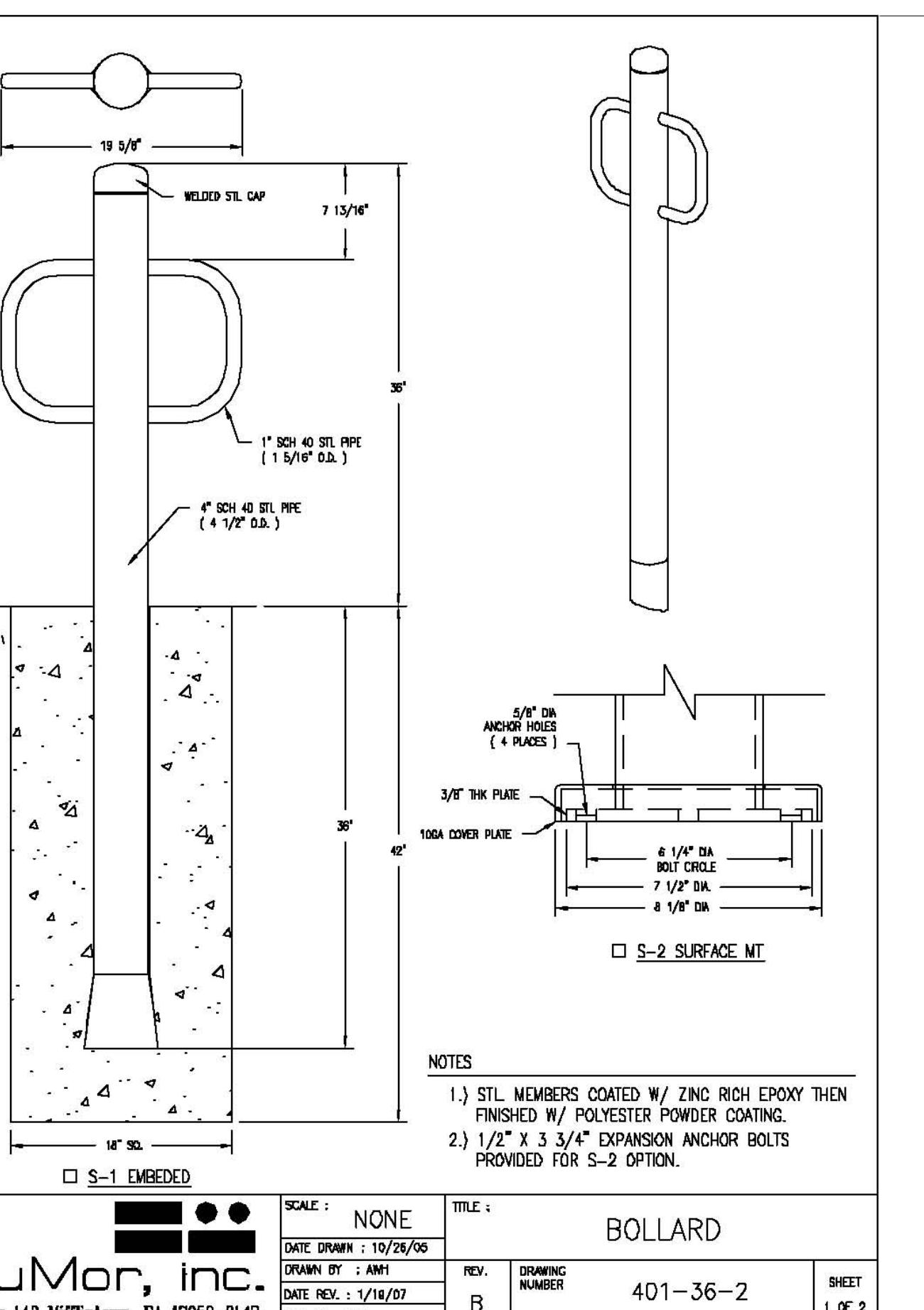
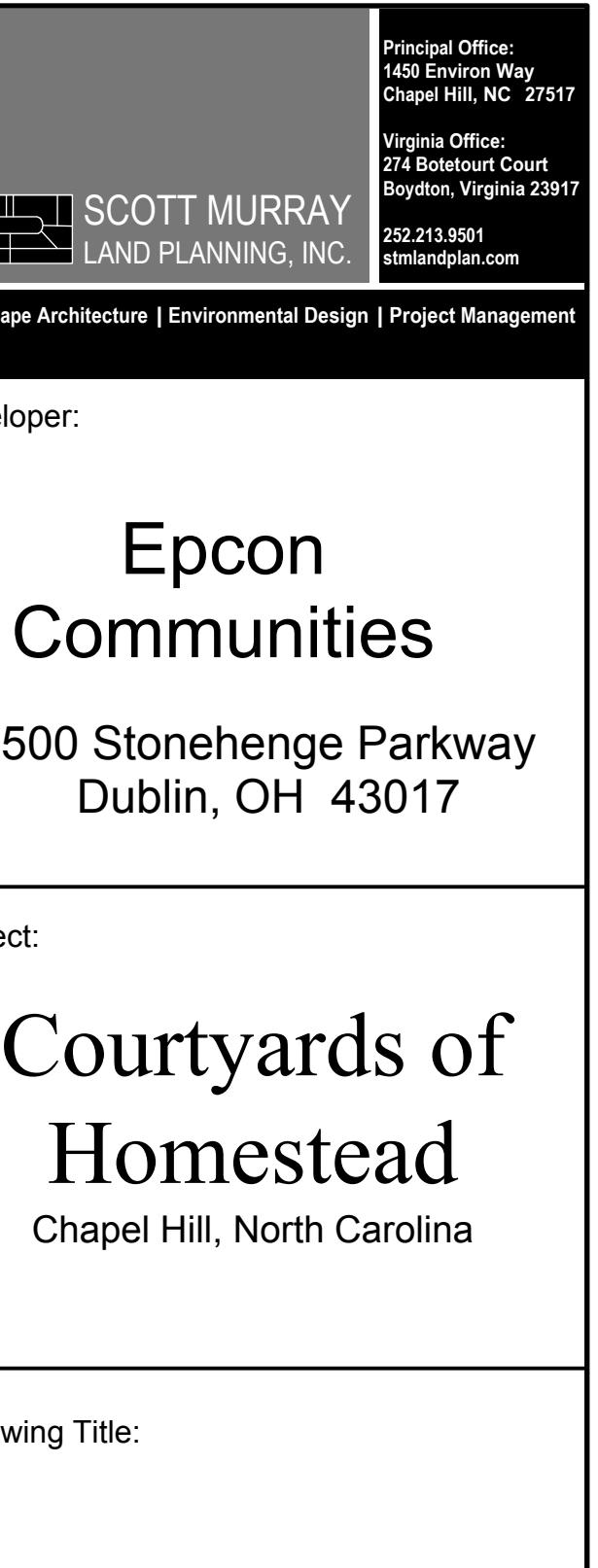
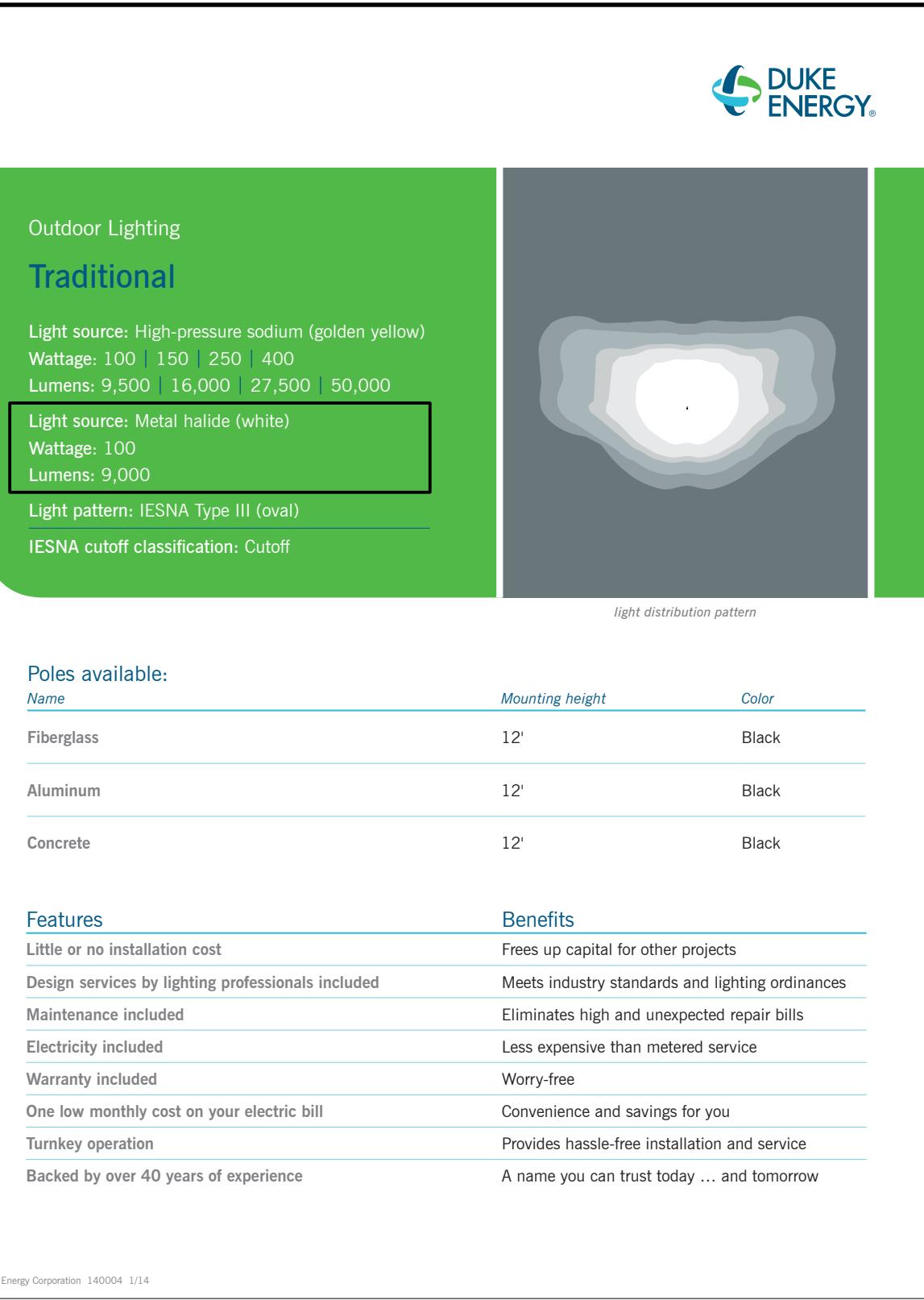
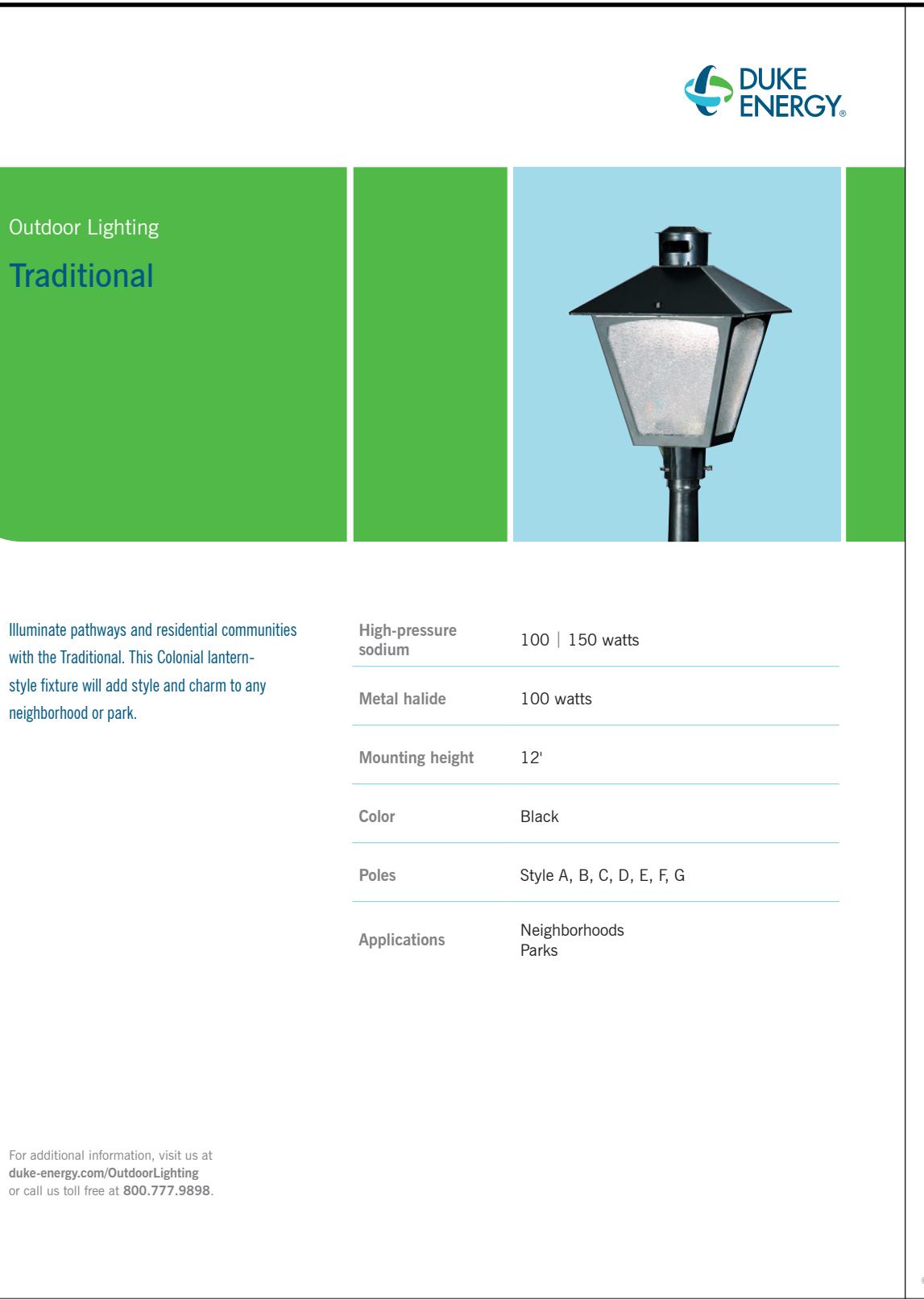
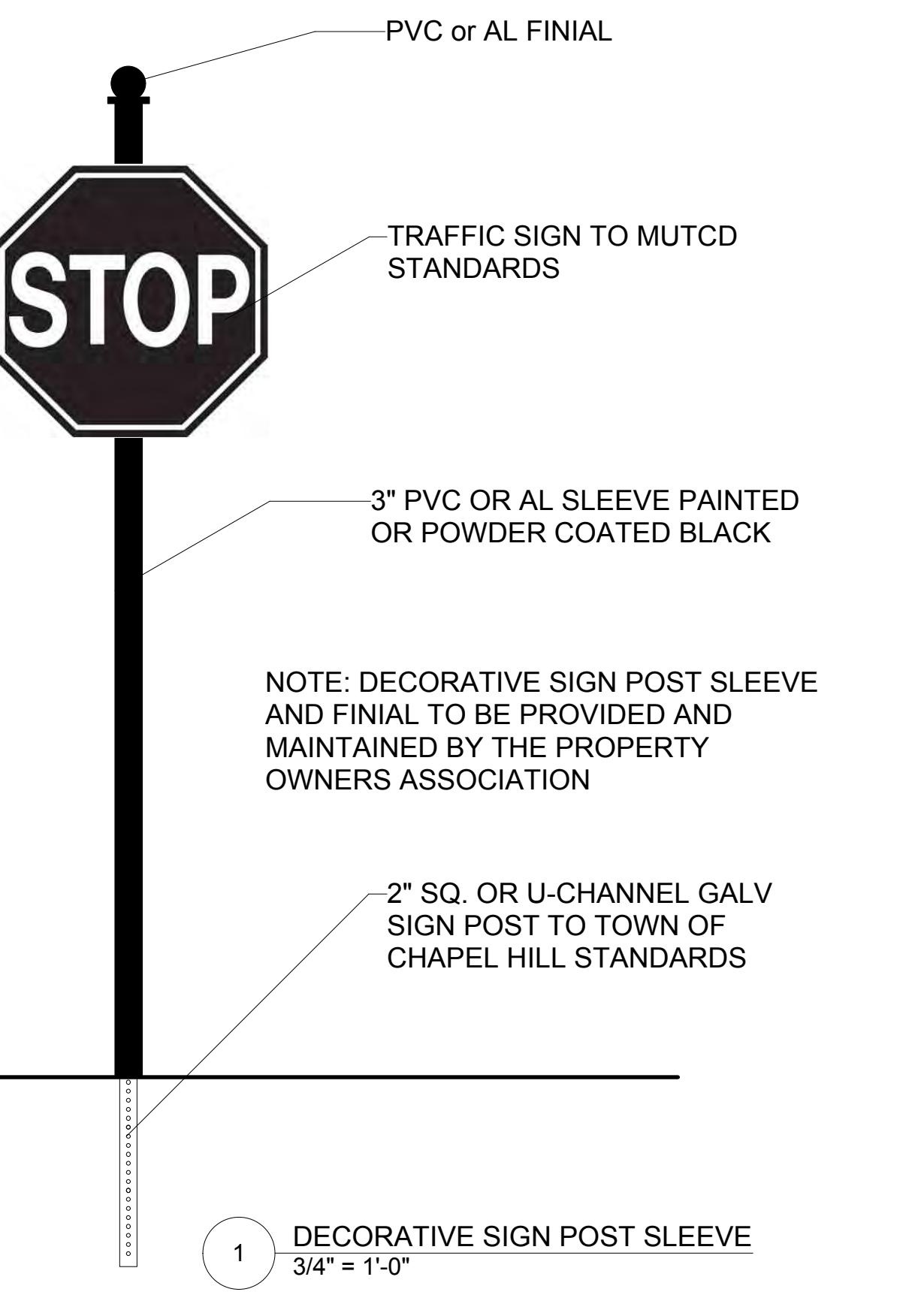
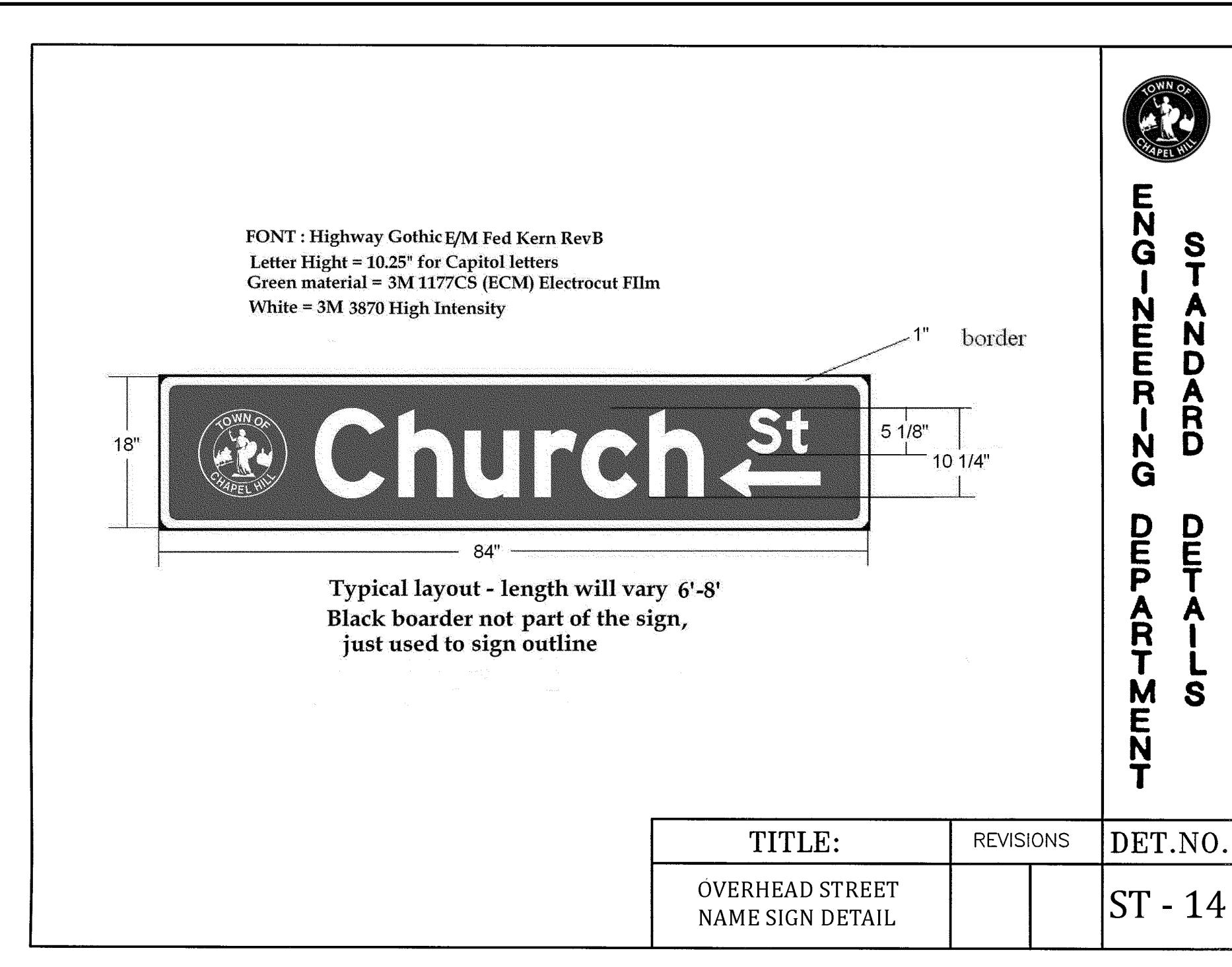
Design Firm:  
Scott Murray Land Planning, Inc.  
1450 Environ Way Chapel Hill, NC 27517  
252-213-9501 434-689-2925 (fax)  
www.smurray.com  
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# Epcon Communities

500 Stonehenge Parkway  
Dublin, OH 43017

Project:

# Courtyards of Homestead

Chapel Hill, North Carolina

Drawing Title:

# HOMESTEAD ROAD WIDENING AND OFF-SITE IMPROVEMENTS PLAN

Engineering and Stormwater Consultant:

P.O. Box 14005  
Research Triangle Park  
NC 27709

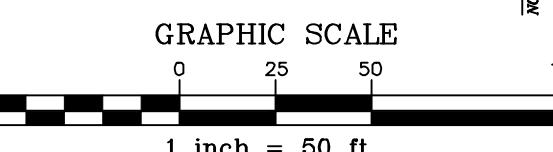
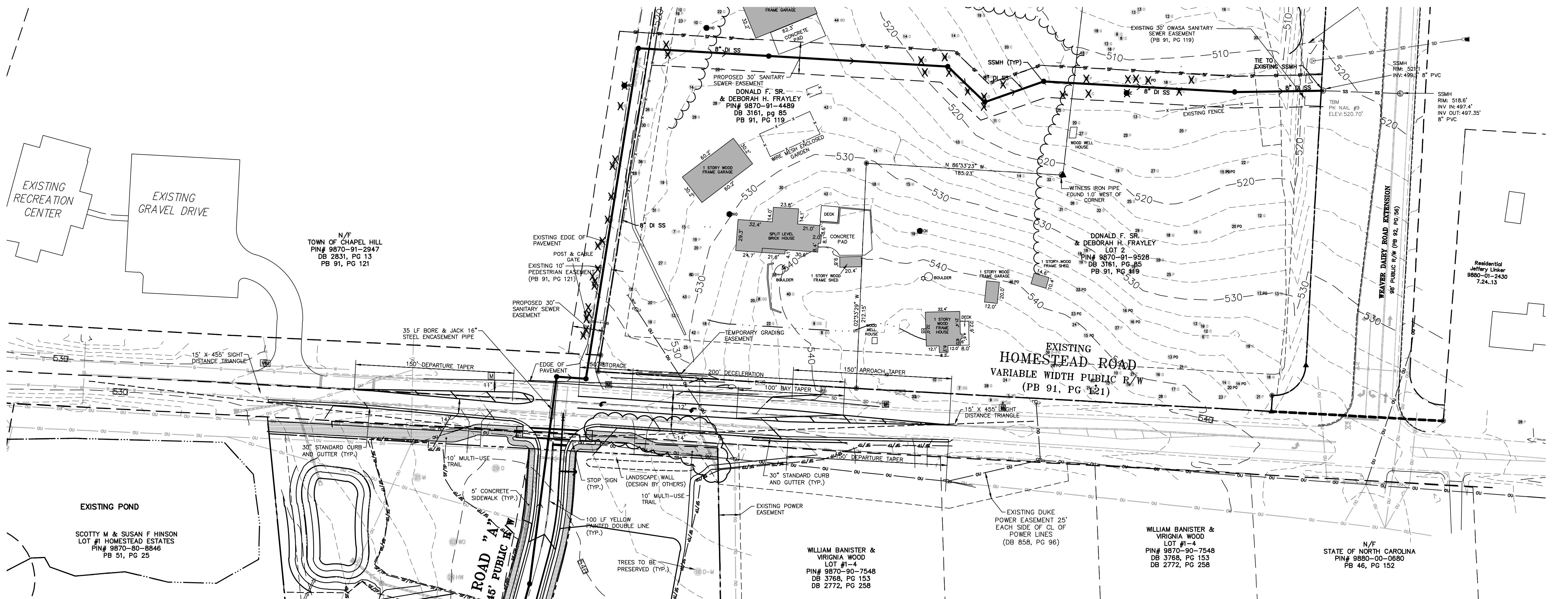
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Durham, NC 27713

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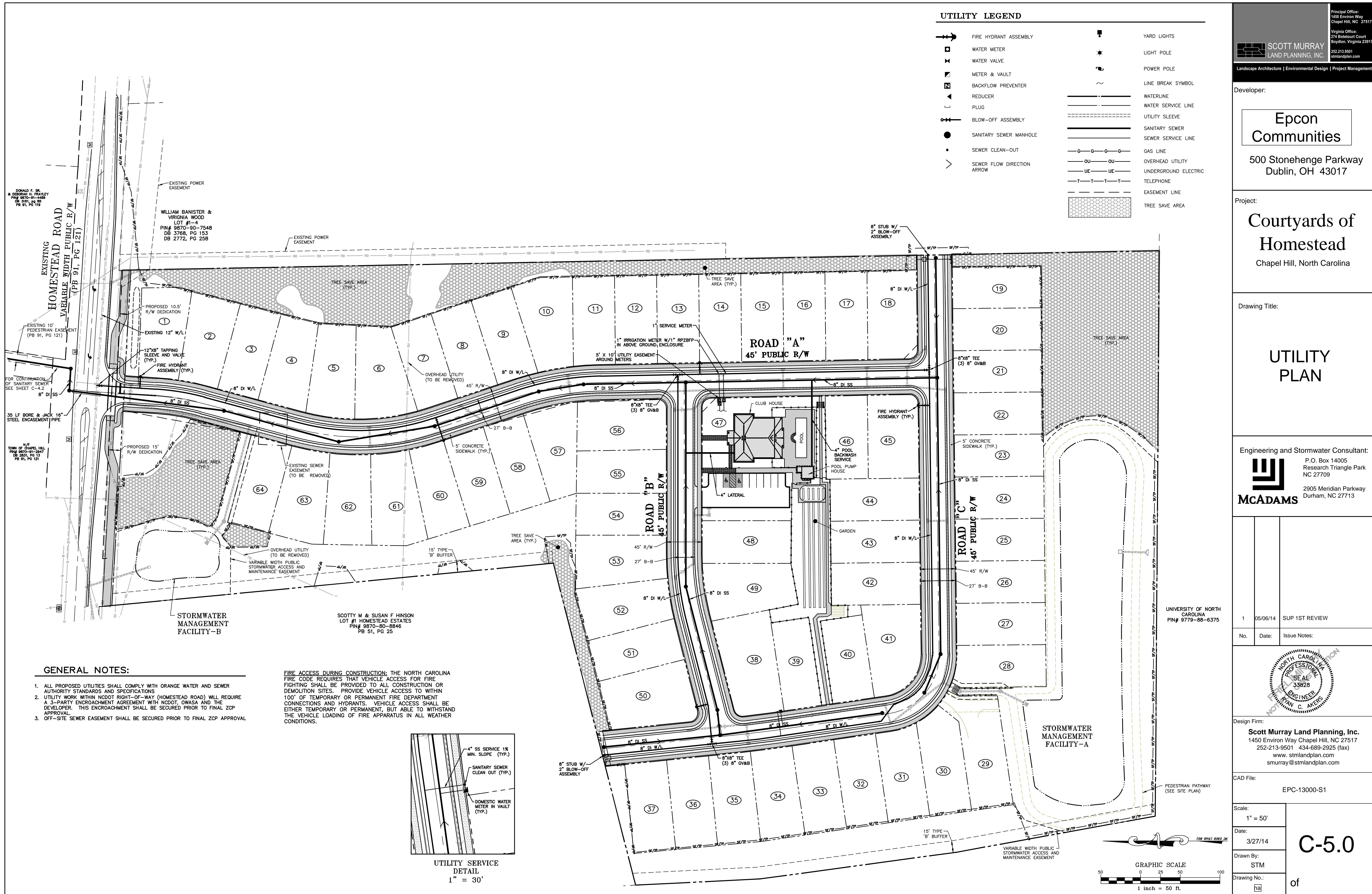
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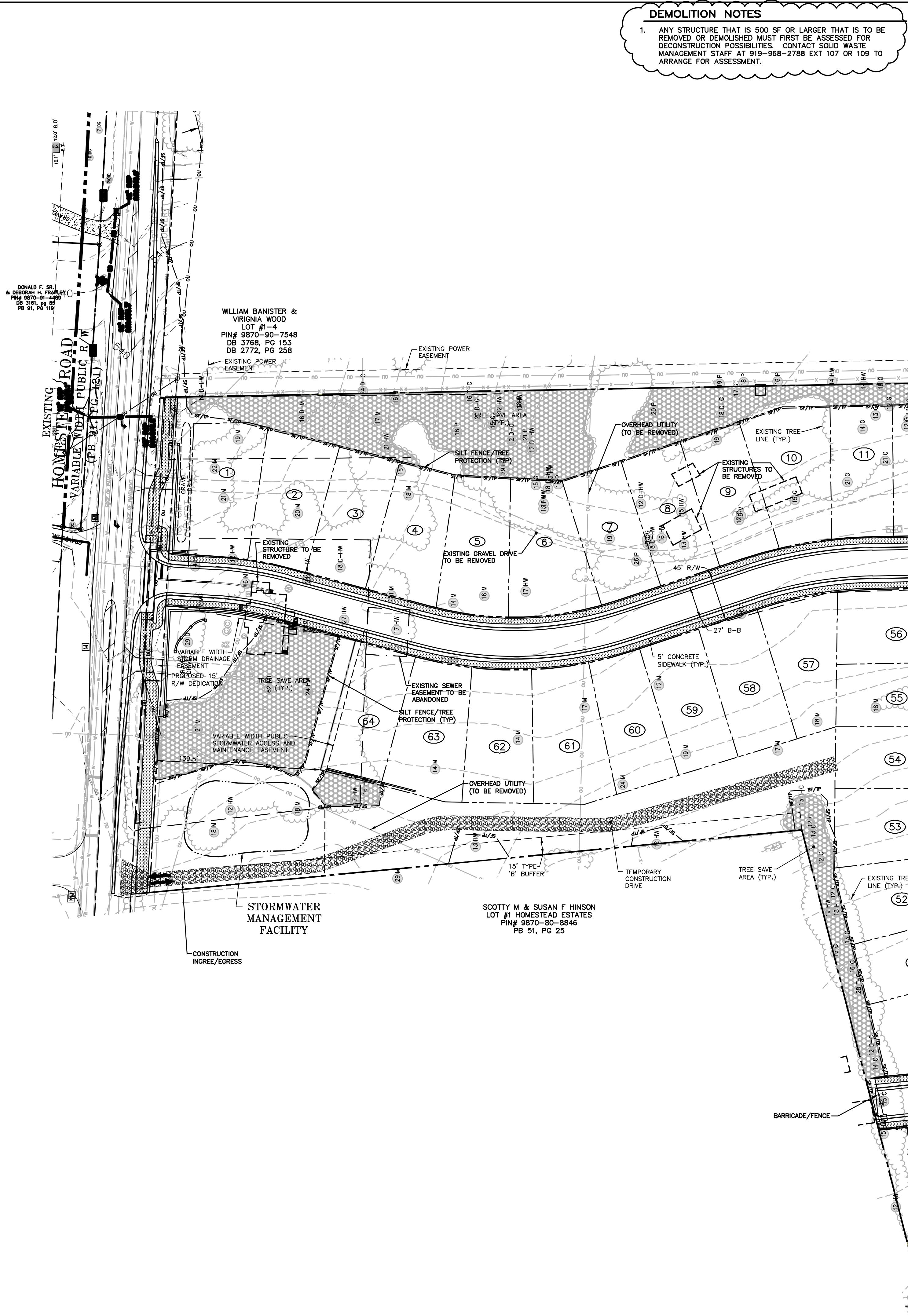
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SCOTT MURRAY  
LAND PLANNING, INC.  
Landscape Architecture | Environmental Design | Project Management

Developer:  
**Epcon  
Communities**  
500 Stonehenge Parkway  
Dublin, OH 43017

Project:  
**Courtyards of  
Homestead**  
Chapel Hill, North Carolina

Drawing Title:  
**CONSTRUCTION  
AND SOLID  
WASTE  
MANAGEMENT  
PLAN**

Engineering and Stormwater Consultant:  
**MCADAMS**  
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Research Triangle Park  
NC 27709  
2905 Meridian Parkway  
Durham, NC 27713

UNIVERSITY OF NORTH  
CAROLINA  
PIN# 9779-88-6375

1 05/06/14 SUP 1ST REVIEW  
No. Date: Issue Notes:

NOTICE OF  
NORTH CAROLINA  
PROFESSIONAL  
ENGINEER  
C. AKERS  
SEAL  
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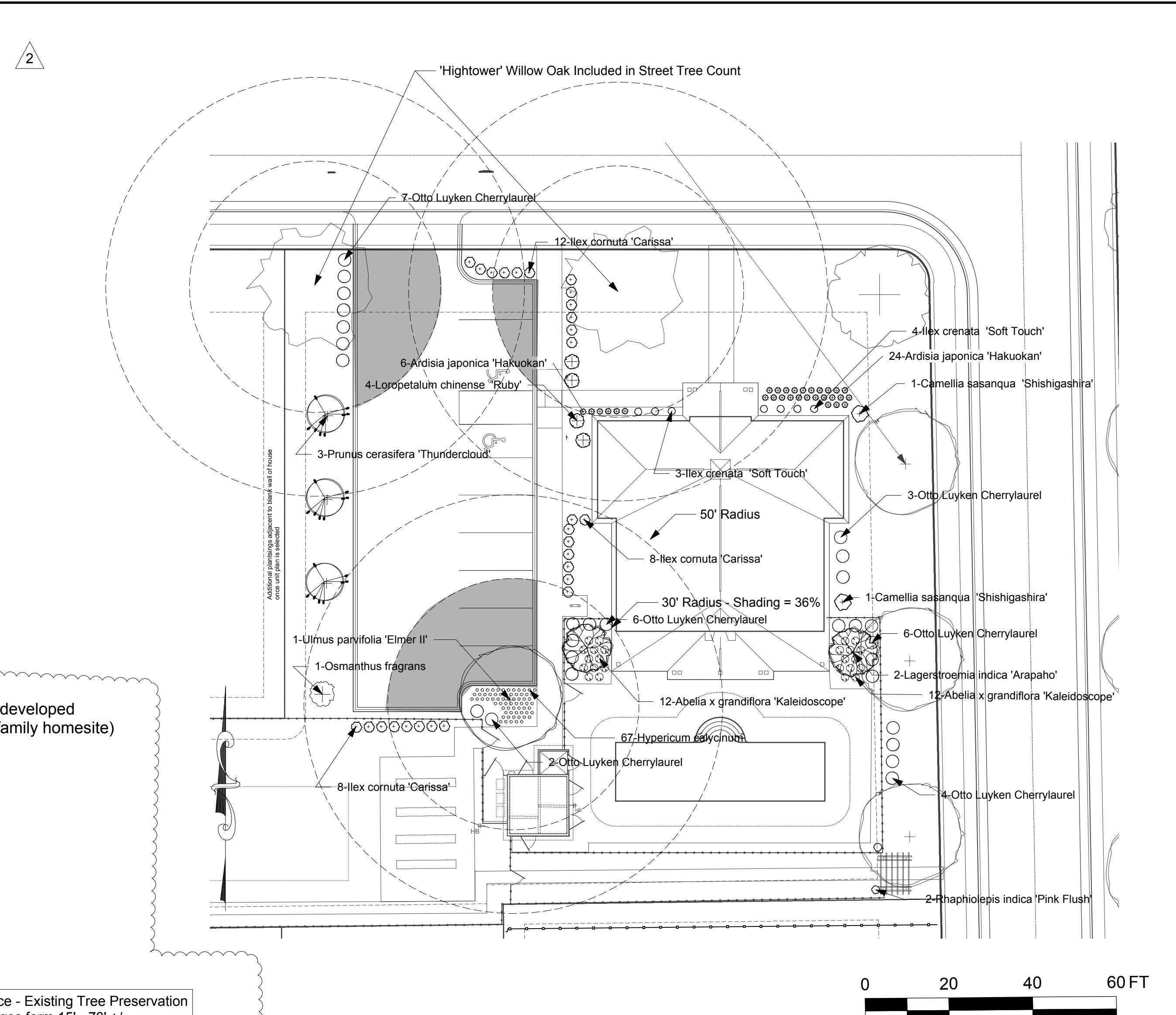
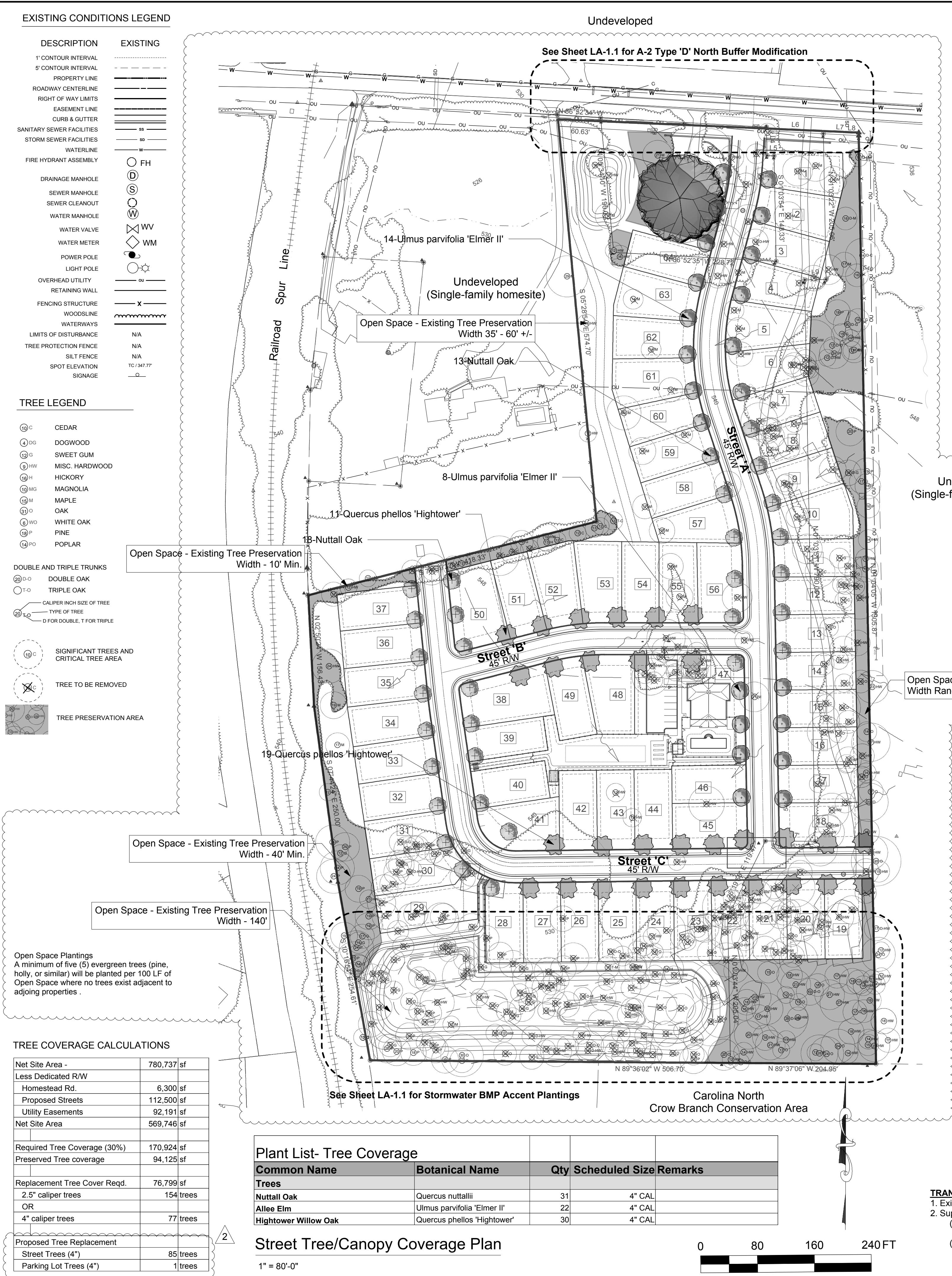
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1 inch = 50 ft.

**C-6.0**



Plant List - Club				
Common Name	Botanical Name	Qty	Scheduled Size	Remarks
<b>Trees</b>				
Allee Elm	Ulmus parvifolia 'Elmer II'	1	4" CAL	
Thundercloud Purple Leaf Plum	Prunus cerasifera 'Thundercloud'	3	2" CAL	
Arapaho Crapemyrtle	Lagerstroemia indica 'Arapaho'	2	10'-12' Multi-Stem (Alt. Watermelon Red)	
<b>Shrubs</b>				
Otto Luyken Cherrylaurel	Prunus laurocerasus 'Otto Luyke	28	5 GAL 5' O.C.	
Carissa Holly	Ilex cornuta 'Carissa'	28	5 GAL 3.5' O.C.	
Camellia 'Shishigashira'	Camellia sasanqua 'Shishigash	2	3'	
Pink Flush Indian Hawthorn	Raphiolepis indica 'Pink Flush'	2	3 gal	
Aaronsbeard St. Johnswort	Hypericum calycinum	67	4" Flats 15" O.C.	
Kaleidoscope Abelia	Abelia x grandiflora 'Kaleidoscop	24	3 GAL 30" O.C. Approved Alternate Vari	
Fragrant Tea Olive	Osmanthus fragrans	1	7 GAL	
Soft Touch Japanese Holly	Ilex crenata 'Soft Touch'	7	5 GAL 2.5' O.C.	
Ruby Loropetalum	Loropetalum chinense : 'Ruby'	4	7 GAL 30" O.C.	
<b>Ground Cover</b>				
Japanese Ardisia 'Hakuokan'	Ardisia japonica 'Hakuokan'	24	1 GAL 2' O.C.	
Japanese Ardisia 'Hakuokan'	Ardisia japonica 'Hakuokan'	6	1 GAL 2' O.C.	
<b>Perennials</b>				
<b>Annuals-Biennials</b>				
<b>Bulbs</b>				
<b>Ornamental Grasses</b>				

### Clubhouse Planting Plan

1" = 20'-0"

#### TRANSITION YARD PLANTINGS PROPOSED

- 1 Existing Trees to Remain as Shown
2. Supplemental Plantings Proposed as Needed to Provide
  - (4) Small or Large Trees  
(i.e. cedars, plums, cherries, oaks, ironwood, dogwood, elm, crabapple, fringe tree, etc.)
  - (6) Shrubs-Evergreen  
(i.e. hollies, anise, wax myrtle, tea olive, yaupon, etc.)

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**Tree Coverage  
Parking Lot  
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Plan**

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**MCADAMS**

7-17-14 Buffer Index revised & additional tree canopy added in Area A-2

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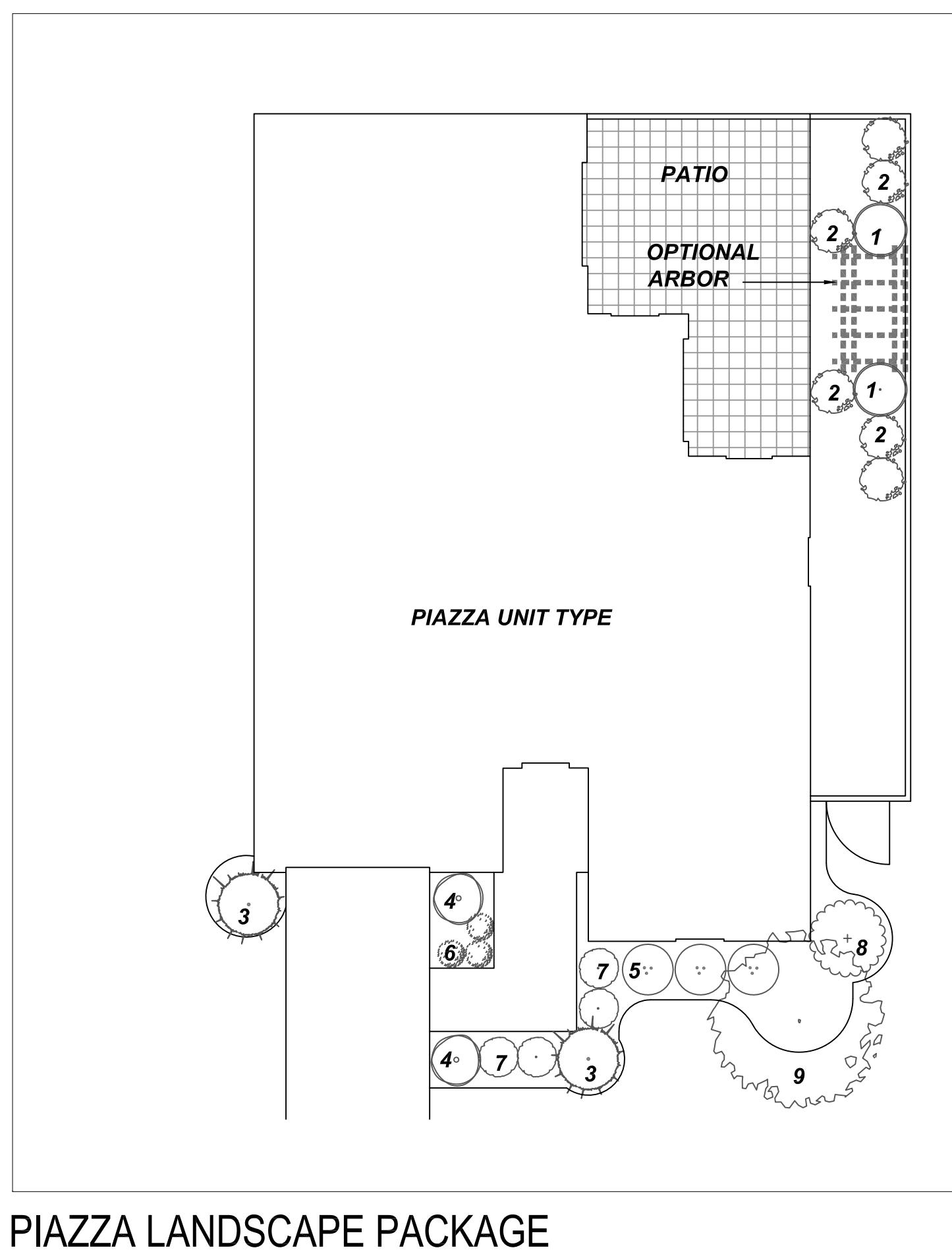
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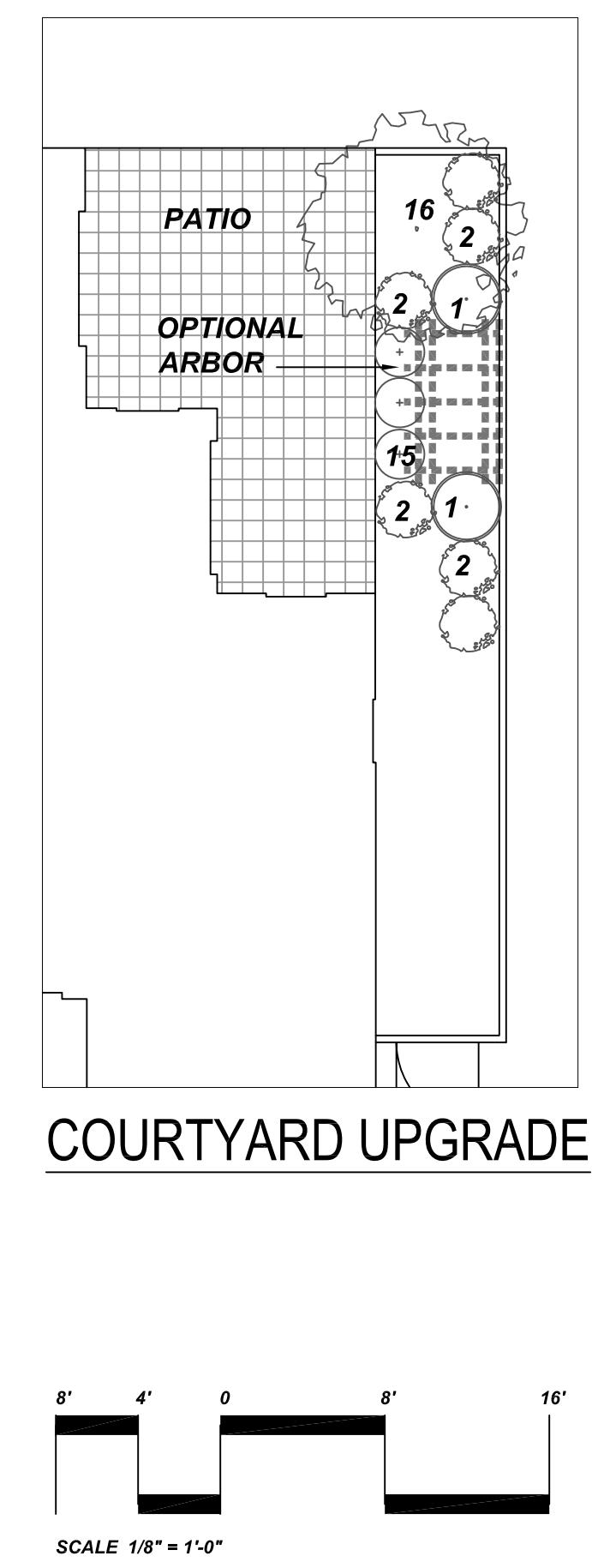


## Courtyards of Homestead Chapel Hill, NC

Epcon  
Communities

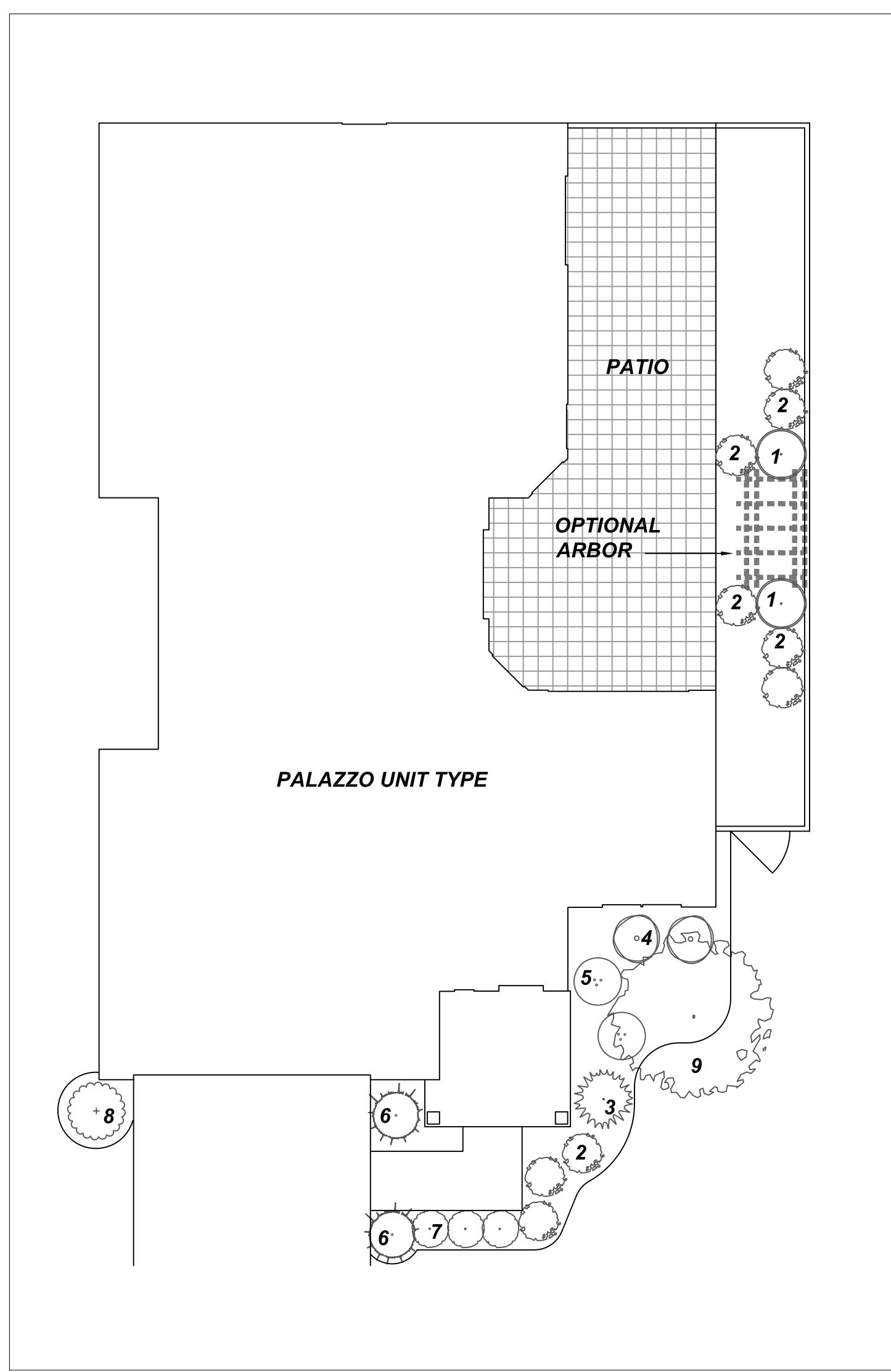


PIAZZA LANDSCAPE PACKAGE

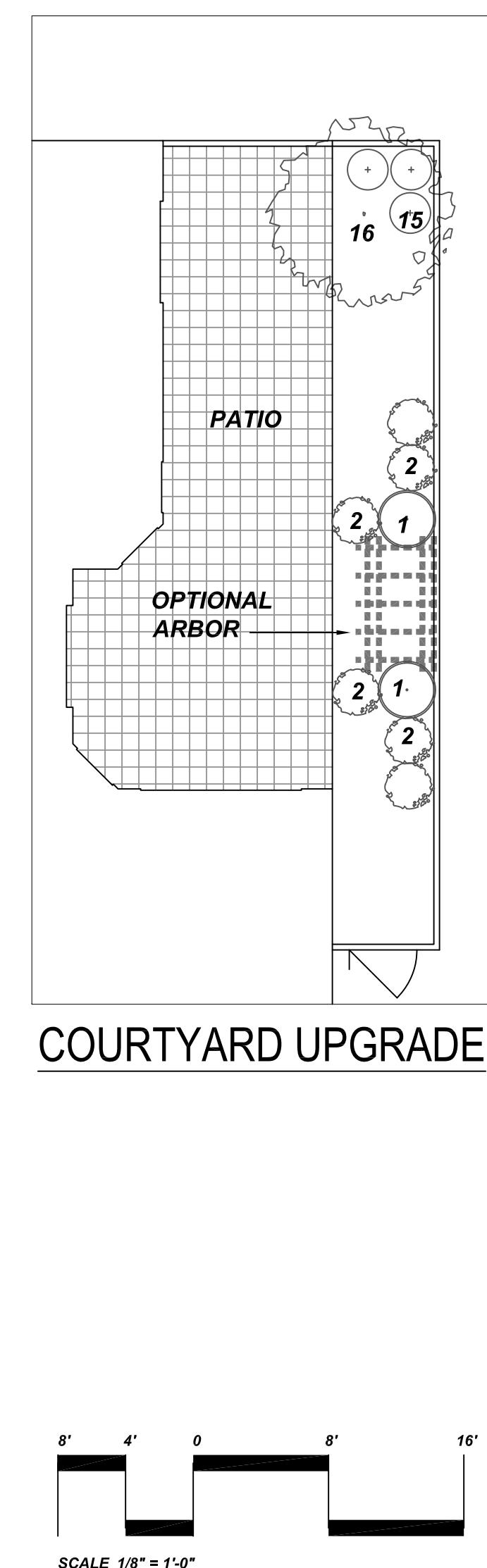


### Plant Legend - Piazza

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QUANTITY
1	Camellia japonica	Japanese Camellia	3 gal.	36" o.c.	2
2	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Abelia	3 gal.	30" o.c.	6
3	Thuja occidentalis 'Emerald Green'	'Emerald Green' Arborvitae	6' height	As Shown	2
4	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	3 gal.	36" o.c.	2
5	Loropetalum chinensis 'Ruby'	Ruby Loropetalum	3 gal.	36" o.c.	3
6	Euonymus japonicus 'Microphyllus Vari.'	Variegated Boxleaf Euonymus	3 gal.	24" o.c.	3
7	Ilex crenata 'Soft Touch'	Soft Touch Holly	3 gal.	30" o.c.	4
8	Viburnum awabuki 'Chindo'	Chindo Viburnum	7 gal.	As Shown	1
9	Lagerstroemia indica 'Catawba'	Catawba Crape Myrtle	8' height	As Shown	1
15	Azalea Encore	Encore Azalea	3 gal.	30" o.c.	3
16	Prunus cerasifera 'Thundercloud'	Purple Leaf Plum	8'	As Shown	1



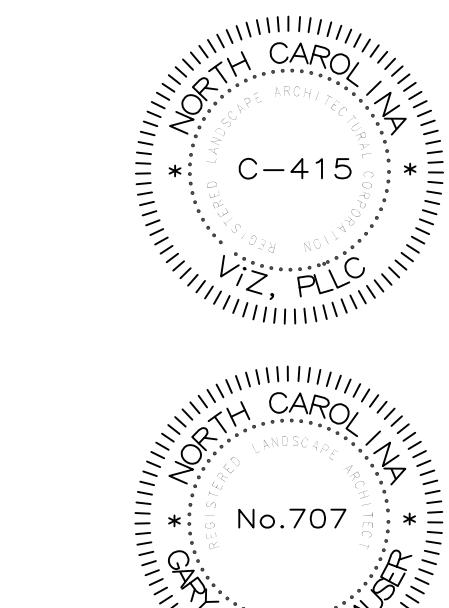
PALAZZO LANDSCAPE PACKAGE



### Plant Legend - Palazzo

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QUANTITY
1	Camellia japonica	Japanese Camellia	3 gal.	36" o.c.	2
2	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Abelia	3 gal.	30" o.c.	9
3	Thuja occidentalis 'Emerald Green'	'Emerald Green' Arborvitae	6' height	As Shown	1
4	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	3 gal.	36" o.c.	2
5	Loropetalum chinensis 'Ruby'	Ruby Loropetalum	3 gal.	36" o.c.	2
6	Ilex cornuta 'Carissa'	Carissa Holly	3 gal.	36" o.c.	2
7	Gardenia jasminoides 'Radicans'	Radicans Dwarf Gardenia	3 gal.	30" o.c.	3
8	Gardenia jasminoides 'August Beauty'	August Beauty Gardenia	7 gal.	As Shown	1
9	Magnolia soulangiana	Saucer Magnolia	8' height	As Shown	1
15	Azalea Encore	Encore Azalea	3 gal.	30" o.c.	3
16	Prunus cerasifera 'Thundercloud'	Purple Leaf Plum	8' height	As Shown	1

REV. #	DATE	DESCRIPTION	OWNER COMMENTS
1	03/03/2011		



DATE: 3/17/2014  
SCALE: AS SHOWN  
JOB NUMBER: 14-12-1  
DESIGNED BY: GRF  
DRAWN BY: GRF

SHEET TITLE:

**TYPICAL UNIT  
PLANTING PLANS**

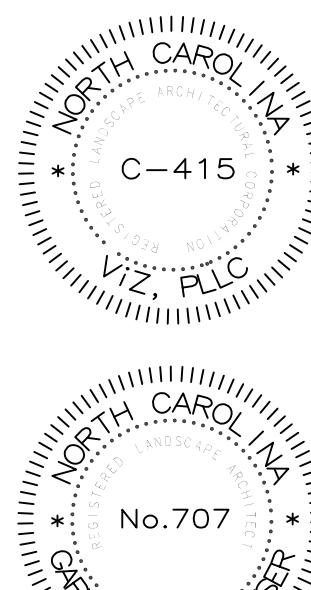
**LA-1.2**

## Courtyards of Homestead Chapel Hill, NC

Epcon  
Communities



REV. #	DATE	DESCRIPTION	OWNER COMMENTS
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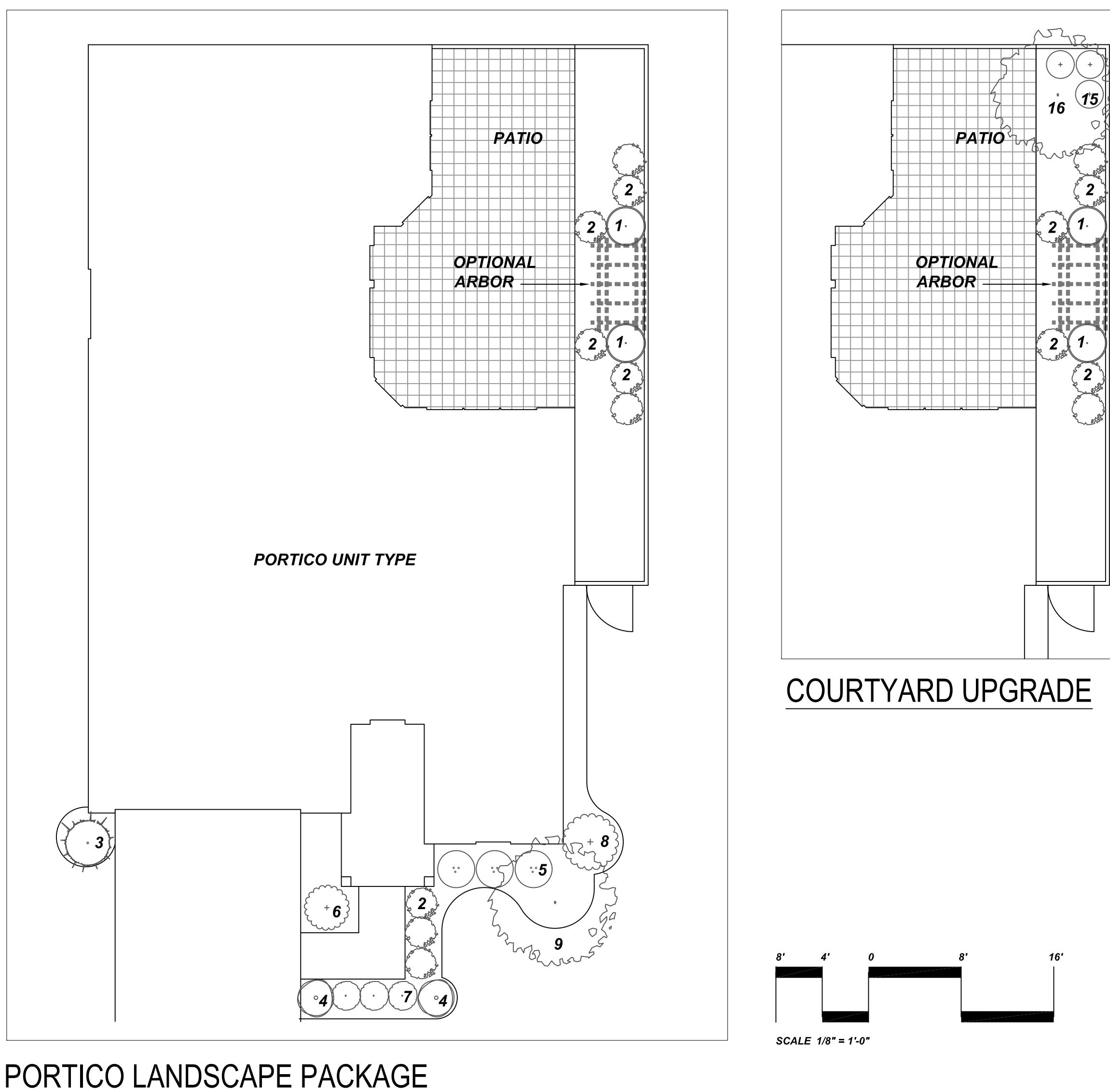


DATE: 3/17/2014  
SCALE: AS SHOWN  
JOB NUMBER: 14-12.1  
DESIGNED BY: GRF  
DRAWN BY: GRF

SHEET TITLE:

## TYPICAL UNIT PLANTING PLANS

LA-1.3

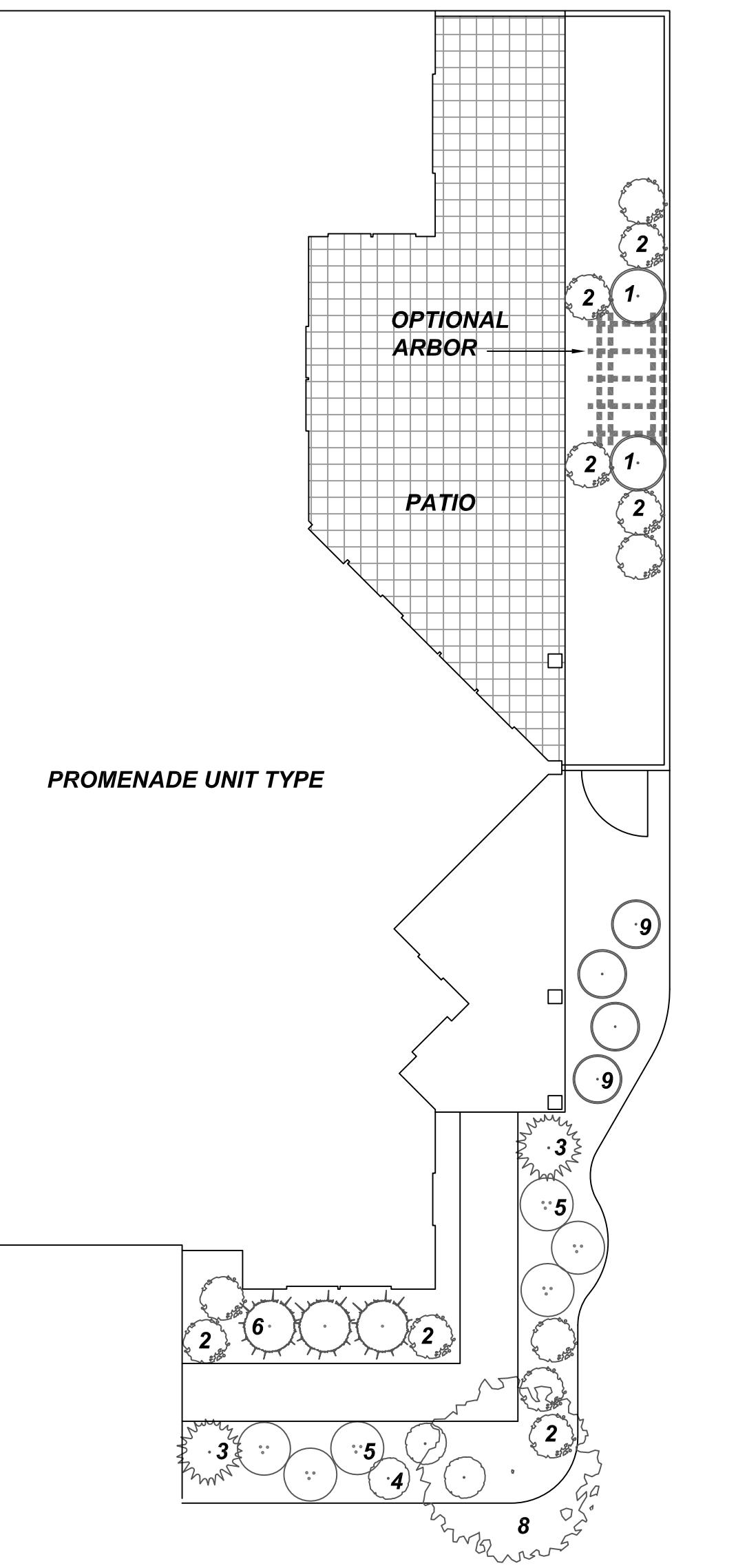


PORTICO LANDSCAPE PACKAGE

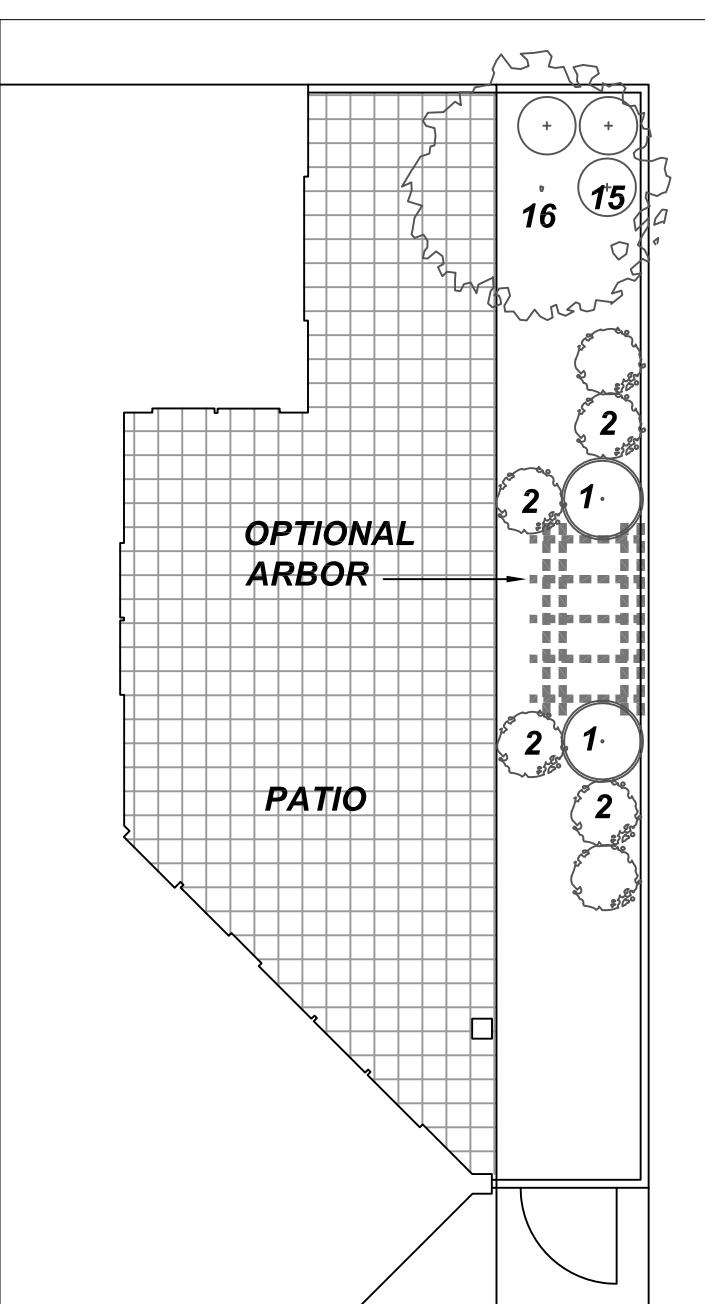
### Plant Legend - Portico

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QUANTITY
1	Camellia japonica	Japanese Camellia	3 gal.	36" o.c.	2
2	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Abelia	3 gal.	30" o.c.	9
3	Thuja occidentalis 'Emerald Green'	'Emerald Green' Arborvitae	6' height	As Shown	1
4	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	3 gal.	36" o.c.	2
5	Loropetalum chinensis 'Ruby'	Ruby Loropetalum	3 gal.	36" o.c.	3
6	Gardenia jasminoides 'August Beauty'	August Beauty Gardenia	7 gal.	As Shown	1
7	Ilex crenata 'Soft Touch'	Soft Touch Holly	3 gal.	30" o.c.	3
8	Viburnum awabuki 'Chindo'	Chindo Viburnum	7 gal.	As Shown	1
9	Lagerstroemia indica 'Catawba'	Catawba Crape Myrtle	8' height	As Shown	1
15	Azalea Encore	Encore Azalea	3 gal.	30" o.c.	3
16	Prunus cerasifera 'Thundercloud'	Purple Leaf Plum	8'	As Shown	1

COURTYARD UPGRADE



PROMENADE UNIT TYPE

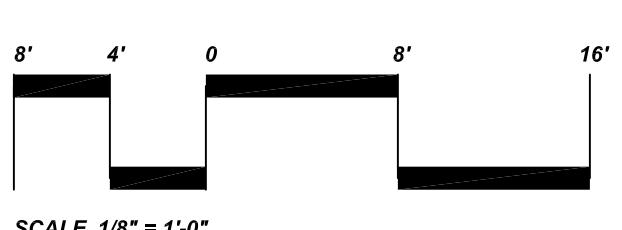


COURTYARD UPGRADE

### Plant Legend - Promenade

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QUANTITY
1	Camellia japonica	Japanese Camellia	3 gal.	36" o.c.	6
2	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Abelia	3 gal.	30" o.c.	12
3	Thuja occidentalis 'Emerald Green'	'Emerald Green' Arborvitae	6' height	As Shown	2
4	Gardenia jasminoides 'Radicans'	Radicans Dwarf Gardenia	3 gal.	30" o.c.	3
5	Loropetalum chinensis 'Ruby'	Ruby Loropetalum	3 gal.	36" o.c.	6
6	Ilex cornuta 'Carissa'	Carissa Holly	3 gal.	36" o.c.	3
7	Gardenia jasminoides 'August Beauty'	August Beauty Gardenia	7 gal.	As Shown	1
8	Magnolia soulangiana	Saucer Magnolia	8' height	As Shown	1
9	Azalea Encore	Encore Azalea	3 gal.	30" o.c.	4
15	Azalea Encore	Encore Azalea	3 gal.	30" o.c.	3
16	Prunus cerasifera 'Thundercloud'	Purple Leaf Plum	8' height	As Shown	1

PROMENADE LANDSCAPE PACKAGE



SCALE 1/8" = 1'-0"

## NOTES:

### 1. UNDERGROUND UTILITY VERIFICATION

Landscape contractor to verify location of underground utilities before beginning work.

### 2. SOIL PREPARATION

Where existing vegetation remains in areas to be seeded, eradicate existing vegetation by having a licensed spray technician apply an approved herbicide; i.e. glyphosate (Roundup), or till the weeds into the soil. Good pre-seeding weed control may require spraying two applications of glyphosate (at least two weeks apart). Close mowing two weeks prior to spraying is recommended to stimulate weed growth. Glyphosate must be applied to vegetative growth in order to kill undesirable plants and their roots. The second application is needed only if the first application is insufficient.

Test soil qualified laboratory tests and amend with lime and fertilizer as needed. Achieve a pH of at least 6.0.

For heavy compacted clay soils - Organic matter must be added in order to prevent the clay from hardening after rain events, to the point where emergent seedlings will be unable to push through the soil surface. Organic matter, such as straw, compost, mulch, leaf litter, etc., must be added in order to increase soil organic to at least 1%. The organic must be worked into the top-most soil prior to planting using a tiller, harrow, disk, or similar implement. Cultivating the top 6" of soil will aid in root development of emergent seedlings, and will allow some percolation of rain water that would otherwise run off the surface with little to no infiltration, likely carrying the seed away with it.

If heavy soil conditions are encountered where percolation is not adequate to prevent ponding after a normal rainfall event then the following procedures supersede those illustrated in the accompanying details. Where subgrade does not allow for natural drainage through amendments or subsurface drainage, rootballs shall be set at a depth not to exceed 1/2 of the total rootball depth. Provide additional amendments or drainage as needed to ensure survival of the plant after consulting with landscape architect.

Tracking slopes with mechanized equipment should be done perpendicular to fall line to minimize runoff and erosion.

### 3. IRRIGATION

All new plant areas of site with the exception of street trees are to be irrigated as shown on drawings. See irrigation drawings. Design-Build system design to be submitted to the landscape architect for review and approval prior to installation. Irrigation Contractor shall be licensed as required by the state in which the work is to be conducted.

### 4. PLANT MATERIAL STANDARDS

All plant material and planting standards specified shall meet the minimum standards for nursery stock- ANSI Z60.1-2004 or the County whichever is stricter. Any material with evidence of disease or pest infestations will be rejected. All rework will be at the expense of the Contractor. Substitutions will be permitted only upon prior approval by the Landscape Architect or Owner's Representative. Contractor shall be responsible for furnishing all seed tags and plant tags affirming origin and species. Plant tags shall not be removed prior to final inspection and acceptance. Contractor is responsible for the health of all plant material for a minimum of 30 days following final acceptance. If contractor is awarded a contract for maintenance then he/she shall be responsible for the health and/or replacement of all material as set forth by the maintenance contract.

### 5. MISCELLANEOUS NOTES

a. Landscape contractor shall submit a schedule of proposed plantings for all annual beds and planters providing for spring and fall plant rotations. Select plants to provide variety and unity.  
b. Tree placement and landscape bed layout to be approved by landscape architect prior to installation.  
c. All disturbed areas are to be stabilized with lawn, plantings, or mulch.  
Mulch around all plants as specified, trees shall be mulched with pine straw except within 6' of buildings or as prohibited by local ordinances. shredded hardwood bark mulch shall be used for all perennials and annual beds.  
d. See SEEDING SPECIFICATIONS for seed mix and schedules.  
e. See LANDSCAPE MAINTENANCE OUTLINE for additional specifications.

## SEEDING SPECIFICATIONS AND SCHEDULES

### Temporary Seeding:

All areas disturbed by construction will be stabilized with temporary seeding immediately following grading. Seeding will comply with the standards and specifications of the latest edition of the Erosion and Sediment Control Regulations for the State or jurisdiction in which the project is located. Seeded areas will be maintained in keeping with accepted practices and care.

### Permanent Seeding:

#### STEEP SLOPE AREAS

August 15th - April 1st - Hydro Seed Steep Slope Areas (>2.5:1 H:V) with Sericea Lespedeza ("Lespedeza cuneata Dumont") - 30 lbs/ac (un-hulled) + Red Top Grass 2 lbs/ac + Pensacola Bahiagrass 50 lbs/ac + Kentucky 31 Fescue 50 lbs/ac + Annual rye 20 lbs/ac (winter rye November 1st-February 15th) - hydro seed with NA Green HydraCX2 mulch (or equal) and recommended soil amendments and inoculants.

April 1st - May 1st - Hydro Seed Steep Slope Areas (>2.5:1 H:V) with Sericea Lespedeza ("Lespedeza cuneata Dumont") - 30 lbs/ac (un-hulled) + Red Top Grass 2 lbs/ac + Pensacola Bahiagrass 50 lbs/ac + Kentucky 31 Fescue 50 lbs/ac + Fox Tail Millet 20 lbs/ac - hydro seed with NA Green HydraCX2 mulch (or equal) and recommended soil amendments and inoculants.

May 1st - August 15th - Hydro Seed Steep Slope Areas (>2.5:1 H:V) with Sericea Lespedeza ("Lespedeza cuneata Dumont") - 30 lbs/ac (hulled) + Red Top Grass 2 lbs/ac + Pensacola Bahiagrass 50 lbs/ac + Kentucky 31 Fescue 50 lbs/ac + Fox Tail Millet 20 lbs/ac - hydro seed with NA Green HydraCX2 mulch (or equal) and recommended soil amendments and inoculants.

#### TURF AREAS - (reduce seeding rates by 35% for overseeding)

August 15th - April 1st  
Cool Season Turf Grass - Seed with Kentucky 31 Fescue 100 lbs/ac + 75 lbs/ac Creeping Fescue ("Rubra rubra") + Kentucky Bluegrass 10 lbs/ac; straw and tack all newly seeded areas not hydro seeded.  
Sod - as noted

April 1st - May 1st  
Cool Season Turf Grass - Seed with Kentucky 31 Fescue 100 lbs/ac + 75 lbs/ac Creeping Fescue ("Rubra rubra") + Kentucky Bluegrass 10 lbs/ac; straw and tack all newly seeded areas not hydro seeded.

May 1st - August 15th  
Warm Season Turf Grass - Sunturf Improved Bermuda - 3 lbs/1,000 sf

**NATIVE GRASSES AND WILDFLOWER AREAS**  
Seed Mixes (Available from John Deere Landscapes 704-823-0613 or Ernst Seed Company)  
Native Grass Areas - Little Blue Stem (The Blues) 3 lbs/ac + Broomsedge (Silver Beauty) 3 lbs/ac + Side Oats Grama 3 lbs/ac + Prairie Dropseed 3 lbs/ac  
Wildflower Areas - Southeastern Wildflower Mix - 24 lbs/ac

**Seeding Schedule**  
- If project schedule requires seeding of Native Grass Areas prior to March 15th, then seed, straw and tack disturbed areas with annual rye at a rate of 300 lbs./ac.  
- Seed Native Grass Areas in early spring as soon as average daytime temperatures reach 60-65 deg. Seed Wildflower Areas May 1st - July 1st.  
- If temporary seeding is required as noted above, contractor shall eradicate cover grass as needed prior to seeding native grass and wildflower areas.

**General Stabilization and Seeding Notes**  
- Prep and seed all areas disturbed by construction that are not seeded for Steep Slopes, Native Grass Areas or Wildflower Seed Areas, with Warm Season or Cool Season turf grasses as specified above.  
- Do not cover seed more than 1/4 inch

## LANDSCAPE MAINTENANCE OUTLINE

The following outline describes the basic elements of work that will be performed throughout the calendar year:

### I. LAWNS - WARM SEASON TURF

#### A. Mowing

All lawns will be mowed as needed throughout the year in order to maintain a clean, neat appearance. Typically all lawns will be cut at a height of 2" for warm season grasses and 3"-4" for cool season grasses.

#### B. Fertilization and Weed Control

February/March: All lawns will be treated with a pre-emergent herbicide for the prevention of annual weed grasses and broadleaf weeds.

March: All lawns will be treated with a high-density fertilizer to promote Spring plant growth and replace nutrients lost due to leaching during the Winter months.

May: All lawns will be treated with a post-emergent herbicide for control of broadleaf weeds and weed grasses, plus a slow-release fertilizer to maintain a healthy turf during the Summer months.

September: All lawns will have a Fall application of fertilizer to replace nutrients lost during the Summer months.

November: All lawns will be treated with a slow-release fertilizer with Iron-Plus to promote Winter hardness.

#### C. Insects and Disease Control

All lawn areas will be monitored for infestation of insects or appearance of turf diseases. Due to the unpredictable nature of these problems, treatments will be performed on an "as needed" basis to prevent and control infestations. All insecticides/ fungicides will be applied under the supervision of a Certified Pesticide Applicator. Vertebrate pests such as deer, beaver, voles, and moles shall be monitored and reported to property manager when occurrences are noted.

### II. EDGING

#### A. Lawns

All curbs and sidewalks will be edged, as needed, throughout the year in order to maintain a clean cut, crisp edge.

#### B. Shrub Beds

All bed lines will be edge cut once a year.

### III. PLANTING

#### A. Weed Control

March: all bed areas will be treated with a pre-emergent herbicide to control weed seed germination (Ex. Barricade, Snapshot, pendulum)

When needed, all beds will be treated with the selective post-emergent herbicide, (Ex. Finale, Roundup, Reward,) to control weed seeds, which have germinated.

Additional hand weeding and selective spraying of herbicides such as ROUND-UP will be performed as needed

All applications will be applied under the supervision of a licensed Certified Pesticide Applicator.

#### B. Fertilization

All evergreen shrub beds will be fertilized in the early Spring according to soil test results and plant /fertilizer recommendations.

All blooming trees and shrubs (i.e. azalea, rhododendron, dogwoods, redbud) will be fertilized with a complete analysis fertilizer 4 to 5 weeks after blooming.

Deciduous trees and shrubs except blooming species will be fertilized with a complete slow release fertilizer in the early Spring and two additional times during the growing season.

#### C. Pruning

All plantings will be pruned at the appropriate time of the year according to type / species. For example, Spring blooming trees and shrubs will be pruned after flowering while Summer blooming species will be pruned in Winter or early Spring

#### D. Insect and Disease Control

All plantings will be monitored for infestation of insect or appearance of disease. Once identified, chemical treatments will be applied. All applications will be performed under the supervision of a licensed Certified Pesticide Applicator.

### IV. CLEAN-UP

#### A. Grounds

All grounds will be policed on a bi-weekly basis.

Major damage due to high winds, ice, snow, or other unpredictable acts of nature is not included but shall be offered on an hourly basis. Contractor shall provide property manager with hourly rates for labor and equipment at the time of contract acceptance/renewal.

Leaf clean-up of walks, turf areas, shrub beds and other high visibility areas is to be provided weekly. Leaf cleanup in out lying natural areas is to be provided twice per year in the fall.

### V. IRRIGATION (if provided)

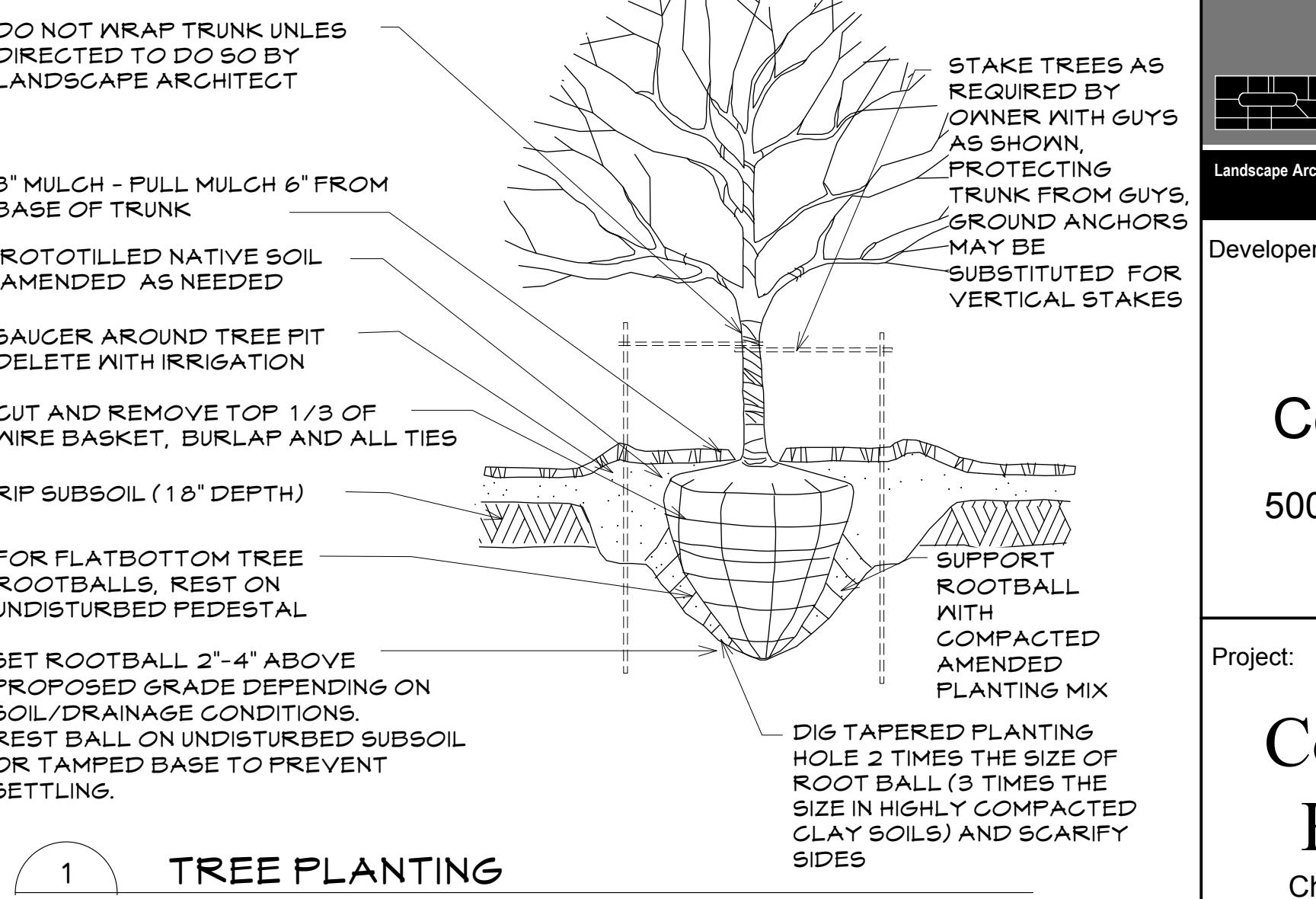
All irrigation will be monitored on a weekly basis to insure coverage per the irrigation design. Repairs made as needed. Cost for repairs shall be specified in Landscape Contract. Provisions shall be made to drain down in the fall to insure against freezing.

### SHRUB PLANTING AND GROUNDCOVER PLANTINGS

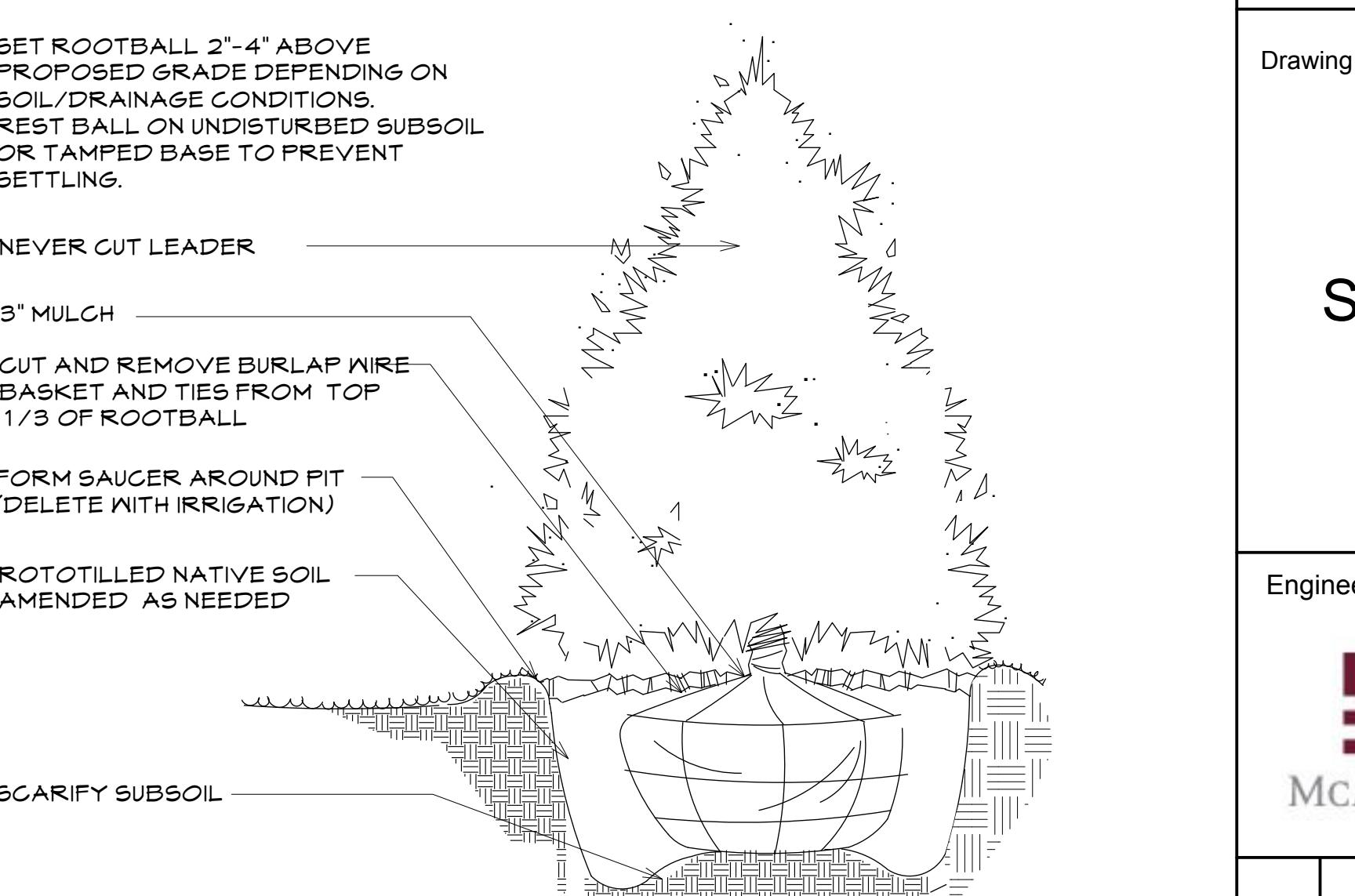
SPACE PLANTS AS SHOWN ON PLAN OR PLANT LIST  
CUT AND REMOVE BURLAP FRM TOP 1/3 OF ROOTBALL  
BUILD 3"-4" SAUCER AROUND PIT - INVERT SAUCER TO MATCH FINISH GRADE OR AS DIRECTED BY LANDSCAPE ARCHITECT - (DELETE SAUCER IF IRRIGATED)  
ROTOTILL NATIVE SOIL - AMEND WITH COMPOST - BACKFILL IN 9" LAYERS  
WATERING EACH  
RIPPED SUBSOIL TO A DEPTH OF 12" MIN. FOR SHRUBS (3" FOR GROUNDCOVER) - RETAMP TO PREVENT SETTLING

3" MULCH (1"-2" MAX. OVER ROOTBALL), PULL BACK 3" FROM TRUNK - INSTALL WEED CONTROL FABRIC FOR GROUNDCOVERS PLANTINGS  
FINISHED GRADE  
TWICE ROOTBALL DIA.

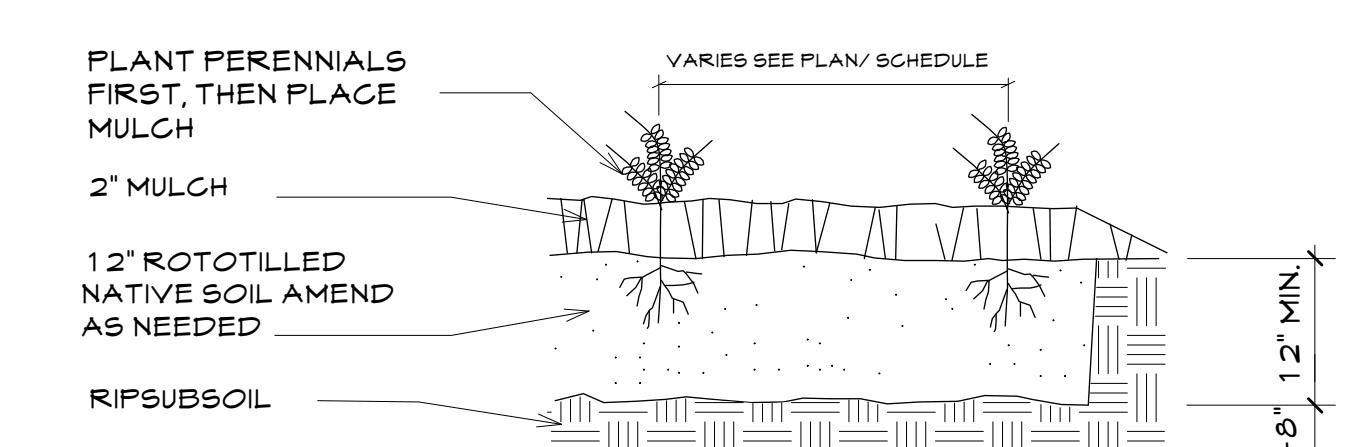
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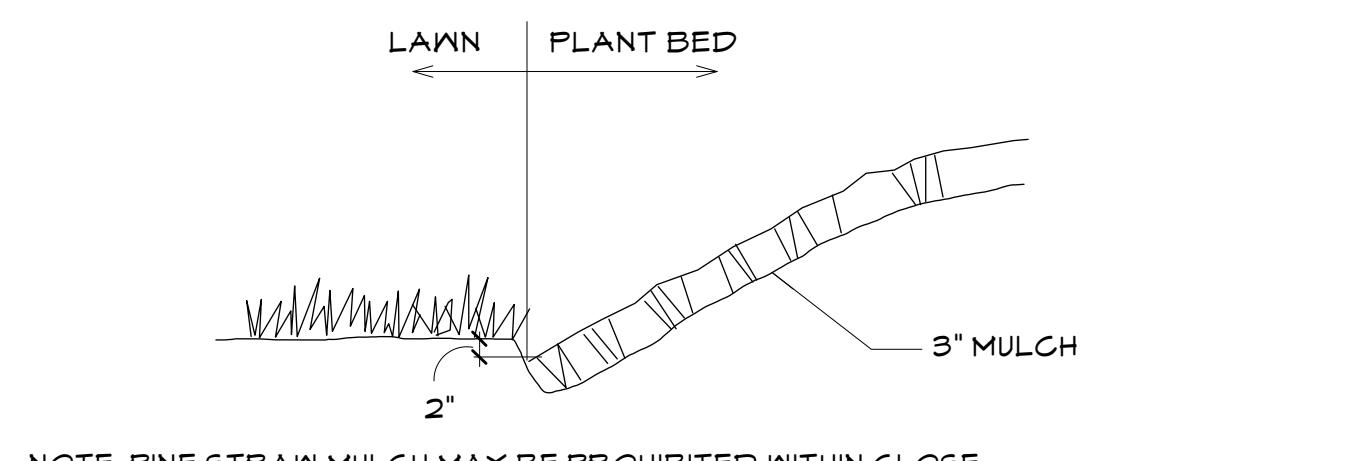
1 LA-1.1 N.T.S.



2 LA-1.1 N.T.S.



4 LA-1.1 N.T.S.



5 LA-1.1 N.T.S.

Principals Office:  
1450 Environ Way  
Chapel Hill, NC 27517  
Virginia Office:  
274 Bletchley Court  
Boyds, Virginia 20137  
252-213-9501 434-689-2925 (fax)  
www.smurrayplan.com  
smurray@smurrayplan.com

Landscape Architecture | Environmental Design | Project Management

Developer:

Epcor  
Communities

500 Stonehenge Parkway  
Dublin, OH 43017

Project:  
Courtyards of Homestead  
Chapel Hill, North Carolina

Drawing Title:

Planting,  
Details and  
Specifications

Engineering and Stormwater Consultant:  
P.O. Box 14005  
Research Triangle Park  
NC 27709  
2905 Meridian Parkway  
Durham, NC 27713

MCADAMS

No. Date: Issue Notes:

  
NORTH CAROLINA  
STATE LANDSCAPING  
LICENSE  
1991  
SCOTT MURRAY

Design Firm:  
Scott Murray Land Planning, Inc.  
1450 Environ Way Chapel Hill, NC 27517  
252-213-9501 434-689-2925 (fax)  
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smurray@smurrayplan.com

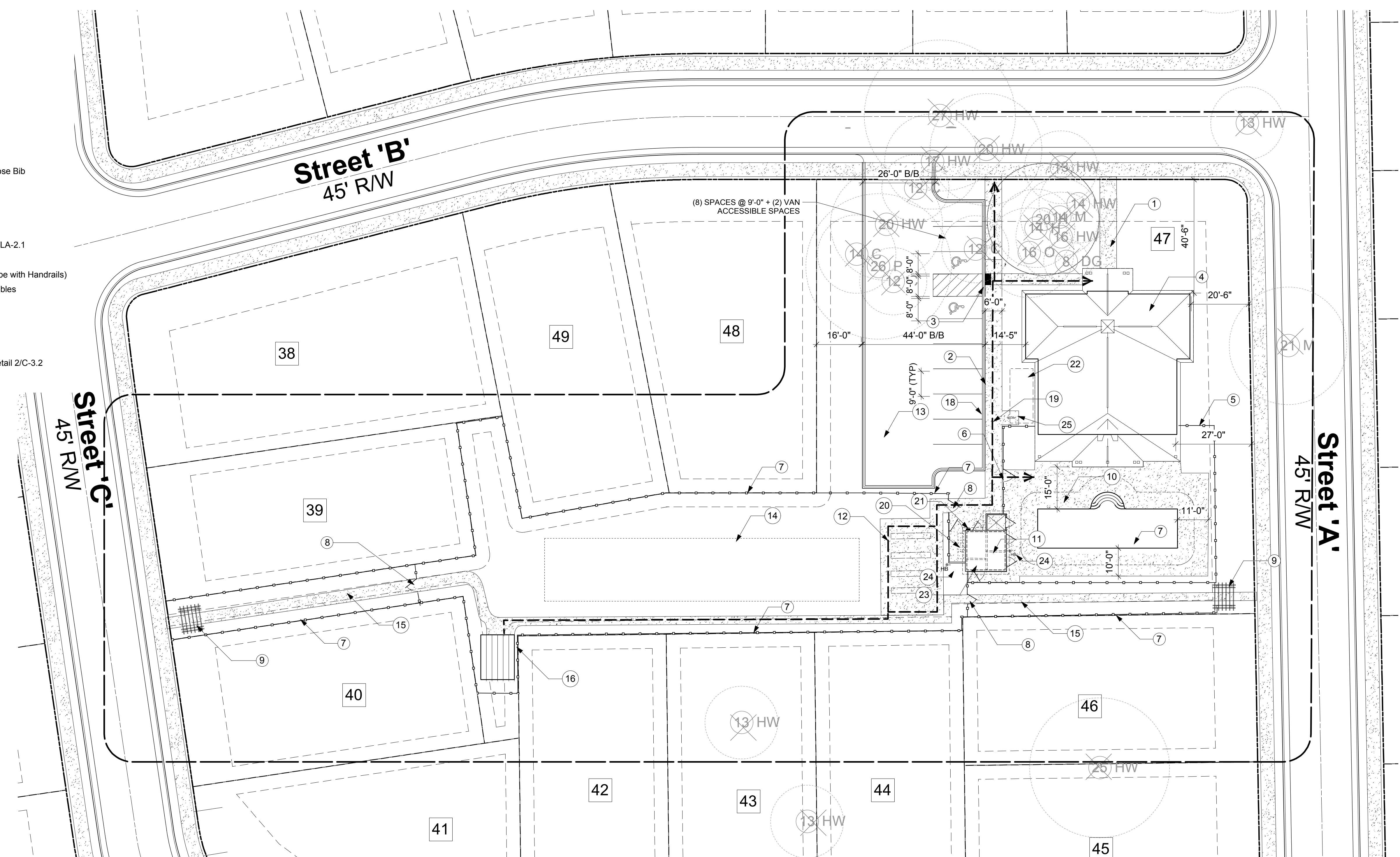
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Drawn By:  
STM  
Drawing No.: na  
of LA-1.4

PIN # 9870900457, 9870904109 & 9870911164

Site Feature Callouts

- 1 4' Concrete Walkway
- 2 6' Concrete Walkway
- 3 ADA Depressed Curb & Ramp
- 4 Clubhouse
- 5 Pool Fence Enclosure - 4' Min. Ht
- 6 Self-Closing and Latching Gate
- 7 3' to 5' Aluminum Picket Fence - Stone Columns (optional)
- 8 Gated Entry
- 9 Trellis
- 10 Non-Slip Pool Deck
- 11 Pool Pump House
- 12 Accessible Route to Accessible Garden Beds (Raised), Tool Shed & Hose Bib
- 13 Asphalt Parking Area - See Detail 7/LA-2.1
- 14 Community Garden (vegetables, flowers/shrubs or lawn)
- 15 4'-0" Concrete Walk
- 16 Garden Tool Shed
- 17 Aluminum Picket Fence and Optional Stone Columns - See Details 4-6/LA-2.1
- 18 12" Concrete Curb & Gutter - See Detail 7/LA-2.1
- 19 Accessible Route (Max 2% Cross-slope/5% Slope or 8.33% Ramp Slope with Handrails)
- 20 Roll-Out Trash Bin Areas - (1) RollOut Container + (1) Roll-Out Recyclables
- 21 Meter Base or Sub-Panel
- 22 Service Area Electrical Meter + HVAC Units
- 23 Chemical Storage Room
- 24 Frostproof Yard Hydrant with Backflow Preventor
- 25 Bicycle Spaces on Washed Stone Pad - 6'-0" x 6'-0" (2 Spaces) See Detail 2/C-3.2



GENERAL NOTES, BATHER LOADING & FACILITIES

1. ALL FACILITIES SHALL COMPLY WITH SECTION 2500 OF TITLE 15A SUBCHAPTER 18A OF THE NORTH CAROLINA ADMINISTRATIVE CODE - PUBLIC SWIMMING POOLS

2. BATHER LOADING:

756 SF/15 SF/BATHER = 50 BATHERS (25 MEN + 25 WOMEN)

3. REQUIRED/PROVIDED SANITARY FACILITIES:

- (1) MEN'S URINAL
- (1) MEN'S WATER CLOSET
- (1) MEN'S LAVATORY
- (2) WOMEN'S WATER CLOSETS
- (2) WOMEN'S LAVATORIES
- (1) SHOWER

RECREATION SPACE: THE REQUIRED RECREATION SPACE (19,833 SF) IS MET AND EXCEEDED BY THE PROPOSED CLUB AND GARDEN (33,000 SF), THE NORTH PARK AREA (18,500 SF), AND THE CROW BRANCH CONSERVATION AREA TRAIL CONNECTION (400 LF).

THE CLUB AND LAP POOL PROVIDE INDOOR AND OUTDOOR SPACE FOR ACTIVITIES AND GATHERING. ALL FACILITIES ARE ADA ACCESSIBLE.

THE COMMUNITY GARDEN AREA PROVIDES OUTDOOR COMMUNITY SPACE FOR GARDENING. PROTECTED BY THE RESIDENTS IT MAY INCLUDE VEGETABLE GARDENS, FLOWERS, ROSES OR LAWN AREAS. IT WILL BE FULLY ENCLOSED BY A 3' FENCE TO PROVIDE FOR VISIBILITY FROM ADJACENT COURTYARDS. DEER CONTROL WILL BE PROVIDED BY THE USE OF MILORGANIC FERTILIZER AND SUPPLEMENTED BY THE ENCLOSURE CREATED BY THE ADJACENT HOMES AND A 4' OR 5' COURTYARD GATE CREATING A 5' BARRIER. IN AREAS NOT PROTECTED BY A 4' OR 5' COURTYARD ENCLOSURE, A 6' FENCE MAY BE USED.

PARKING, FLOOD HAZARD AND SURVEY NOTES

PARKING REQUIRED MIN/MAX: NOT SPECIFIED BY LUMO, 10 SPACES PROPOSED (APPROXIMATELY 1 SP/200 SF INCLUDING 2 ADA ACCESSIBLE SPACES)  
 ADA ACCESSIBLE SP REQUIRED: 1 VAN ADA ACCESSIBLE SPACES PROVIDED: 2 VAN  
 BICYCLE PARKING REQUIRED: 2 SPACES (20% OF PARKING) BICYCLE PARKING PROPOSED: 2 CLASS-2 SPACES

Principal Office:  
 1450 Environ Way  
 Chapel Hill, NC 27517

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 271 Beteourt Court  
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 252-213-9501  
 smurray@smurray.com

Landscape Architecture | Environmental Design | Project Management

Developer:

Epcon  
 Communities

500 Stonehenge Parkway  
 Dublin, OH 43017

Project:  
 Courtyards of  
 Homestead  
 Chapel Hill, North Carolina

Drawing Title:

Club and  
 Garden  
 Site Plan

Engineering and Stormwater Consultant:

P.O. Box 14005  
 Research Triangle Park  
 NC 27709  
 2905 Meridian Parkway  
 Durham, NC 27713

MCADAMS

No. Date: Issue Notes:



Design Firm:

Scott Murray Land Planning, Inc.  
 1450 Environ Way Chapel Hill, NC 27517  
 252-213-9501 434-689-2925 (fax)  
 www.smurray.com  
 smurray@smurray.com

CAD File:

Scale:

AS SHOWN

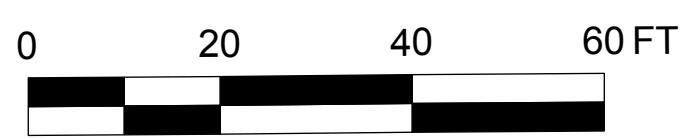
Date:

Drawn By:

STM

Drawing No.:

na



PIN # 9870900457, 9870904109 & 9870911164

LA-2.0

of



Developer:

Epcon  
Communities

500 Stonehenge Parkway  
Dublin, OH 43017

Project:

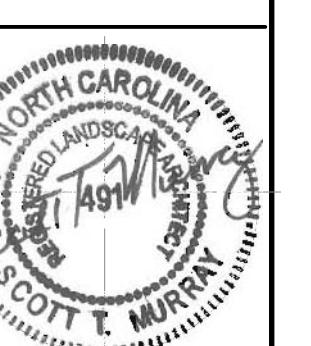
Courtyards of  
Homestead  
Chapel Hill, North Carolina

Drawing Title:

Clubhouse  
Architectural  
Envelope

Engineering and Stormwater Consultant:  
P.O. Box 14005  
Research Triangle Park  
NC 27709  
2905 Meridian Parkway  
Durham, NC 27713  
**MCADAMS**

No. Date: Issue Notes:



Design Firm:  
**Scott Murray Land Planning, Inc.**  
1450 Environ Way Chapel Hill, NC 27517  
252-213-9501 434-689-2925 (fax)  
www.smilandplan.com  
smurray@smilandplan.com

CAD File:

Scale:  
AS SHOWN

Date:

Drawn By:  
STM

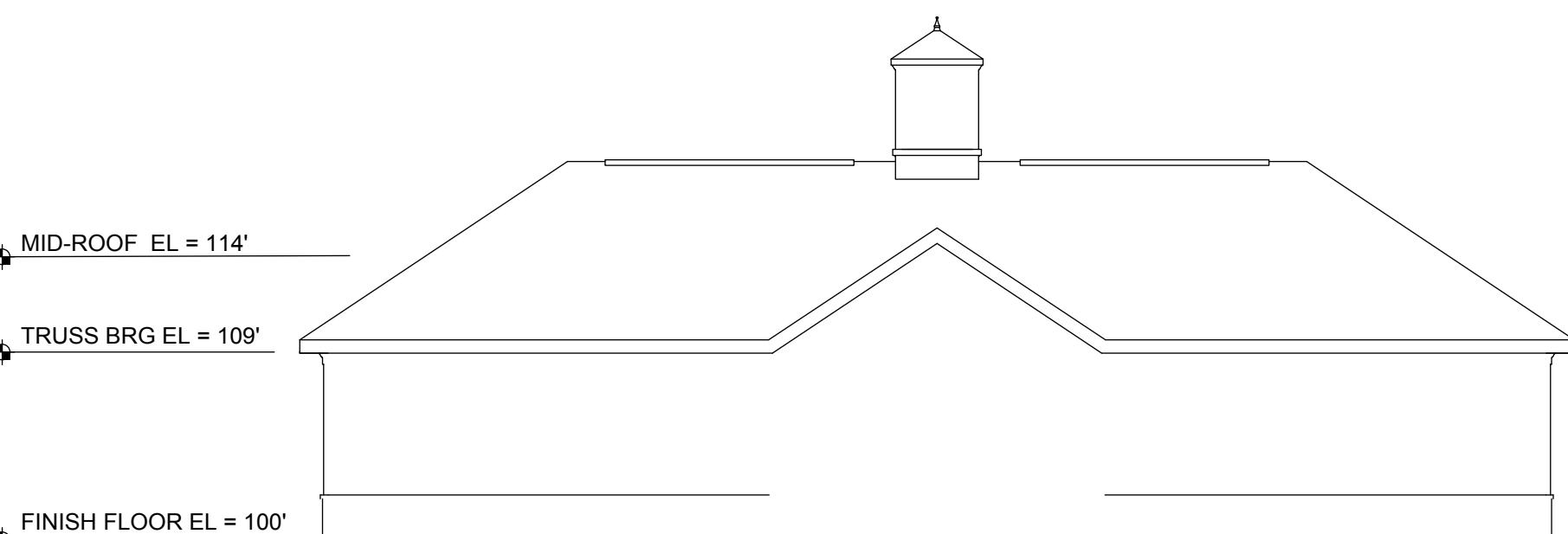
Drawing No.:  
na

A-1.0

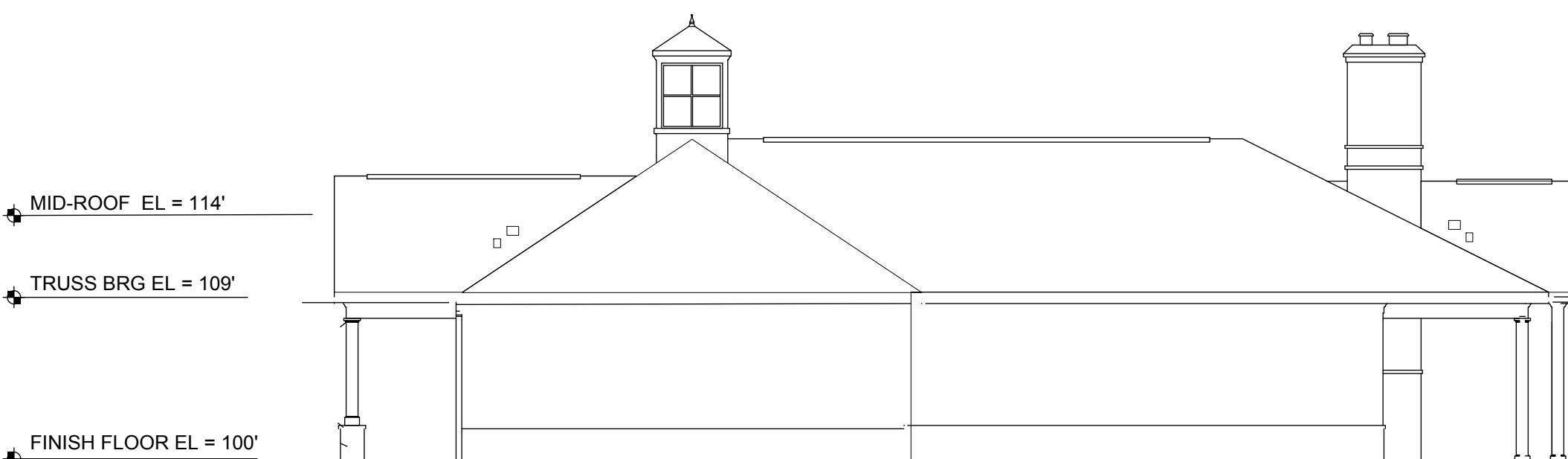
of

50 MAX. SECONDARY BUILDING HEIGHT ALLOWED BY LUMO

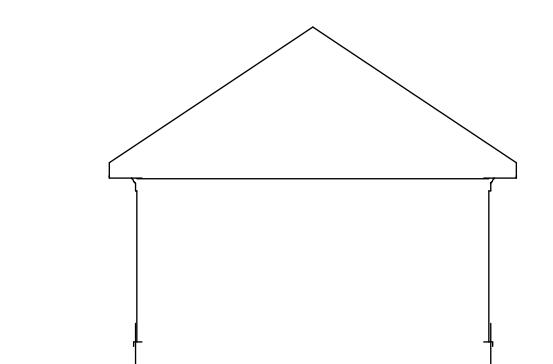
29' MAX. PRIMARY BUILDING HEIGHT ALLOWED BY LUMO



FRONT & REAR ELEVATION PROFILE  
SCALE: 1/8"=1'-0"



SIDE ELEVATION PROFILE  
SCALE: 1/8"=1'-0"



BATHHOUSE/PUMPHOUSE PROFILE  
SCALE: 1/8"=1'-0"