

COURTYARDS OF HOMESTEAD

Special Use Permit

March 27, 2014

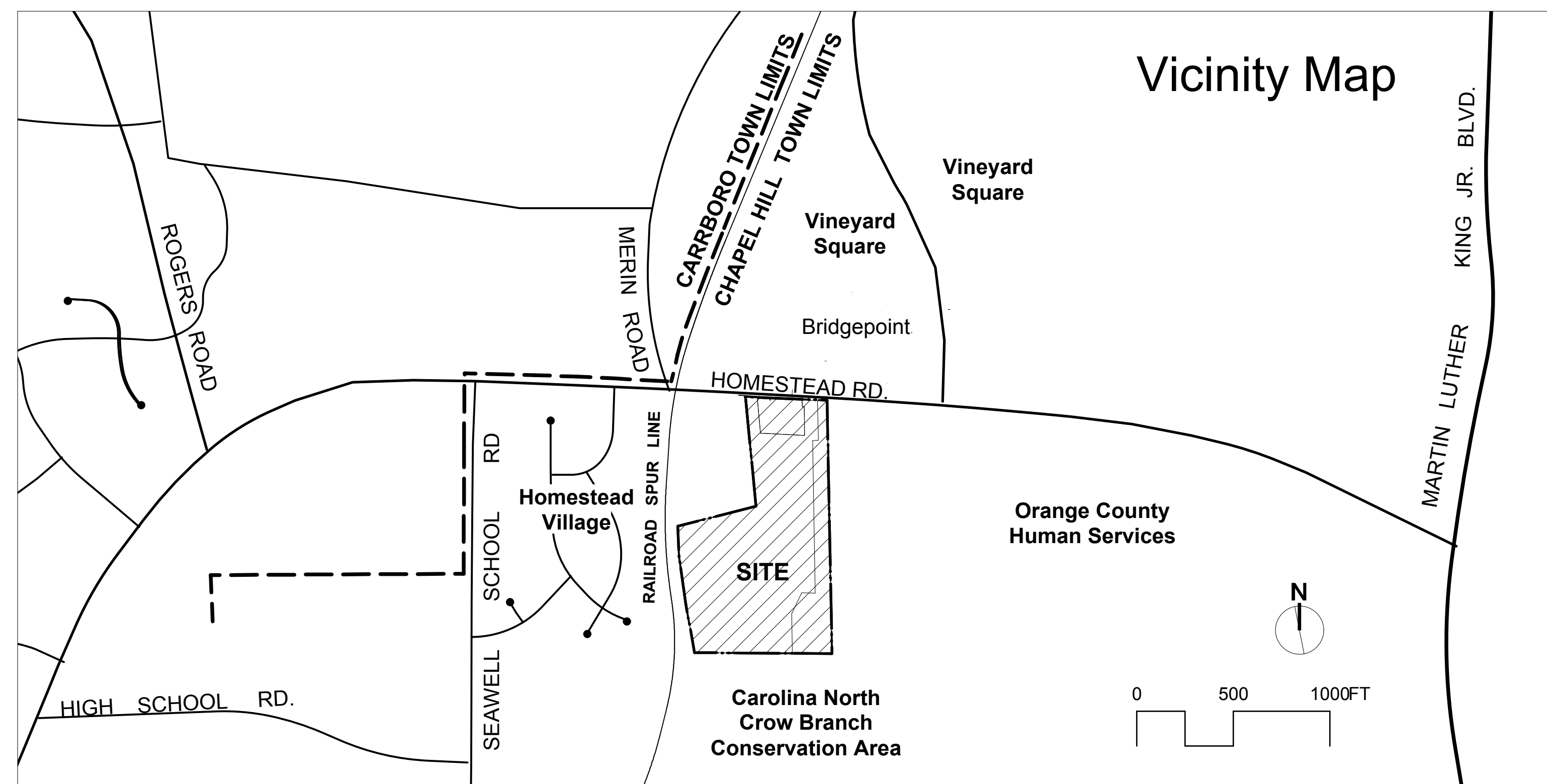
Revisions

- △ May 6, 2014 Per Staff/TRT Comments
- △ July 17, 2014 Corrected Buffers and Modified Proposed Plantings

APPLICANT:
Scott Murray Land Planning, Inc.
1450 Environ Way
Chapel Hill, NC 27517
Contact: Scott Murray
(252) 213-9501
smurray@stmlandplan.com

DEVELOPER:
Epcon Communities
500 Stonehenge Parkway
Dublin, OH 43017
Contact: Stephan George
(919) 815-9987
sgeorge@epconcommunities.com

ENGINEERING:
McAdams
P.O. Box 14005
Research Triangle Park, NC 27709
Contact: Ryan Akers
(800) 733-5646
akers@johnrmcadams.com



Sheet Index

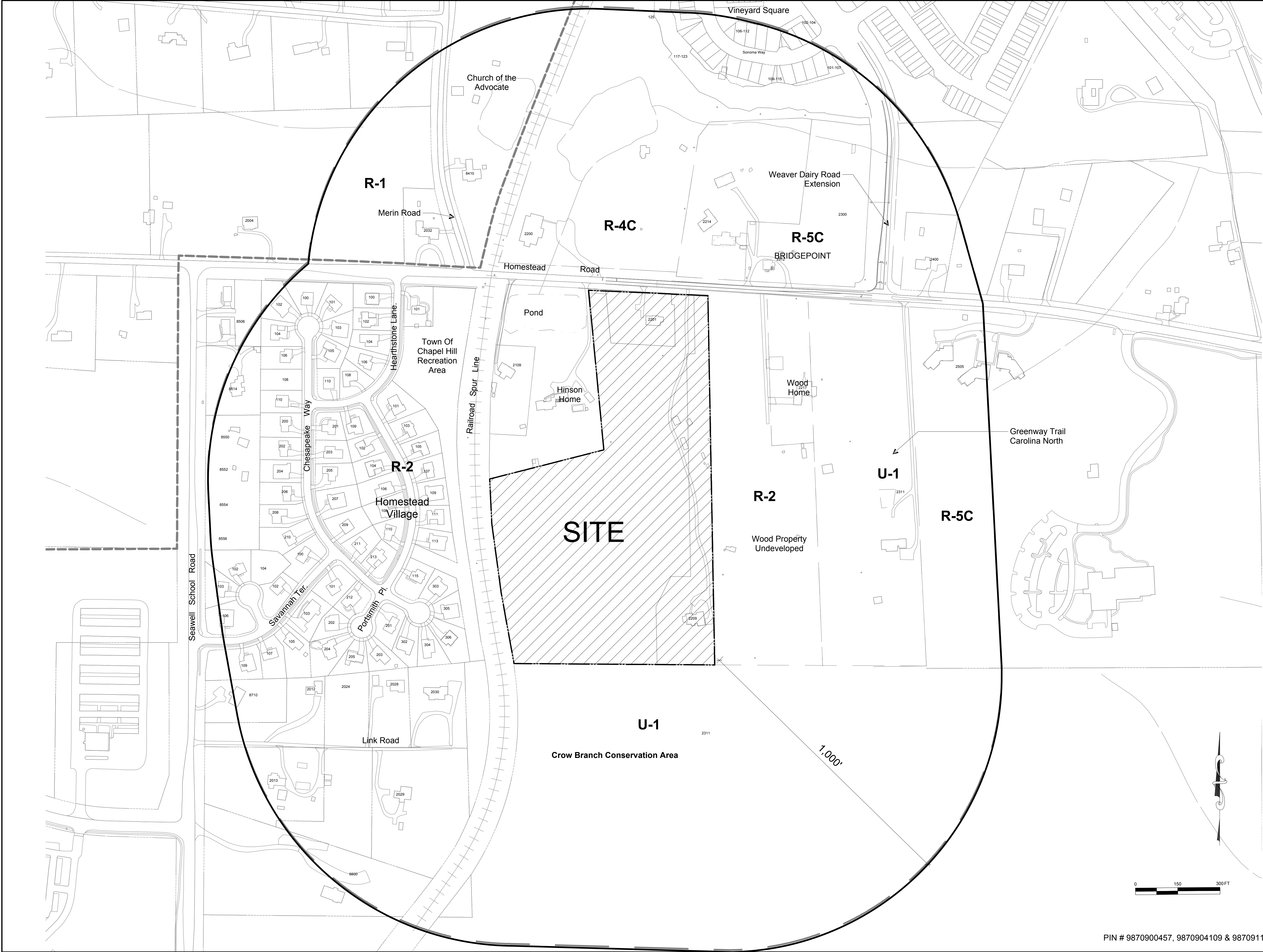
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| C-0.0 | Cover Sheet |
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| C-2.0 | Existing Conditions Plat |
| C-2.1 | Existing Conditions - Tree Survey / Steep Slopes / Site Analysis Map |
| C-3.0 | Site Plan |
| C-3.1 | Street Sections and Site Details |
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CONSTRUCTION WASTE:


- a. By Orange County Ordinance, clean wood waste, scrap metal and corrugated cardboard, all present in construction waste, must be recycled.
- b. By Orange County Ordinance, all haulers of construction waste must be properly licensed.
- c. Prior to any demolition or construction activity on the site the applicant will hold a pre-demolition/pre-construction conference with the County's Solid Waste staff. This may be the same meeting held with other development officials.

PIN # 9870900457, 9870904109 & 9870911164

Property Address: 2201, 2209, & 2301 Homestead Road Chapel Hill, NC



PIN # 9870900457, 9870904109 & 9870911164



SCOTT MURRAY
LAND PLANNING, INC.

Principal Office:
1450 Environ Way
Chapel Hill, NC 27517

Virginia Office:
274 Bolecourt Court
Boynton, Virginia 23017
252.213.9501
stmldplan.com

Landscape Architecture | Environmental Design | Project Management

Developer:

Epcon
Communities

500 Stonehenge Parkway
Dublin, OH 43017

Project:


Courtyards of
Homestead

Chapel Hill, North Carolina

Drawing Title:

Area Map

Engineering and Stormwater Consultant:


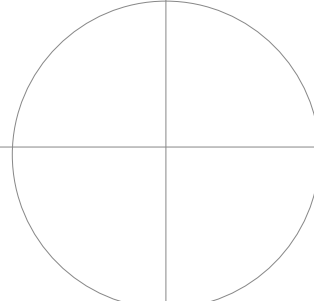


McADAMS

P.O. Box 14005
Research Triangle Park
NC 27709

2905 Meridian Parkway
Durham, NC 27713

| No. | Date: | Issue Notes: |
|-----|-------|--------------|
| | | |



Design Firm:

Scott Murray Land Planning, Inc.
1450 Environ Way Chapel Hill, NC 27517
252-213-9501 434-689-2925 (fax)
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smurray@stmldplan.com

CAD File:

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| Scale: AS SHOWN | C-1.0 |
| Date: 3-24-2014 | |
| Drawn By: STM | |
| Drawing No.: na | |

of

Epcon
Communities

Project:

Drawing Title:

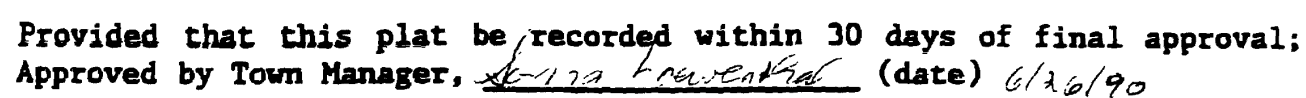
Existing
Conditions
Plat



McADAMS

C-2.0

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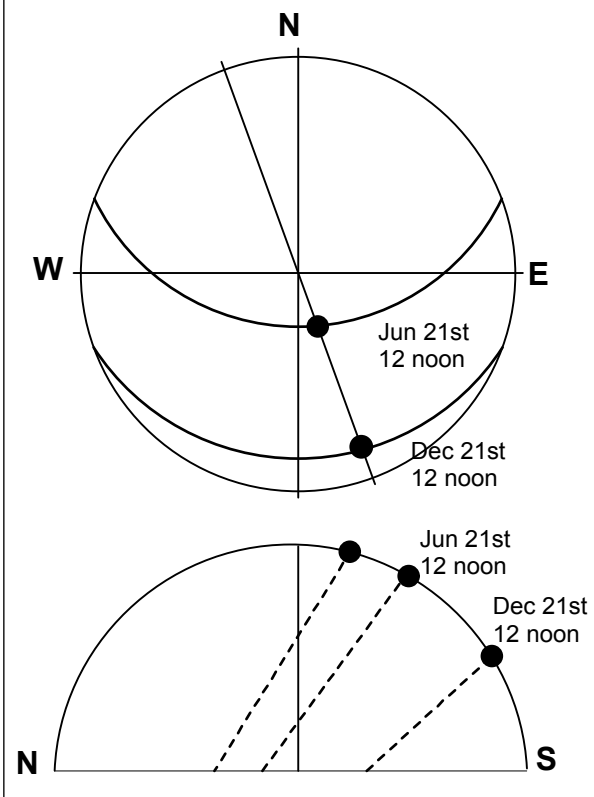
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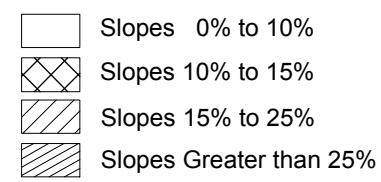
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PIN # 9870900457, 9870904109 & 9870911164

Solar Tracking Chart
Solar Track for 36 Deg Latitude / 78 Deg Longitude

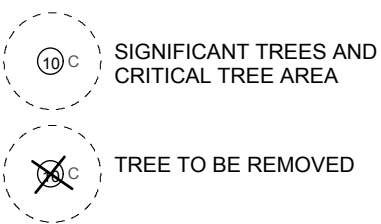


Existing Conditions Legend



Soils Types Identified

EnB Enon loam, 2 to 6 percent slopes
EnC Enon loam, 6 to 10 percent slopes
GeB Georgetown silt loam, 2 to 6 percent slopes
GeC Georgetown silt loam, 6 to 10 percent slopes



| DESCRIPTION | EXISTING |
|---------------------------|-----------|
| 1' CONTOUR INTERVAL | ----- |
| 5' CONTOUR INTERVAL | ----- |
| PROPERTY LINE | ===== |
| ROADWAY CENTERLINE | ===== |
| RIGHT OF WAY LIMITS | ===== |
| EASEMENT LINE | ===== |
| CURB & GUTTER | ===== |
| SANITARY SEWER FACILITIES | SS |
| STORM SEWER FACILITIES | SS |
| WATERLINE | W |
| FIRE HYDRANT ASSEMBLY | ○ FH |
| DRAINAGE MANHOLE | ○ D |
| SEWER MANHOLE | ○ S |
| SEWER CLEANOUT | ○ SC |
| WATER MANHOLE | ○ W |
| WATER VALVE | ○ WV |
| WATER METER | ○ WM |
| POWER POLE | ○ P |
| LIGHT POLE | ○ L |
| OVERHEAD UTILITY | ○ OU |
| RETAINING WALL | ===== |
| FENCING STRUCTURE | ===== |
| WOODS LINE | ===== |
| WATERWAYS | ===== |
| LIMITS OF DISTURBANCE | N/A |
| TREE PROTECTION FENCE | N/A |
| SILT FENCE | N/A |
| SPOT ELEVATION | TC/347.77 |
| SIGNAGE | ----- |

TREE LEGEND

○ C CEDAR
○ DG DOGWOOD
○ SG SWEET GUM
○ HW MISC. HARDWOOD
○ H HICKORY
○ MG MAGNOLIA
○ M MAPLE
○ O OAK
○ WO WHITE OAK
○ P PINE
○ PO POPLAR

DOUBLE AND TRIPLE TRUNKS
○ D-O DOUBLE OAK
○ T-O TRIPLE OAK
○ CALIPER INCH SIZE OF TREE
○ TYPE OF TREE
○ D FOR DOUBLE, T FOR TRIPLE

EXISTING CONDITIONS NOTES

- EXISTING SURVEY INFORMATION WAS TAKEN FROM A SURVEY BY MCADAMS CO. DATED 1/8/2014
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL". REPORT ANY DISCREPANCIES TO THE PROJECT ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXERCISING REASONABLE EFFORTS TO PROTECT ANY UNKNOWN ELEMENTS IN USE. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE ILLUSTRATED DESIGN.
- CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC, AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, CONTRACTOR SHALL REPAIR IMMEDIATELY AS DIRECTED BY THE OWNER OR PROJECT ENGINEER.
- CONTRACTOR SHALL HOLD HARMLESS THE OWNER AND THE PROJECT ENGINEER FOR DAMAGES, INJURIES OR OTHER ACCIDENTS WHICH OCCUR DURING THESE CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ADJACENT PROPERTY OWNERS AS REQUIRED FOR WORK OUTSIDE OF PROPERTY LINES.
- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.



SITE DATA

- SITE AREA: 17.9 ACRES
- EXISTING ZONING: R-2 JORDAN WATERSHED (OUTSIDE OF THE JORDAN WATERSHED PROTECTION DISTRICT)
- TCH STAFF HAVE CERTIFIED THERE ARE NO AREAS OF RCD ON-SITE.

SITE DESCRIPTION & ANALYSIS

Encompassing 17.9 ac the proposed site has approximately 425 ft of frontage along Homestead Rd., its northern boundary.

Two existing homes are found on the property: one yellow rental house on Homestead Rd. and a second wood frame home near the southern boundary is occupied by the Tilson Family. Gentle slopes (10% and less) open grass fields and scattered tree stands characterize the site. Several large trees along Homestead Road frontage are worthy of note. One very large oak (approximately 62" diameter) is found adjacent to and just west of the yellow house. Other hardwoods (maples, gums, etc.) define the yard area east of the yellow house. It is important to note that some of these trees are unhealthy showing signs of severe die-back and heart decay.

The eastern portion of the site is largely wooded with predominately hardwood tree stands and several aging farm buildings. Adjacent land uses include the Wood Family home and undeveloped property.

The southern portion to the site (adjacent to the Crow Branch Conservation Area) is wooded with hardwood tree stands.

The western portions of the site are bordered by a railroad spurline serving UNC and separating the site from Homestead Village to the west. This boundary is largely wooded with volunteer hardwoods and pines.

The Hinson homesite forms the remaining boundary along the northwestern property lines. A cedar hedge and other trees have created a hedge along a fence line on this boundary.

A large portion of the site drains to the south with only a small portion draining to the north west and ultimately the Hinson pond.

NOTE:

Any structure that is 500 sq. ft. or larger that is to be removed or demolished must first be assessed for deconstruction possibilities. contact Solid Waste Enforcement staff at 919-968-2788 x 107 or 109 to arrange for assessment.

Developer:

Epcon
Communities

500 Stonehenge Parkway
Dublin, OH 43017

Project:

Courtyards of
Homestead

Chapel Hill, North Carolina

Drawing Title:

Existing
Conditions
Map

Engineering and Stormwater Consultant:

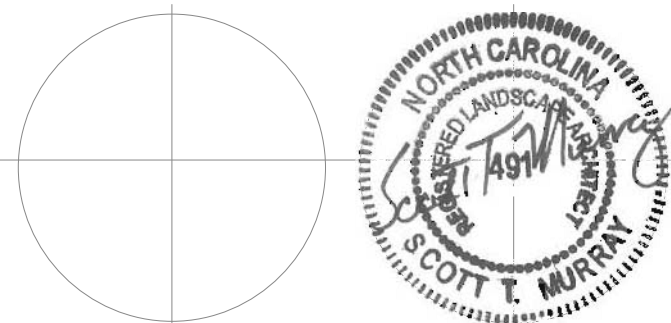
P.O. Box 14005
Research Triangle Park
NC 27709

2905 Meridian Parkway
Durham, NC 27713

MCADAMS

5-6-14 Added Note

No. Date: Issue Notes:



Design Firm:

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1450 Environ Way Chapel Hill, NC 27517
252-213-9501 434-689-2925 (fax)
www.stmldplan.com
smurray@stmldplan.com

CAD File:

Scale: 1"=100'

AT D-SIZE

Date:

Drawn By:

STM

Drawing No.:

na

of

C-2.1

PIN # 9870900457, 9870904109 & 9870911164

EXISTING CONDITIONS LEGEND

- Slopes 0% to 10%
- Slopes 10% to 15%
- Slopes 15% to 25%
- Slopes Greater than 25%

SOILS TYPES IDENTIFIED

- EnB** Enon loam, 2 to 6 percent slopes
- EnC** Enon loam, 6 to 10 percent slopes
- GeB** Georgetown silt loam, 2 to 6 percent slopes
- GeC** Georgetown silt loam, 6 to 10 percent slopes

- (19)C** SIGNIFICANT TREES AND CRITICAL TREE AREA

- (X)** TREE TO BE REMOVED

TREE LEGEND

- (19)C** CEDAR
- (19)DG** DOGWOOD
- (19)G** SWEET GUM
- (19)HW** MISC. HARDWOOD
- (19)H** HICKORY
- (19)MG** MAGNOLIA
- (19)M** MAPLE
- (19)O** OAK
- (19)WO** WHITE OAK
- (19)P** PINE
- (19)PO** POPLAR

DOUBLE AND TRIPLE TRUNKS

- (19)D-D** DOUBLE OAK
- (19)T-O** TRIPLE OAK
- (19)LO** CALIPER INCH SIZE OF TREE
- (19)D** D FOR DOUBLE, T FOR TRIPLE

| DESCRIPTION | EXISTING |
|---------------------------|---------------|
| 1' CONTOUR INTERVAL | ----- |
| 5' CONTOUR INTERVAL | ----- |
| PROPERTY LINE | ===== |
| ROADWAY CENTERLINE | ===== |
| RIGHT OF WAY LIMITS | ===== |
| EASEMENT LINE | ===== |
| CURB & GUTTER | ===== |
| SANITARY SEWER FACILITIES | SS |
| STORM SEWER FACILITIES | SD |
| WATERLINE | W |
| FIRE HYDRANT ASSEMBLY | FH |
| DRAINAGE MANHOLE | D |
| SEWER MANHOLE | S |
| SEWER CLEANOUT | SC |
| WATER MANHOLE | WM |
| WATER VALVE | WV |
| WATER METER | WM |
| POWER POLE | PP |
| LIGHT POLE | LP |
| OVERHEAD UTILITY | OU |
| RETAINING WALL | RW |
| FENCING STRUCTURE | F |
| WOODSLINE | W |
| WATERWAYS | W |
| LIMITS OF DISTURBANCE | N/A |
| TREE PROTECTION FENCE | N/A |
| SILT FENCE | N/A |
| SPOT ELEVATION | 76' / 347.77' |
| SIGNAGE | S |

Site Feature Callouts

- Homestead Road Improvements - See Sheet C-4.2
- 10' Multi-Use Concrete Path
- 12"-18" Ht. Stone Accent Wall See Sheet LA-2.1
- Type 'C' Buffer Modification (North) - See Sheet LA-1.1
- Open Space/Tree Preservation (East) - See Sheet LA-1.0
- Open Space/Tree Preservation (North Interior) - See Sheet LA-1.0
- Open Space/Tree Preservation (West) - See Sheet LA-1.0
- Open Space/Tree Preservation (South) - See Sheet LA-1.1
- not used
- 62" Specimen Oak to be Preserved
- Garden Benches Beneath Specimen Oak
- Stormwater BMP - See Sheet C-4.1
- 12' Temporary Stone Construction Access Drive - See Sheet C-6.0
- Stormwater BMP (South) - See Sheet C-4.1
- Club and Garden Amenity Area - See Sheet LA-2.0
- Pedestrian Access Way/Trailhead + maintenance Access- See Sheet LA-2.1
- Trail Connection to Crow Branch Conservation Area
- Future Road Extension Signage
- Entrance Sign - See Sheet LA-2.1
- "Stopping Sight Distance Easement" no vehicles or objects between 2' and 8' shall be placed in the AASHTO Stopping Sight Distance Easement as illustrated
- 6' Wood or PVC Privacy Screen Fencing may be used to screen adjacent areas as needed - See Sheet LA-2.1

GENERAL NOTES

- SURROUNDING LAND USES INCLUDE - UNDEVELOPED R-4 LAND AND BRIDGEPOINT MIXED-USE COMMUNITY (APPROVED) TO THE NORTH, UNDEVELOPED R-2 LAND WITH A SINGLE-FAMILY RESIDENCE TO THE EAST, UNC CROW BRANCH CONSERVATION AREA TO THE SOUTH, RAILROAD SPUR-LINE AND HOMESTEAD SINGLE-FAMILY RESIDENCES TO THE WEST AND ALONG THE INTERIOR PROPERTY BOUNDARIES.
- A PLANNED MASS TRANSIT LOADING STATION IS PLANNED FOR BRIDGEPOINT, 500' EAST OF THE SITE AT THE NW CORNER OF WEAVER DAIRY ROAD EXTENSION AND HOMESTEAD ROAD.
- A FULL DESCRIPTION AND ANALYSIS OF ADJACENT LAND USES, TOPOGRAPHY, SOILS, DRAINAGE PATTERNS, ENVIRONMENTAL CONSTRAINTS, FEATURES, EXISTING VEGETATION AND VISTAS IS INCLUDED ON SHEET C-2.1 EXISTING CONDITIONS MAP.
- LAND USE INTENSITY RATIOS ARE NOT APPLICABLE WITH REGARDS TO DENSITY, MAXIMUM FLOOR AREA, SETBACKS AND YARD REQUIREMENTS. PROPOSED STANDARDS ARE SET FORTH IN THE SUP DOCUMENTS AND PLANS.
- SETBACKS FOR THE COURTYARDS OF HOMESTEAD ARE PROPOSED UNDER THE PLANNED DEVELOPMENT HOUSING PROVISION OF THE LUMO AND ARE NOTED ON THIS SHEET.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL EXTERIOR HVAC UNITS ARE TO BE LOCATED WITHIN THE REAR OR SIDEYARD AREAS
- ALL PARKING SHOWN ARE 90 DEGREE BAYS AND SPACE MARKINGS PER TCH CODE FOR PARKING LOTS.
- ALL TRASH COLLECTION FOR SINGLE-FAMILY LOTS AND THE PRIVATE CLUB WILL BE BY ROLL-OUT CURBSIDE PICK-UP.

PARKING, FLOOD HAZARD AND SURVEY NOTES

PARKING: REQUIRED MIN. MAX.: NOT SPECIFIED BY LUMO 10 SPACES PROPOSED (APPROXIMATELY 1 SP/300 SF INCLUDING 2 ADA ACC.)
 ADA ACCESSIBLE SP REQUIRED: 1 VAN + ADA ACCESSIBLE SPACES PROVIDED: 1 VAN + 1 CAR
 BICYCLE PARKING REQUIRED: 2 SPACES (20% OF PARKING) BICYCLE PARKING PROPOSED: 2 CLASS-2 SPACES

THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT. REFERENCE FLOOD INSURANCE RATE MAP # 371098700J & 3710977900J DATED FEBRUARY 2, 2007. PANELS 9870 & 9779. THIS PARCEL IS LOCATED IN ZONE 'X'. THIS MAP DOES NOT MEET ALL OF THE REQUIREMENTS SET FORTH IN N.C.G.S. 47-30 AS AMENDED AND IS NOT FOR RECORDATION.

BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THE MCADAMS COMPANY DATED 1/8/2014.

RECREATION SPACE: THE REQUIRED RECREATION SPACE (19,833 SF) IS MET AND EXCEEDED BY THE PROPOSED CLUB AND GARDEN (33,000 SF), THE NORTH PARK AREA (18,500 SF), AND THE CROW BRANCH CONSERVATION AREA TRAIL CONNECTION (400 LF).

BUFFERS: A TYPE 'C' BUFFER IS REQUIRED ALONG THE NORTHERN PROPERTY LINE ADJACENT TO THE R-4 ZONING ACROSS HOMESTEAD RD. (ARTERIAL STREET). BUFFER MODIFICATIONS ARE PROPOSED FOR THIS AREA WHICH PROVIDES FOR ADDITIONAL WIDTH (BUFFER A-1), A SLIGHTLY REDUCED WIDTH (BUFFER A-2) AND PLANTINGS THAT ARE MORE APPROPRIATE FOR THESE SITUATIONS. OPEN SPACE AREAS ARE PROPOSED ADJACENT TO THE EASTERN, WESTERN AND SOUTHERN INTERIOR BOUNDARIES OF THE PROPERTY. THESE AREAS ARE IDENTIFIED ON THIS SITE PLAN.

BUFFER DIMENSIONS: NORTH PERIMETER BOUNDARY TYPE'C' BUFFER PROPOSED MODIFICATION-15'-20'-EAST OF STREET A AND 140'-WEST OF STREET A.

SITE DATA

- SITE AREA: 17.92 ACRES NET (780,737 SF) - 18.21 AC GLA (793,337 SF)
- PIN # 9870900457, 9870904109, 9870911164
- ADDRESS: 2209 HOMESTEAD RD.
- EXISTING ZONING: R-2

TOTAL LOTS PROPOSED: 63 LOTS + 1 CLUB LOT
 PROPOSED DEVELOPMENT STRATEGY: PDH (PLANNED DEVELOPMENT HOUSING-TOWNHOME SUBDIVISION) - DIMENSIONAL STANDARDS FOR TOWNHOME LOTS PROPOSED (SEE BELOW)

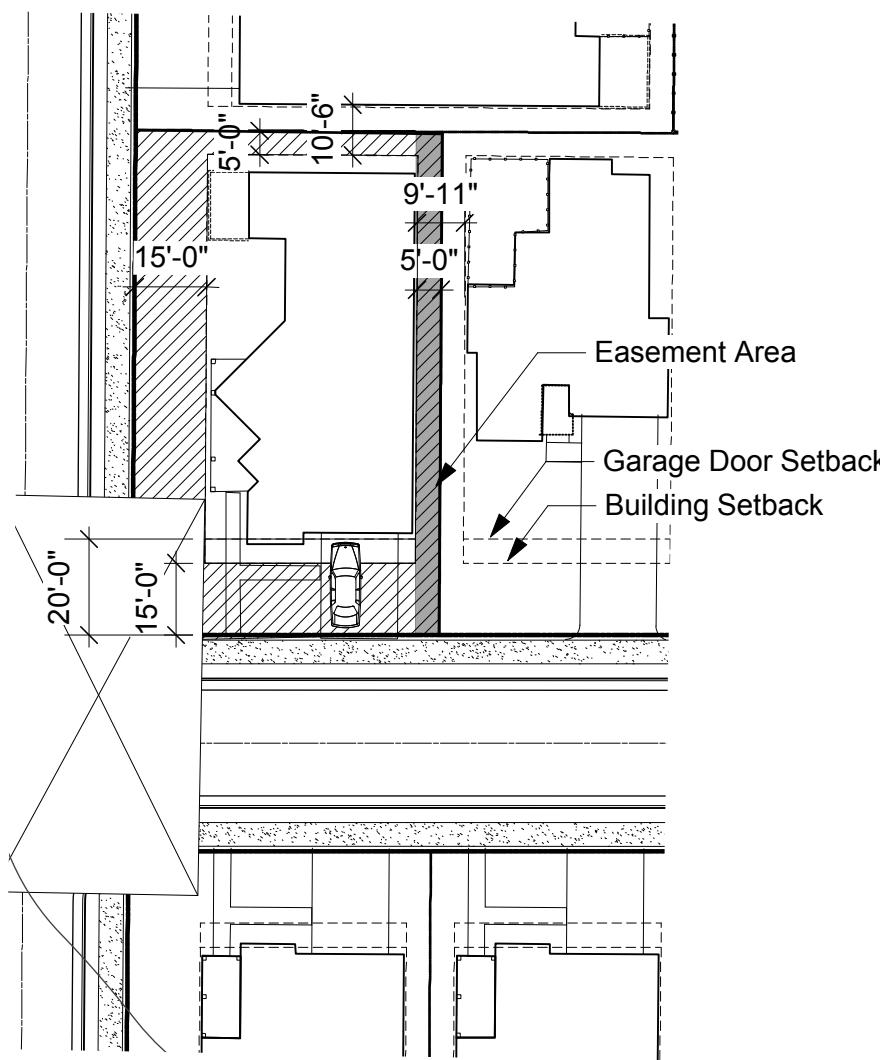
DIMENSIONAL STANDARDS FOR R-2
 SETBACKS REQUIRED FOR ZONING LOT:
 STREET - 26'
 INTERIOR - 11'
 SOLAR - 13'
 MAXIMUM HEIGHT
 PRIMARY - 29'
 SECONDARY - 50'
 MINIMUM LOT SIZE - 10,000 sf
 MINIMUM LOT WIDTH - 65'
 MINIMUM STREET FRONTAGE - 52'

PERIMETER BUFFERS AND OPEN SPACES:
 NORTH (HOMESTEAD RD.): 15'-140' (VARIES)
 NORTH OPEN SPACE (INTERIOR): 7.5'-15'
 SOUTH OPEN SPACE: 130'
 EAST OPEN SPACE: 15'-70' (VARIES)
 WEST OPEN SPACE: 40'-70'

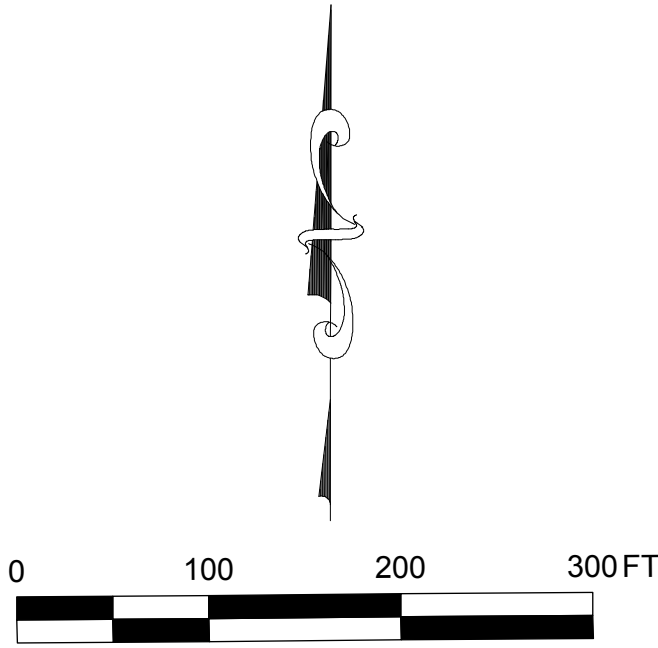
DIMENSIONAL STANDARDS PROPOSED
 SETBACKS PROPOSED:
 STREET - 15' (20' GARAGE)
 INTERIOR - 5' **
 SOLAR: 5' **
 *EAVES MAY PROJECT 1' INTO SETBACKS SUBJECT TO NC FIRE CODE REQUIREMENTS
 ** SETBACKS DO NOT APPLY TO ACCESSORY STRUCTURES IN REAR SIDE OR YARDS OR FENCES
 MAXIMUM HEIGHT
 PRIMARY - 20'
 SECONDARY - 30'
 MINIMUM LOT SIZE - 4,700 SF
 MINIMUM LOT WIDTH - 47'
 MINIMUM STREET FRONTAGE - 20'

5. IMPERVIOUS SURFACE:
 EXISTING: .51 AC
 PROPOSED: 7.57 AC (42.3%)
 6. RECREATION SPACE (.025 RATIO):
 REQUIRED 19,833 SF - PROVIDED 35,000+ SF
 PUBLIC REC. SPACE PROPOSED (BIKEWAY) = 6,320 SF (32%)
 BIKEWAY CALCULATION = 395 LF X 16' = 6,320 SF
 7. NEW PUBLIC R/W PROPOSED: 2,500 LF

WATERSHED
 1. EXISTING ZONING: R-2 JORDAN WATERSHED (OUTSIDE OF THE JORDAN WATERSHED PROTECTION DISTRICT)
 2. TCH STAFF HAVE CERTIFIED THERE ARE NO AREAS OF RCD ON-SITE.



TYPICAL MINIMUM SETBACKS



PIN # 9870900457, 9870904109 & 9870911164

Principal Office:
1459 Envirion Way
Chapel Hill, NC 27517

Virginia Office:
274 Boletolet Court
Boynton, Virginia 23917
252.213.9501
stmlandplan.com

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LAND PLANNING, INC.

Landscape Architecture | Environmental Design | Project Management

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Courtyards of Homestead
Chapel Hill, North Carolina

Drawing Title:

Site Plan

Engineering and Stormwater Consultant:

P.O. Box 14005
Research Triangle Park
NC 27709

2905 Meridian Parkway
Durham, NC 27713

MCADAMS

| | | |
|-----|---------|---|
| 2 | 7-17-14 | Corrected Buffer and Open Space labeling |
| 1 | 5-6-14 | Public Rec Space Calculated; Labeled Common Areas (not clouded) |
| No. | Date: | Issue Notes: |

Design Firm:

Scott Murray Land Planning, Inc.
1459 Envirion Way Chapel Hill, NC 27517
252-213-9501 434-689-2925 (fax)
www.stmlandplan.com
smurray@stmlandplan.com

CAD File:

Scale: 1"=100'
AT D-SIZE

Date:

Drawn By: STM

Drawing No.: na

of

C-3.0

FONT : Highway Gothic E/M Fed Kern RevB
Letter Hight = 10.25" for Capitol letters
Green material = 3M 1177CS (ECM) Electrocut Film
White = 3M 3870 High Intensity

18"

5 1/8"

10 1/4"

1"

84"

Church St

Typical layout - length will vary 6'-8'
Black boarder not part of the sign,
just used to sign outline

| | | |
|-------------------------------------|-----------|---------|
| TITLE: | REVISIONS | DET.NO. |
| OVERHEAD STREET NAME SIGN DETAIL | | ST - 14 |

STANDARD
ENGINEERING
DEPARTMENT

TOWN OF
CHAPEL HILL

TOWN OF CHAPEL HILL
ST. NAME & TRAFFIC SIGN STANDARDS

STREET NAME SIGNS

- All names will start with a 6" capital letter, followed by lower case letters. The road designations (St., Rd., Cir. . . etc) will be in 50% superscript, aligned with the top letter edge.
- The color scheme should be a background of bright green with white High intensity grade letters & boarder (1/2"). The boarder is NOT inset.
- The street name sign should include on the left a replication of the Town seal, & on the right a block number.
- The Town seal should be the same color and height as the Street name.
- Block numbers should be the same color as the superscript, 2" in height, & aligned with the bottom of the street name. The number should be centered 3/4" below the road superscript
- The letter font should be Highway Gothic C Fed Kern RevB.
- All street name sign blades must be nine inches in height. The minimum length is 30", maximum is 48". The actual length of the blade will be dictated by the number of letters in the name.
- The street name (including Town seal, block numbers, & superscript) should be at least 4" shorter than the sign blade.
- All street name posts will be round, aluminum or steel, 2 3/8" OD, & at least 10' in length.
- STOP signs – 30" x 30"
- REGULATORY SIGNS - STOP, YIELD, DO NOT ENTER, WRONG WAY, & SPEED LIMIT signs should be fabricated with High Intensity reflective material.

ALL OTHER SIGNS

- STOP signs – 30" x 30"
- REGULATORY SIGNS - STOP, YIELD, DO NOT ENTER, WRONG WAY, & SPEED LIMIT signs should be fabricated with High Intensity reflective material.
- All other signs shall be made from Engineer Grade material.
- All other signs should be 7' from the ground to the bottom of the sign, unless more than one sign is on a post.
- Installed signs should be minimum of 2' from sign edge to the road edge.
- All other sign posts should be channel posts made of galvanized steel, 8' posts 2lbs/ft, 12' posts 3lbs/ft.
- All signs are required to be designed in accordance with the MUTCD standards.

| | | |
|---|-----------|---------|
| TITLE: | REVISIONS | DET.NO. |
| STREET NAME & TRAFFIC SIGN STANDARDS | 02/08 ER | ST - 15 |

STANDARD
ENGINEERING
DEPARTMENT

TOWN OF
CHAPEL HILL

PVC or AL FINIAL

TRAFFIC SIGN TO MUTCD
STANDARDS

3" PVC OR AL SLEEVE PAINTED
OR POWDER COATED BLACK

2" SQ. OR U-CHANNEL GALV
SIGN POST TO TOWN OF
CHAPEL HILL STANDARDS

NOTE: DECORATIVE SIGN POST SLEEVE
AND FINIAL TO BE PROVIDED AND
MAINTAINED BY THE PROPERTY
OWNERS ASSOCIATION

1 DECORATIVE SIGN POST SLEEVE
3/4" = 1'-0"

STOP

STANDARD
ENGINEERING
DEPARTMENT

TOWN OF
CHAPEL HILL

18 5/8"

7 13/16"

35"

1" SCH 40 STL PIPE
(1 5/16" O.D.)

4" SCH 40 STL PIPE
(4 1/2" O.D.)

35"

62"

14" STL

5/8" DIA
ANCHOR HOLES
(4 PLACES)

3/8" THK PLATE

100A COVER PLATE

6 1/4" DIA
HOLE

7 1/2" DIA

8 1/8" DIA

S-2 SURFACE MT

NOTES

1.) STL MEMBERS COATED W/ ZINC RICH EPOXY THEN
FINISHED W/ POLYESTER POWDER COATING.

2.) 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS
PROVIDED FOR S-2 OPTION.

SCALE : NONE

TITLE : BOLLARD

DATE DRAWN : 10/26/09

DRAWN BY : AM1

DATE REV. : 1/18/02

REV. BY : JSB

REV. B

DRAWING
NUMBER 401-36-2

SHEET 1 OF 2

DuMor, inc.

P.O. Box 142 Millville, PA 17058-0142

Sportsplay Model #801-173-S or equal

2 BICYCLE BOLLARD
C-3.2

DUKE ENERGY

Outdoor Lighting
Traditional

DUKE ENERGY

Outdoor Lighting
Traditional

Light source: High-pressure sodium (golden yellow)
Wattage: 100 | 150 | 250 | 400
Lumens: 9,500 | 16,000 | 27,500 | 50,000

Light source: Metal halide (white)
Wattage: 100
Lumens: 9,000

Light pattern: IESNA Type III (oval)
IESNA cutoff classification: Cutoff

light distribution pattern

Poles available:

| Name | Mounting height | Color |
|------------|-----------------|-------|
| Fiberglass | 12' | Black |
| Aluminum | 12' | Black |
| Concrete | 12' | Black |

FeaturesBenefits

Little or no installation cost

Design services by lighting professionals included

Maintenance included

Electricity included

Warranty included

One low monthly cost on your electric bill

Turnkey operation

Backed by over 40 years of experience

Frees up capital for other projects

Meets industry standards and lighting ordinances

Eliminates high and unexpected repair bills

Less expensive than metered service

Worry-free

Convenience and savings for you

Provides hassle-free installation and service

A name you can trust today ... and tomorrow

For additional information, visit us at
duke-energy.com/OutdoorLighting
or call us toll free at 800.777.9898.

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Principal Office:
1450 Environ Way
Chapel Hill, NC 27517

Virginia Office:
274 Bolestourt Court
Boynton, Virginia 23917

252.213.9501
stmrandplan.com

SCOTT MURRAY
LAND PLANNING, INC.

Landscape Architecture | Environmental Design | Project Management

Developer:

Epcon
Communities

500 Stonehenge Parkway
Dublin, OH 43017

Project:

Courtyards of
Homestead

Chapel Hill, North Carolina

Drawing Title:

Site Details

Engineering and Stormwater Consultant:

MCADAMS

P.O. Box 14005
Research Triangle Park
NC 27709

2905 Meridian Parkway
Durham, NC 27713

No.

Date:

Issue Notes:

NORTH CAROLINA
REGISTERED LANDSCAPE ARCHITECT
14501
SCOTT T. MURRAY

Design Firm:

Scott Murray Land Planning, Inc.
1450 Environ Way Chapel Hill, NC 27517
252-213-9501 434-689-2925 (fax)
www.stmrandplan.com
smurray@stmrandplan.com

CAD File:

Scale:

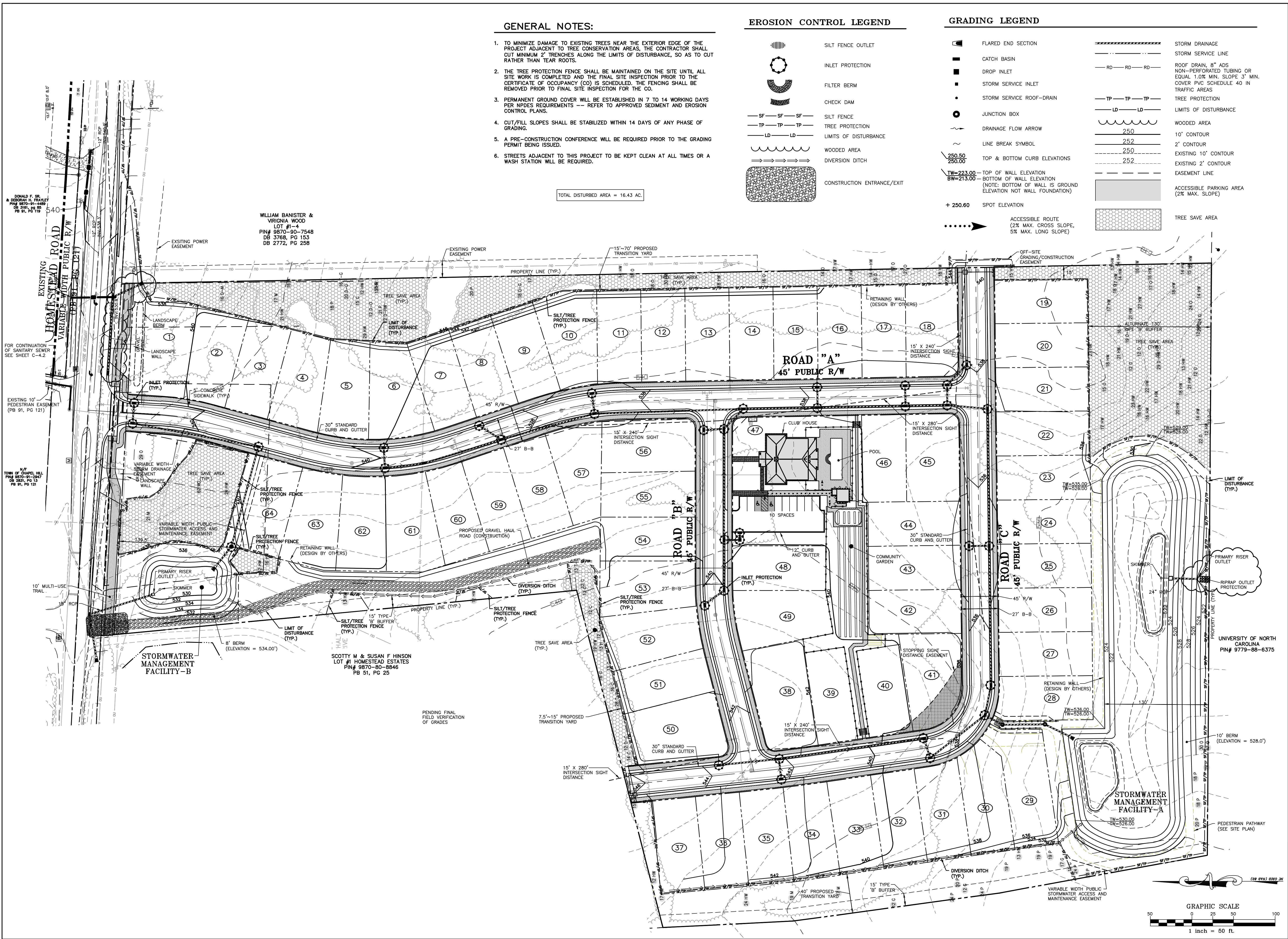
Date:

Drawn By:
STM

Drawing No.:
na

of

C-3.2

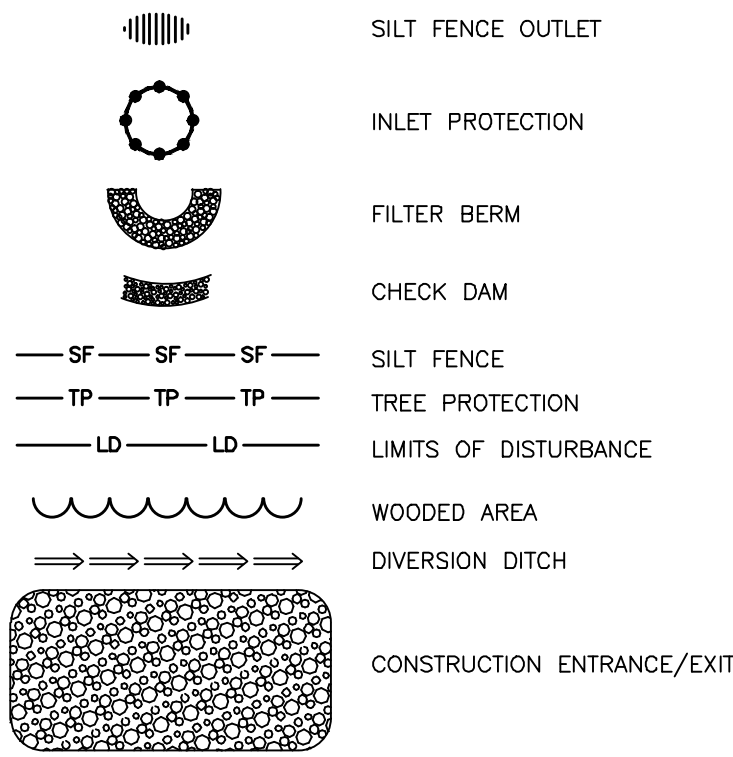


GENERAL NOTES:

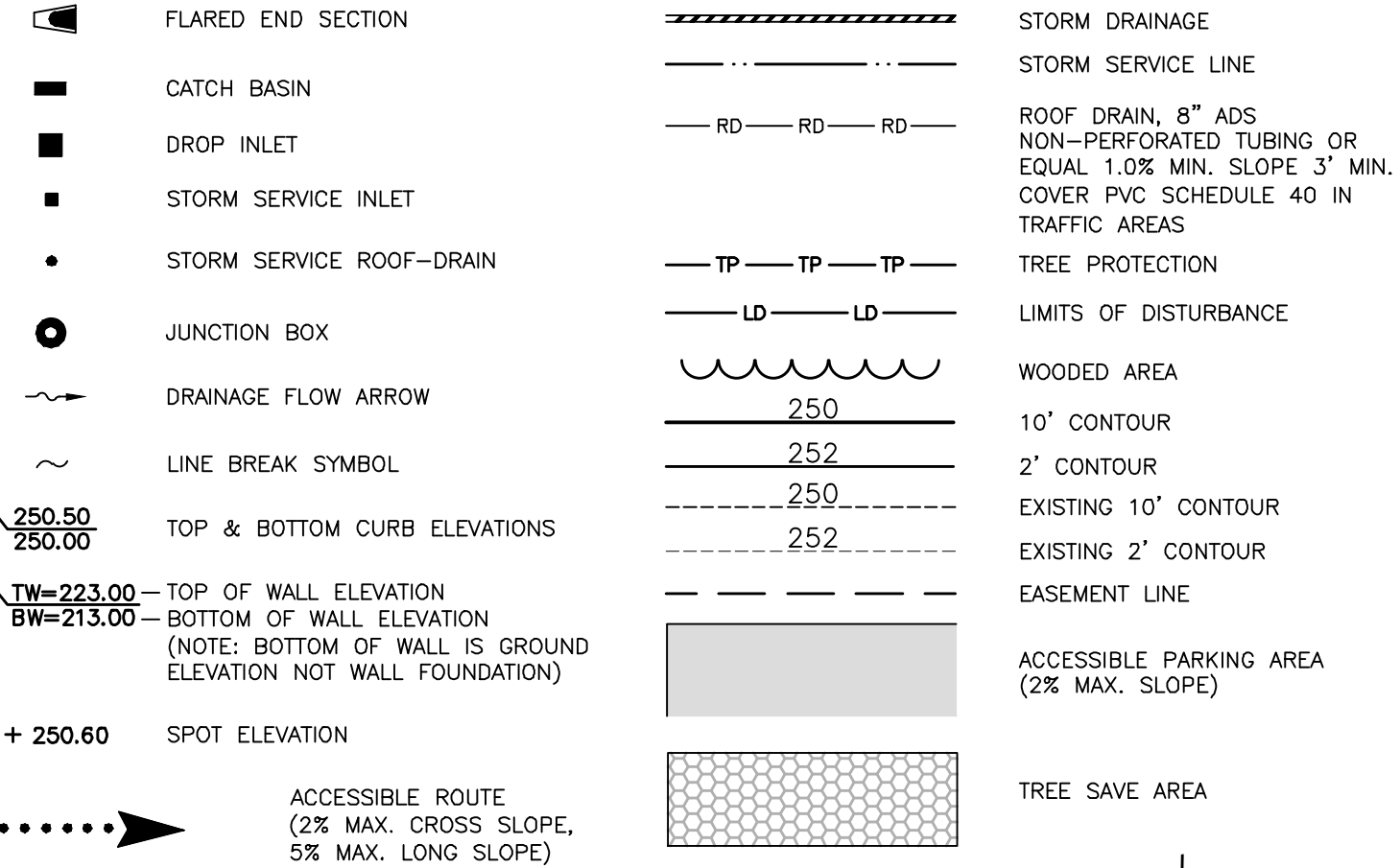
- TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE PROJECT ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.
- THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.
- PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NPDES REQUIREMENTS --- REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.
- CUT/FILL SLOPES SHALL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING.
- A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.
- STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

TOTAL DISTURBED AREA = 16.43 AC.

EROSION CONTROL LEGEND



GRADING LEGEND



Principal Office:
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Chapel Hill, NC 27517

Virginia Office:
274 Bolestourt Court
Boydton, Virginia 23017

252.213.9501
stmuray@stmuray.com

SCOTT MURRAY
LAND PLANNING, INC.

Landscape Architecture | Environmental Design | Project Management

Developer:

Epcon Communities

500 Stonehenge Parkway
Dublin, OH 43017

Project:

Courtyards of Homestead

Chapel Hill, North Carolina

Drawing Title:

GRADING AND STORMWATER PLAN

Engineering and Stormwater Consultant:

McADAMS

P.O. Box 14005
Research Triangle Park
NC 27709

2905 Meridian Parkway
Durham, NC 27713

| | | |
|-----|----------|----------------|
| 1 | 05/06/14 | SUP 1ST REVIEW |
| No. | Date: | Issue Notes: |

Design Firm:

Scott Murray Land Planning, Inc.

1450 Environ Way Chapel Hill, NC 27517
252-213-9501 434-689-2925 (fax)
www.stmuray.com
smuray@stmuray.com

CAD File:

EPC-13000-S1

Scale:

1" = 50'

Date:

3/27/14

Drawn By:

STM

Drawing No.:

na

C-4.1

of

Developer:

**Epcon
Communities**

500 Stonehenge Parkway
Dublin, OH 43017

Project:

**Courtyards of
Homestead**

Chapel Hill, North Carolina

Drawing Title:

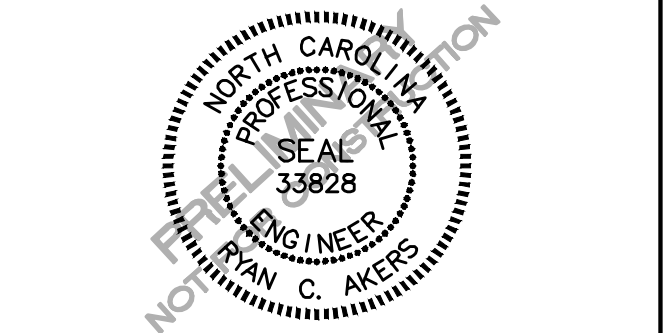
**HOMESTEAD
ROAD
WIDENING
AND OFF-SITE
IMPROVEMENTS
PLAN**

Engineering and Stormwater Consultant:

McADAMS

P.O. Box 14005
Research Triangle Park
NC 27709
2905 Meridian Parkway
Durham, NC 27713

| | | |
|-----|----------|----------------|
| 1 | 05/06/14 | SUP 1ST REVIEW |
| No. | Date: | Issue Notes: |



Design Firm:

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1450 Environ Way Chapel Hill, NC 27517
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CAD File:

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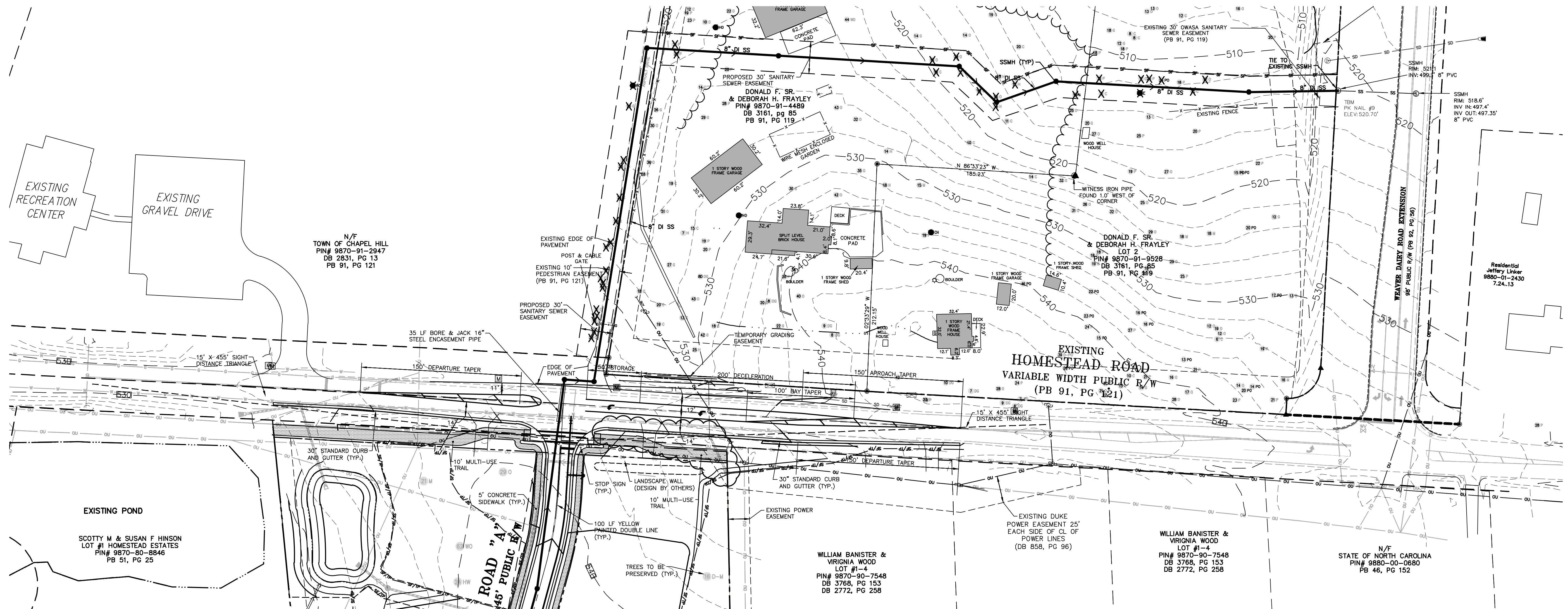
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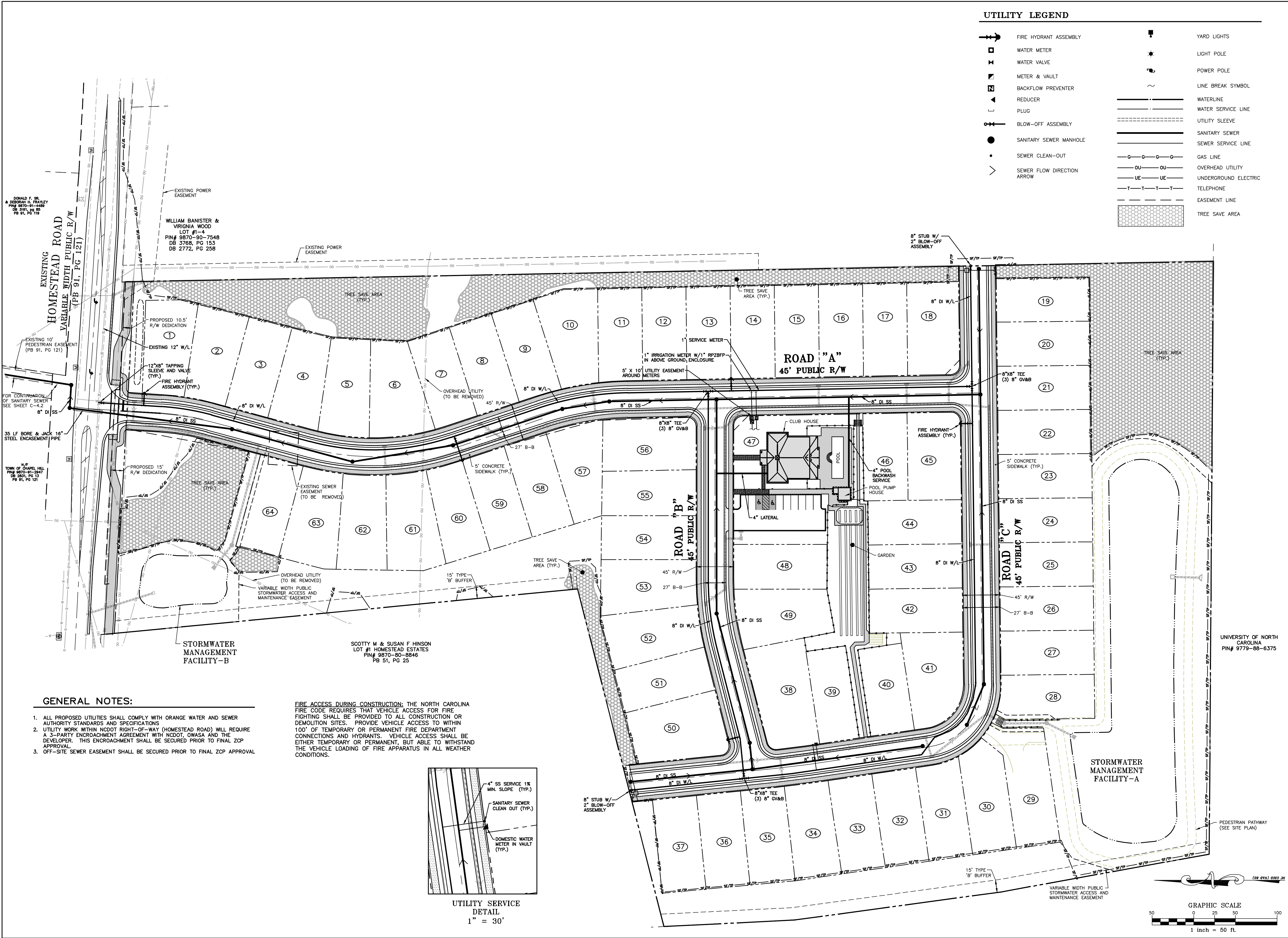
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3/27/14

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of





Principal Office:
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274 Bolestout Court
Boydton, Virginia 23917

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stmurray@stmurraylandplanning.com

SCOTT MURRAY
LAND PLANNING, INC.

Landscape Architecture | Environmental Design | Project Management

Developer:

Epcon Communities

500 Stonehenge Parkway
Dublin, OH 43017

Project:

Courtyards of Homestead

Chapel Hill, North Carolina

Drawing Title:

UTILITY PLAN

Engineering and Stormwater Consultant:

McADAMS

P.O. Box 14005
Research Triangle Park
NC 27709

2905 Meridian Parkway
Durham, NC 27713

| | | |
|---|----------|----------------|
| 1 | 05/06/14 | SUP 1ST REVIEW |
|---|----------|----------------|

| | | |
|-----|-------|--------------|
| No. | Date: | Issue Notes: |
|-----|-------|--------------|

Design Firm:

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1450 Environ Way Chapel Hill, NC 27517
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www.stmurraylandplanning.com
smurray@stmurraylandplanning.com

CAD File:

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1" = 50'

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3/27/14

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STM

Drawing No.:
na

C-5.0

of

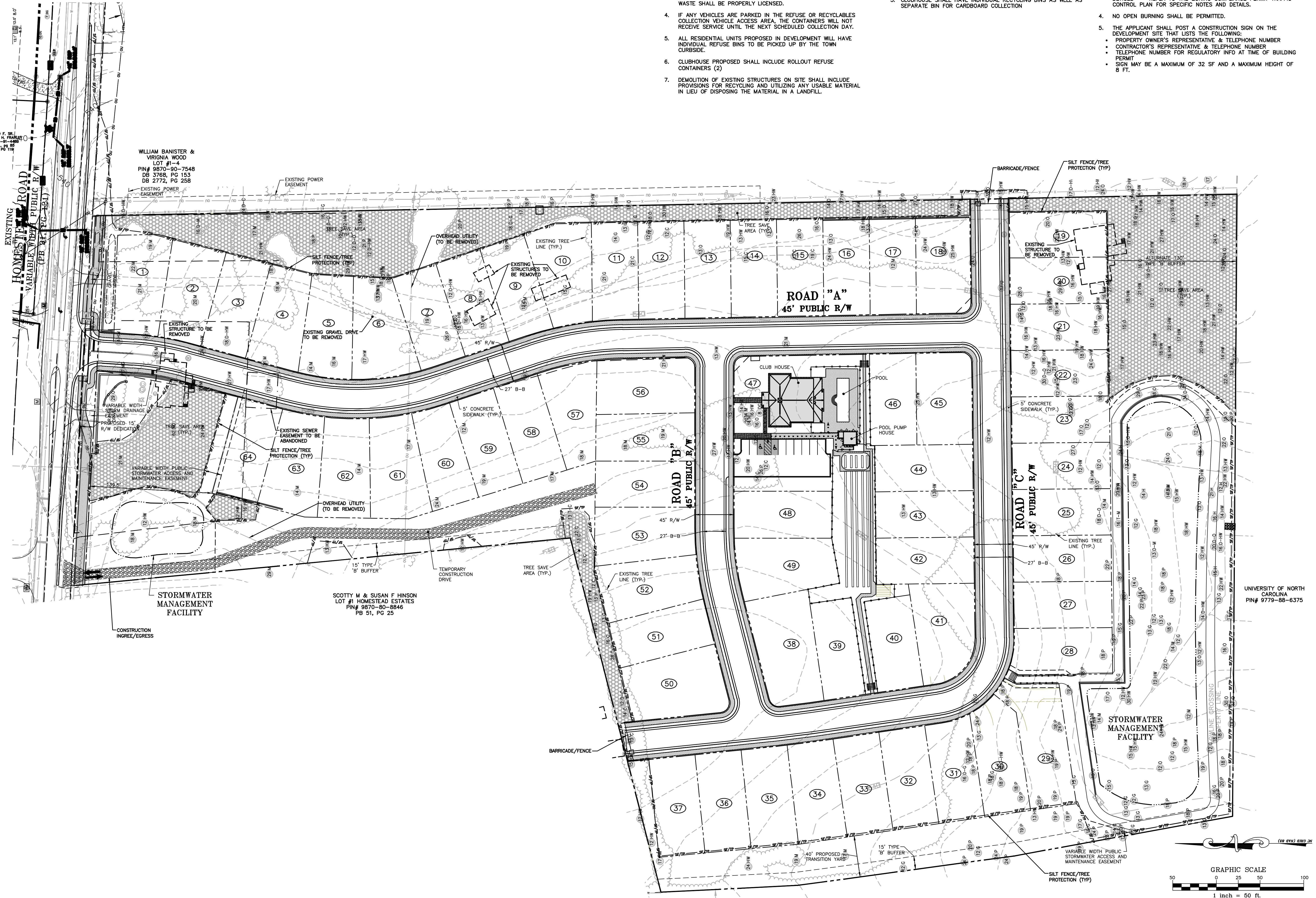
1. ANY STRUCTURE THAT IS 500 SF OR LARGER THAT IS TO BE REMOVED OR DEMOLISHED MUST FIRST BE ASSESSED FOR DECONSTRUCTION POSSIBILITIES. CONTACT SOLID WASTE MANAGEMENT STAFF AT 919-968-2788 EXT 107 OR 109 TO ARRANGE FOR ASSESSMENT.

1. PRIOR TO ANY CONSTRUCTION ACTIVITY THE APPLICANT SHALL HOLD A DEMOLITION AND PRE-CONSTRUCTION CONFERENCE WITH ORANGE COUNTY SOLID WASTE STAFF--THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
2. CONSTRUCTION SOLID WASTE: BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
3. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE SHALL BE PROPERLY LICENSED.
4. IF ANY VEHICLES ARE PARKED IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE ACCESS AREA, THE CONTAINERS WILL NOT RECEIVE SERVICE UNTIL THE NEXT SCHEDULED COLLECTION DAY.
5. ALL RESIDENTIAL UNITS PROPOSED IN DEVELOPMENT WILL HAVE INDIVIDUAL REFUSE BINS TO BE PICKED UP BY THE TOWN CURBSIDE.
6. CLUBHOUSE PROPOSED SHALL INCLUDE ROLL-OUT REFUSE CONTAINERS (2)
7. DEMOLITION OF EXISTING STRUCTURES ON SITE SHALL INCLUDE PROVISIONS FOR RECYCLING AND UTILIZING ANY USABLE MATERIAL IN LIEU OF DISPOSING THE MATERIAL IN A LANDFILL.

1. ALL RESIDENTIAL UNITS WILL HAVE INDIVIDUAL RECYCLING BINS THAT WILL BE ROLLOUT AND COLLECTED CURBSIDE BY THE COUNTY SOLID WASTE DEPARTMENT.
2. ALL CONSTRUCTION WASTE MATERIALS SHALL BE RECYCLED WHENEVER POSSIBLE. CONTRACTORS SHALL RETAIN PICKUP SLIPS TO RECORD/VALIDATE RECYCLING AS MAY BE REQUIRED FOR ENVIRONMENTAL CREDITS.
3. CLUBHOUSE SHALL HAVE INDIVIDUAL RECYCLING BINS AS WELL AS SEPARATE BIN FOR CARDBOARD COLLECTION

1. ALL LARGE TRUCKS/RELATE TO VEHICULAR CONSTRUCTION TRAFFIC SHALL ENTER/LEAVE THE SITE THROUGH THE TEMPORARY CONSTRUCTION ENTRANCE & EXIT AS SHOWN ON THIS PLAN.
2. CONSTRUCTION WILL BE LIMITED TO BETWEEN 7:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY TO COMPLY WITH THE TOWN OF CHAPEL HILL'S NOISE ORDINANCE.
3. THE CONTRACTOR SHALL PROVIDE WORK ZONE TRAFFIC CONTROL DEVICES. REFER TO THE ZONING COMPLIANCE PERMIT TRAFFIC CONTROL PLAN FOR SPECIFIC NOTES AND DETAILS.
4. NO OPEN BURNING SHALL BE PERMITTED.
5. THE APPLICANT SHALL POST A CONSTRUCTION SIGN ON THE DEVELOPMENT SITE THAT LISTS THE FOLLOWING:
 - a. PROPER OWNER REPRESENTATIVE & TELEPHONE NUMBER
 - b. CONTRACTOR'S REPRESENTATIVE & TELEPHONE NUMBER
 - c. TELEPHONE NUMBER FOR REGULATORY INFO AT TIME OF BUILDING PERMIT
 - d. SIGN MAY BE A MAXIMUM OF 32 SF AND A MAXIMUM HEIGHT OF 8 FT.

C-6.0



Principal Office:
Environ Way
Pel Hill, NC 27517

Virginia Office:
Botetourt Court
Edton, Virginia 23917

213.9501
landplan.com

EXISTING CONDITIONS LEGEND

| DESCRIPTION | EXISTING |
|---------------------------|---------------|
| 1" CONTOUR INTERVAL | --- |
| 5' CONTOUR INTERVAL | --- |
| PROPERTY LINE | --- |
| ROADWAY CENTERLINE | --- |
| RIGHT OF WAY LIMITS | --- |
| EASEMENT LINE | --- |
| CURB & GUTTER | --- |
| SANITARY SEWER FACILITIES | --- |
| STORM SEWER FACILITIES | --- |
| WATERLINE | --- |
| FIRE HYDRANT ASSEMBLY | ○ FH |
| DRAINAGE MANHOLE | ○ D |
| SEWER MANHOLE | ○ S |
| SEWER CLEANOUT | ○ W |
| WATER MANHOLE | ○ WV |
| WATER VALVE | ○ WM |
| WATER METER | ○ WM |
| POWER POLE | ○ |
| LIGHT POLE | ○ |
| OVERHEAD UTILITY | --- |
| RETAINING WALL | --- |
| FENCING STRUCTURE | --- |
| WOODS LINE | --- |
| WATERWAYS | --- |
| LIMITS OF DISTURBANCE | N/A |
| TREE PROTECTION FENCE | N/A |
| SILT FENCE | N/A |
| SPOT ELEVATION | TC / SAT / TP |
| SIGNAGE | --- |

TREE LEGEND

| | |
|------|----------------|
| ○ C | CEDAR |
| ○ DG | DOGWOOD |
| ○ G | SWEET GUM |
| ○ HW | MISC. HARDWOOD |
| ○ H | HICKORY |
| ○ MG | MAGNOLIA |
| ○ M | MAPLE |
| ○ O | OAK |
| ○ WO | WHITE OAK |
| ○ P | PINE |
| ○ PO | POPLAR |

| | |
|-------|----------------------------|
| ○ ○ ○ | DOUBLE AND TRIPLE TRUNKS |
| ○ ○ ○ | DOUBLE OAK |
| ○ ○ ○ | TRIPLE OAK |
| ○ ○ ○ | CALIPER INCH SIZE OF TREE |
| ○ ○ ○ | TYPE OF TREE |
| ○ ○ ○ | D FOR DOUBLE, T FOR TRIPLE |

| | |
|-------|--|
| ○ ○ ○ | SIGNIFICANT TREES AND CRITICAL TREE AREA |
| ○ ○ ○ | TREE TO BE REMOVED |
| ○ ○ ○ | TREE PRESERVATION AREA |

Open Space Plantings
A minimum of five (5) evergreen trees (pine, holly, or similar) will be planted per 100 LF of Open Space where no trees exist adjacent to adjoining properties.

TREE COVERAGE CALCULATIONS

| | |
|-------------------------------|------------|
| Net Site Area - | 780,737 sf |
| Less Dedicated R/W | |
| Homestead Rd. | 6,300 sf |
| Proposed Streets | 112,500 sf |
| Utility Easements | 92,191 sf |
| Net Site Area | 569,746 sf |
| Required Tree Coverage (30%) | 170,924 sf |
| Preserved Tree coverage | 94,125 sf |
| Replacement Tree Cover Req'd. | 76,799 sf |
| 2.5" caliper trees | 154 trees |
| OR | |
| 4" caliper trees | 77 trees |
| Proposed Tree Replacement | |
| Street Trees (4") | 85 trees |
| Parking Lot Trees (4") | 1 trees |

Plant List- Tree Coverage

| Common Name | Botanical Name | Qty | Scheduled Size | Remarks |
|----------------------|-----------------------------|-----|----------------|---------|
| Trees | | | | |
| Nuttall Oak | Quercus nuttallii | 31 | 4" CAL | |
| Allele Elm | Ulmus parvifolia 'Elmer II' | 22 | 4" CAL | |
| Hightower Willow Oak | Quercus phellos 'Hightower' | 30 | 4" CAL | |

Street Tree/Canopy Coverage Plan

1" = 80'-0"



Undeveloped

See Sheet LA-1.1 for A-2 Type 'D' North Buffer Modification

Undeveloped
(Single-family homesite)

Open Space - Existing Tree Preservation
Width 35' - 60' +/-

14-Ulmus parvifolia 'Elmer II'

13-Nuttall Oak

8-Ulmus parvifolia 'Elmer II'

11-Quercus phellos 'Hightower'

18-Nuttall Oak

Open Space - Existing Tree Preservation
Width - 10' Min.

19-Quercus phellos 'Hightower'

Open Space - Existing Tree Preservation
Width - 40' Min.

Open Space - Existing Tree Preservation
Width - 140'

See Sheet LA-1.1 for Stormwater BMP Accent Plantings

Carolina North
Crow Branch Conservation Area

Undeveloped
(Single-family homesite)

Open Space - Existing Tree Preservation
Width Ranges from 15' - 70' +/-

Plant List - Club

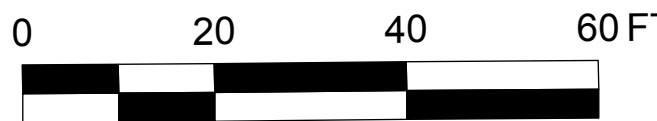
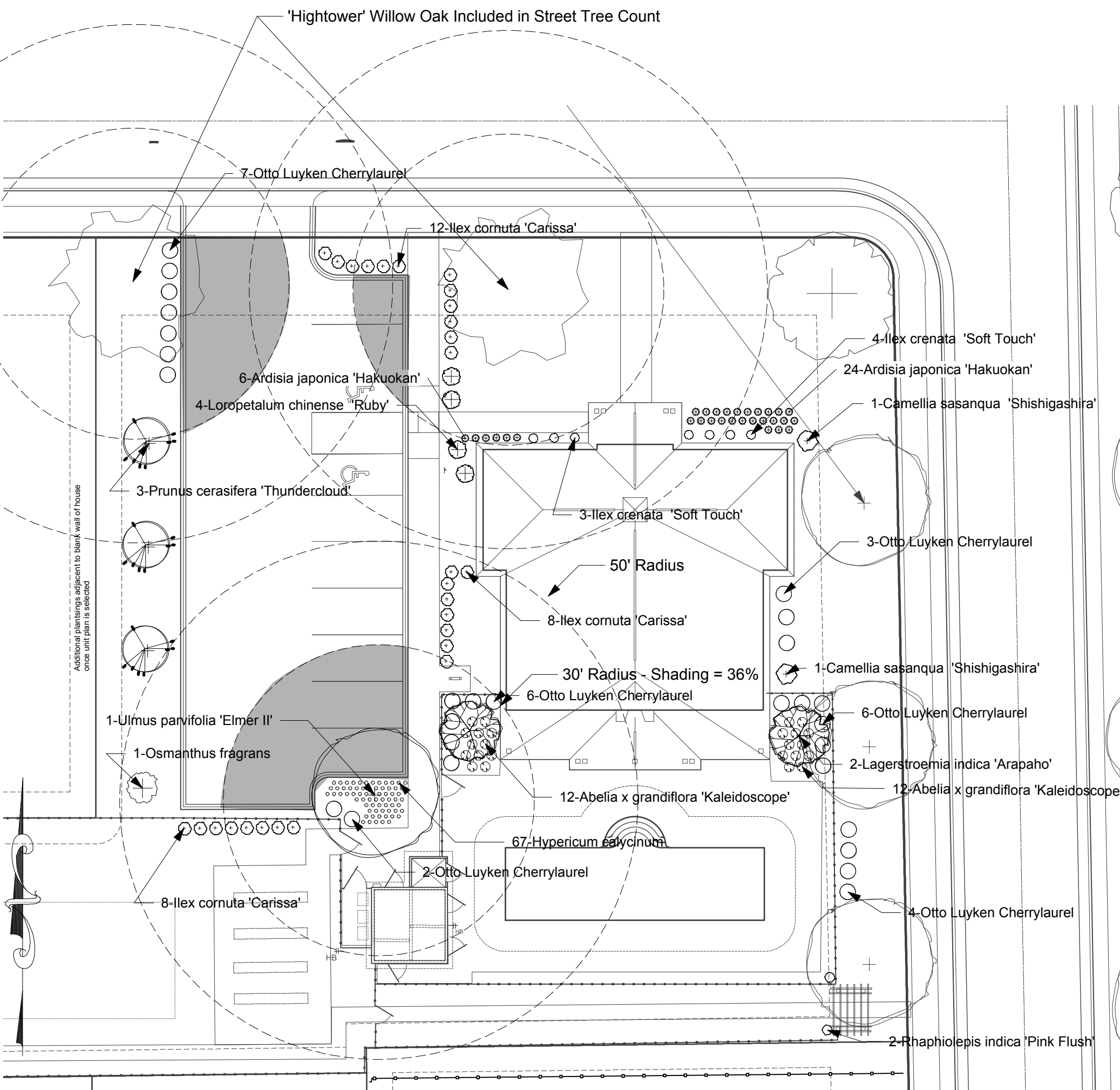
| Common Name | Botanical Name | Qty | Scheduled Size | Remarks |
|-------------------------------|-------------------------------------|-----|---|----------------------------------|
| Trees | | | | |
| Allele Elm | Ulmus parvifolia 'Elmer II' | 1 | 4" CAL | |
| Thundercloud Purple Leaf Plum | Prunus cerasifera 'Thundercloud' | 3 | 2" CAL | |
| Arapaho Crapemyrtle | Lagerstroemia indica 'Arapaho' | 2 | 10'-12' | Multi-Stem (Alt.-Watermelon Red) |
| Shrubs | | | | |
| Otto Luyken Cherrylaurel | Prunus laurocerasus 'Otto Luyke' | 28 | 5 GAL 5' O.C. | |
| Carissa Holly | Ilex cornuta 'Carissa' | 28 | 5 GAL 3.5' O.C. | |
| Camellia 'Shishigashira' | Camellia sasanqua 'Shishigashi' | 2 | 3' | |
| Pink Flush Indian Hawthorn | Rhaphiolepis indica 'Pink Flush' | 2 | 3 gal | |
| Aaronsbeard St. Johnswort | Hypericum calycinum | 67 | 4" Flats 15" O.C. | |
| Kaleidoscope Abelia | Abelia x grandiflora 'Kaleidoscope' | 24 | 3 GAL 30" O.C. Approved Alternate Varie | |
| Fragrant Tea Olive | Osmanthus fragrans | 1 | 7 GAL | |
| Soft Touch Japanese Holly | Ilex crenata 'Soft Touch' | 7 | 5 GAL 2.5' O.C. | |
| Ruby Loropetalum | Loropetalum chinense 'Ruby' | 4 | 7 GAL 30" O.C. | |
| Ground Cover | | | | |
| Japanese Ardisia 'Hakuokan' | Ardisia japonica 'Hakuokan' | 24 | 1 GAL 2' O.C. | |
| Japanese Ardisia 'Hakuokan' | Ardisia japonica 'Hakuokan' | 6 | 1 GAL 2' O.C. | |
| Perennials | | | | |
| Annuals-Biennials | | | | |
| Bulbs | | | | |
| Ornamental Grasses | | | | |

Clubhouse Planting Plan

1" = 20'-0"

TRANSITION YARD PLANTINGS PROPOSED

- Existing Trees to Remain as Shown
- Supplemental Plantings Proposed as Needed to Provide
 - Small or Large Trees
(i.e. cedars, plums, cherries, oaks, ironwood, dogwood, elm, crabapple, fringe tree, etc.)
 - Shrubs-Evergreen
(i.e. hollies, anise, wax myrtle, tea olive, yaupon, etc.)



PARKING LOT SHADING CALCULATIONS

| | |
|---------------------------------------|---------|
| Parking Lot Surface Area | 4604 sf |
| Shade Trees Required | 2 trees |
| one tree per 2,000 sf | |
| Shade Trees Provided | 2 trees |
| includes street tree & preserved tree | |
| Shading Provided | 36 % |

Developer:

Epcon
Communities

500 Stonehenge Parkway
Dublin, OH 43017

Project:

Courtyards of
Homestead
Chapel Hill, North Carolina

Drawing Title:

Tree Coverage
Parking Lot
Shading &
Buffers Index
Plan

Engineering and Stormwater Consultant:

P.O. Box 14005
Research Triangle Park
NC 27709
2905 Meridian Parkway
Durham, NC 27713
MCADAMS

| 2 | 7-17-14 | Buffer Index revised & additional tree canopy added in Area A-2 |
|-----|---------|---|
| No. | Date: | Issue Notes: |

Design Firm:

Scott Murray Land Planning, Inc.
1450 Environ Way Chapel Hill, NC 27517
252-213-9501 434-689-2925 (fax)
www.stmrandplan.com
smurray@stmrandplan.com

CAD File:

Scale:

1"=100'

AT D-SIZE

Date:

Drawn By:

STM

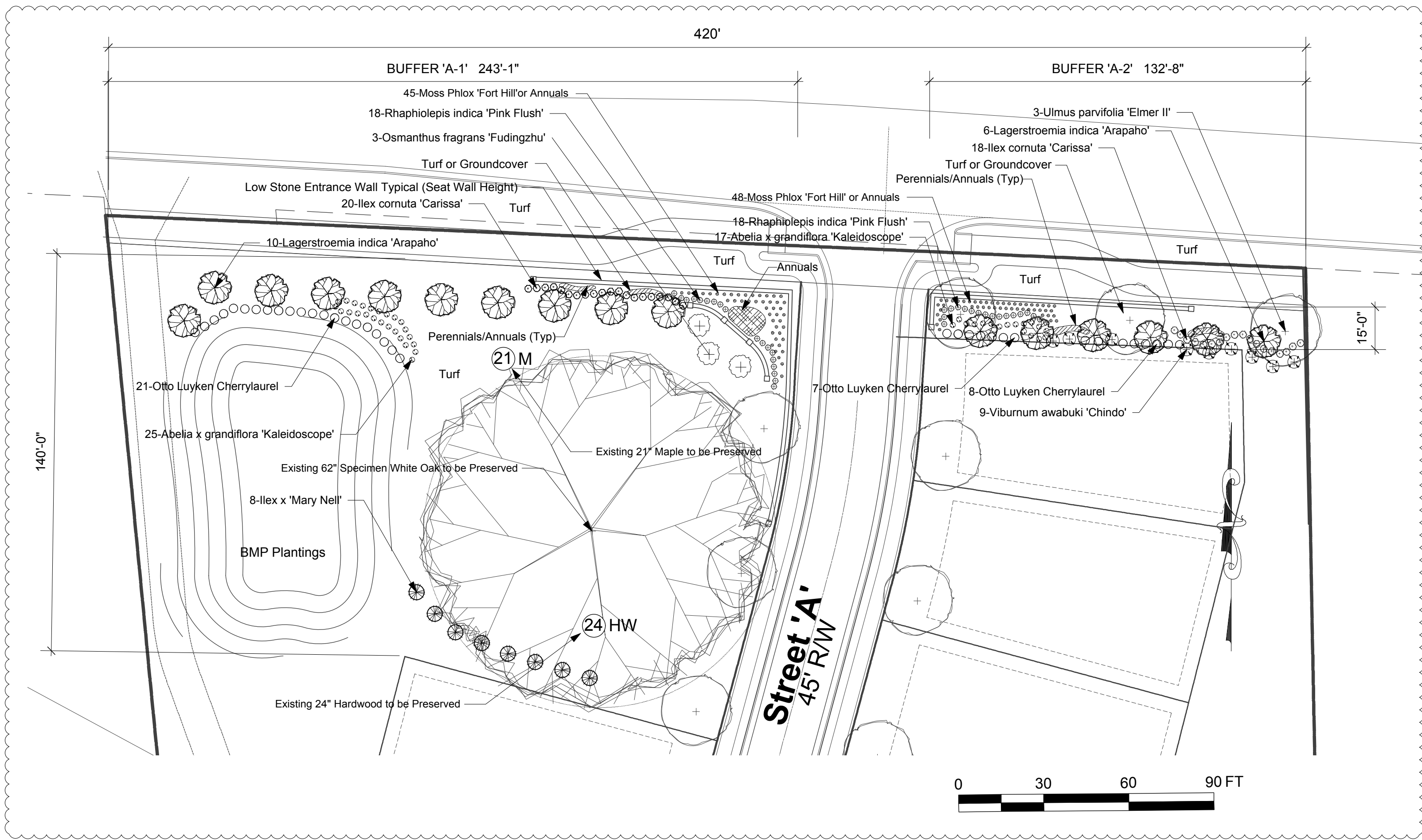
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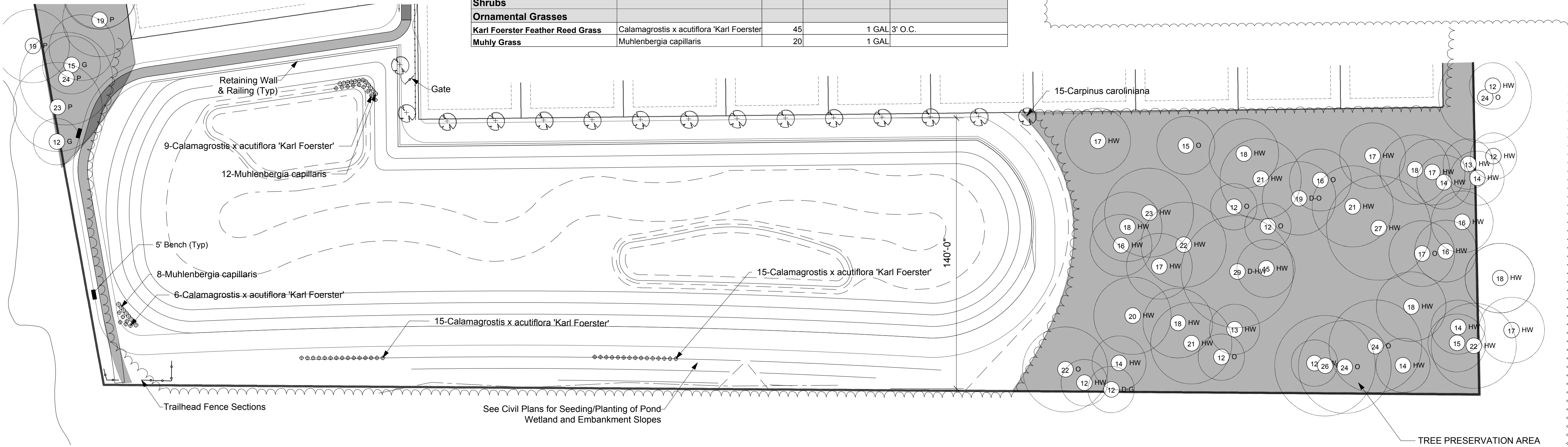
PIN # 9870900457, 9870904109 & 9870911164



Buffer Areas A-1 & A-2 Type 'C' Buffer Modification

1" = 30'-0"

| Plant List- Stormwater BMP | | | | |
|----------------------------------|--|-----|----------------|---------|
| Common Name | Botanical Name | Qty | Scheduled Size | Remarks |
| Trees | | | | |
| American Hornbeam, Ironwood | Carpinus caroliniana | 15 | 2.5" CAL. | |
| Shrubs | | | | |
| Ornamental Grasses | | | | |
| Karl Foerster Feather Reed Grass | Calamagrostis x acutiflora 'Karl Foerster' | 45 | 1 GAL 3' O.C. | |
| Muhly Grass | Muhlenbergia capillaris | 20 | 1 GAL | |



Stormwater BMP - Proposed Accent Plantings

1" = 30'-0"

| Courtyards of Homestead - Homestead Road A-1 & A-2 Buffer Summary | | | | | |
|---|-------------|-------------|--------|---------------------|--|
| Buffer Area | Large Trees | Small Trees | Shrubs | Buffer Width (min.) | Notes |
| A-1 (243 LF) | | | | | |
| Existing to Remain | 3 | 0 | 0 | | LUMO Standards Type 'C' External Buffer 20' Plantings = 5 trees/10 s. trees/36 shrubs |
| Proposed | 3 | 18 | 87 | 135-160 ft | Includes 62" oak, 21" maple & 24" hardwood |
| Total | 6 | 18 | 87 | | |
| Required per LUMO Type 'C' | 12 | 24 | 87 | 20 ft | Required Buffer reduced one grade due to no parking proposed between building & street |
| Variance | -6 | -6 | -0 | | Note: Existing trees = 107 Caliper Inches Does not include BMP Plantings |
| A-2 (133 LF) | | | | | |
| Existing to Remain | 0 | 0 | 0 | | LUMO Standards Type 'C' External Buffer 20' Plantings = 5 trees/10 s. trees/36 shrubs |
| Proposed | 3 | 15 | 68 | 15 ft | |
| Total | 3 | 15 | 68 | | |
| Required per LUMO Type 'C' | 7 | 13 | 47 | 20 ft | Required Buffer reduced one grade due to no parking proposed between building & street |
| Variance | -4 | 2 | 21 | | |

- Modification Request:**
- Preservation of specimen trees (107 total caliper inches) and increase width of Buffer A-1 to 135' in lieu of planting total tree quantities, and
 - Reduce width to 15' at Buffer A-2 (Lot 1) and substitution of 4 large trees with additional (2) small trees and (21) shrubs
- General Notes**
- Note: Required Type 'D' Buffer Reduced to Type 'C' Buffers per TCH LUMO Section 5.6.6 with no parking being proposed between buildings and proposed buffer.
 - LUMO Standards Type 'C' External Buffer 20' Plantings = 5 large trees/10 small trees/36 shrubs per 100 LF
 - Supplemental plantings proposed in the buffers shall be installed by hand without taking vehicles or motorized equipment into the critical root zones" of trees within the tree protection/buffer areas.
 - During landscape operations plant materials, soil, and mulch shall be stored/staged in areas not overlapping critical root zones in tree protection areas

| Plant List- North Buffers A-1 & A-2 | | | | |
|-------------------------------------|------------------------------------|-----|--|---|
| Common Name | Botanical Name | Qty | Scheduled Size | Remarks |
| Trees | | | | |
| Arapaho Crape myrtle | Lagerstroemia indica 'Arapaho' | 16 | 10'-12' | Multi-Stem (Alt.-Watermelon Red) Does not include 3 street trees within buffer |
| Allee Elm | Ulmus parvifolia 'Elmer II' | 3 | 4" CAL | |
| Mary Nell Holly | Ilex x 'Mary Nell' | 8 | 5' 10" O.C. or as shown | |
| Chindo Viburnum | Viburnum awabuki 'Chindo' | 9 | 5' 10" O.C. | |
| Shrubs | | | | |
| Otto Luyken Cherry laurel | Prunus laurocerasus 'Otto Luyke' | 36 | 5 GAL 5' O.C. | |
| Fragrant Tea Olive - Fudingzhu | Osmanthus fragrans 'Fudingzhu' | 3 | 4' 12" O.C. | |
| Carissa Holly | Ilex cornuta 'Carissa' | 38 | 3 GAL 3.5' O.C. | |
| Pink Flush Indian Hawthorn | Raphiolepis indica 'Pink Flush' | 36 | 3 gal | |
| Kaleidoscope Abelia | Abelia x grandiflora 'Kaleidoscop' | 42 | 3 GAL 30" O.C. Approved Alternate Variet | |

Design Intent - Buffer 'A-1': The Alternate Buffer proposed for the west side of the entrance road reflects a substantial increase from the minimum width (20') in order to protect the 62" specimen white oak. The width proposed exceeds the required buffer width by more than 120'. Proposed plantings are selected to provide a focus for the community entrance while preserving views to the specimen oak that is to be preserved. Evergreen shrubs provide a backdrop to the planned entrance sign.

Design Intent - Buffer 'A-2': The Alternate Buffer, proposed at 15' along Lot 1, provides adequate space for proposed plantings with the exception of 4 large trees. Three large elms are proposed with spacing equal to other street trees planning for the community. Additional shrubs are proposed over the minimum requirement to screen and soften views to the adjacent home on Lot 1. A low stone accent wall, similar to those found throughout Chapel Hill will form an architectural edge and backdrop to the bikeway and public realm. Small flowering trees continue the row of accent trees along the low stone wall, providing a focus to the community entrance.

1 2

Developer:

Epcon Communities

500 Stonehenge Parkway
Dublin, OH 43017

Project:

Courtyards of Homestead

Chapel Hill, North Carolina

Drawing Title:

Buffer Modifications & Stormwater BMP Accent Plantings

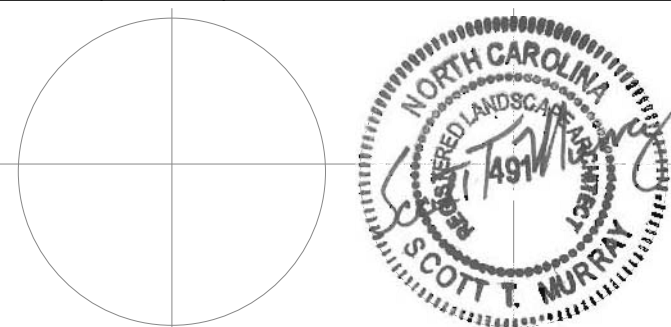
Engineering and Stormwater Consultant:

P.O. Box 14005
Research Triangle Park
NC 27709

2905 Meridian Parkway
Durham, NC 27713

MCADAMS

| | | |
|-----|---------|--------------------------------------|
| | | |
| 2 | 7-17-14 | Revised Buffer Planting Calculations |
| 1 | 5-6-14 | Revised Buffer Planting Calculations |
| No. | Date: | Issue Notes: |



Design Firm:

Scott Murray Land Planning, Inc.
1450 Environ Way Chapel Hill, NC 27517
252-213-9501 434-689-2925 (fax)
www.stmplan.com
smurray@stmplan.com

CAD File:

Scale: 1"=100'

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Date:

Drawn By:

STM

Drawing No.:

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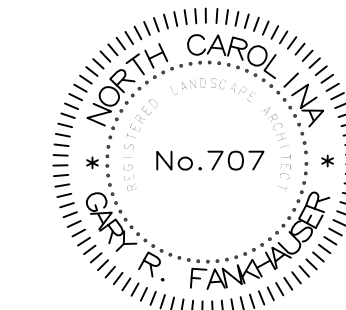
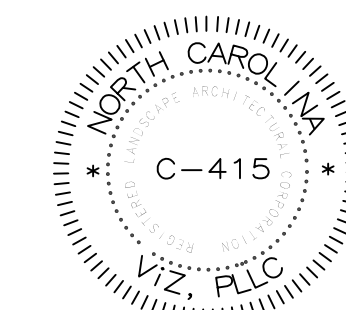
LA-1.1

of

PIN # 9870900457, 9870904109 & 9870911164



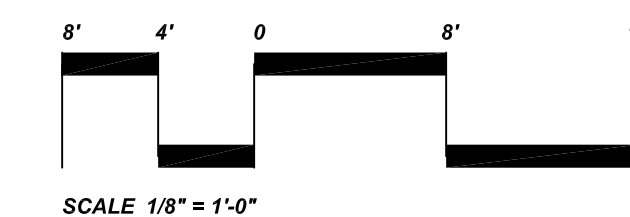
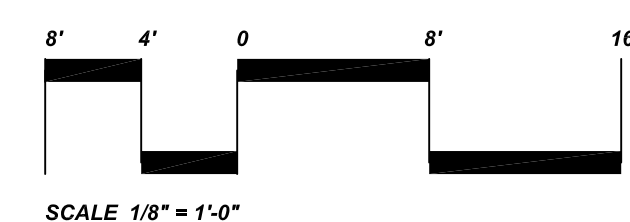
**Courtyards of
Homestead**
Chapel Hill, NC

[illegible]

DATE: 3/17/2014
SCALE: AS SHOWN
JOB NUMBER: 14-12.1
DESIGNED BY: GRF
DRAWN BY: GRF

TYPICAL UNIT PLANTING PLANS

LA-1.2



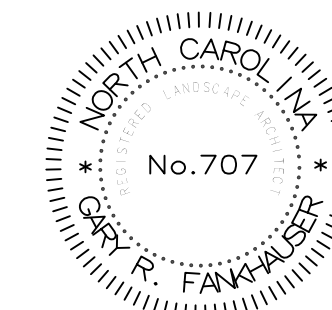
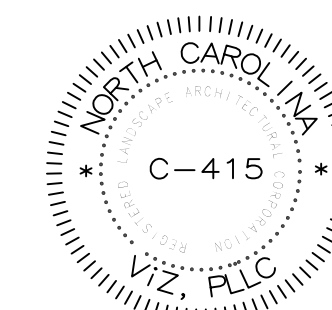
| Plant Legend - Piazza | | | | | |
|-----------------------|---|------------------------------|-----------|----------|----------|
| KEY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | QUANTITY |
| 1 | Camellia japonica | Japanese Camellia | 3 gal. | 36" o.c. | 2 |
| 2 | Abelia x grandiflora 'Kaleidoscope' | Kaleidoscope Abelia | 3 gal. | 30" o.c. | 6 |
| 3 | Thuja occidentalis 'Emerald Green' | 'Emerald Green' Arborvitae | 6' height | As Shown | 2 |
| 4 | Prunus laurocerasus 'Otto Luyken' | Otto Luyken Laurel | 3 gal. | 36" o.c. | 2 |
| 5 | Loropetalum chinensis 'Ruby' | Ruby Loropetalum | 3 gal. | 36" o.c. | 3 |
| 6 | Euonymus japonicus 'Microphyllus Vari.' | Variiegated Boxleaf Euonymus | 3 gal. | 24" o.c. | 3 |
| 7 | Ilex crenata 'Soft Touch' | Soft Touch Holly | 3 gal. | 30" o.c. | 4 |
| 8 | Viburnum awabuki 'Chindo' | Chindo Viburnum | 7 gal. | As Shown | 1 |
| 9 | Lagerstroemia indica 'Catawba' | Catawba Crape Myrtle | 8' height | As Shown | 1 |
| | | | | | |
| | | | | | |
| | | | | | |
| 15 | Azalea Encore | Encore Azalea | 3 gal. | 30" o.c. | 3 |
| 16 | Prunus cerasifera 'Thundercloud | Purple Leaf Plum | 8' | As Shown | 1 |
| | | | | | |
| | | | | | |

| Plant Legend - Palazzo | | | | | |
|------------------------|--------------------------------------|----------------------------|-----------|----------|----------|
| KEY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | QUANTITY |
| 1 | Camellia japonica | Japanese Camellia | 3 gal. | 36" o.c. | 2 |
| 2 | Abelia x grandiflora 'Kaleidoscope' | Kaleidoscope Abelia | 3 gal. | 30" o.c. | 9 |
| 3 | Thuja occidentalis 'Emerald Green' | 'Emerald Green' Arborvitae | 6' height | As Shown | 1 |
| 4 | Prunus laurocerasus 'Otto Luyken' | Otto Luyken Laurel | 3 gal. | 36" o.c. | 2 |
| 5 | Loropetalum chinensis 'Ruby' | Ruby Loropetalum | 3 gal. | 36" o.c. | 2 |
| 6 | Ilex cornuta 'Carissa' | Carissa Holly | 3 gal. | 36" o.c. | 2 |
| 7 | Gardenia jasminoides 'Radicans' | Radicans Dwarf Gardenia | 3 gal. | 30" o.c. | 3 |
| 8 | Gardenia jasminoides 'August Beauty' | August Beauty Gardenia | 7 gal. | As Shown | 1 |
| 9 | Magnolia soulangiana | Saucer Magnolia | 8' height | As Shown | 1 |
| | | | | | |
| | | | | | |
| | | | | | |
| 15 | Azalea Encore | Encore Azalea | 3 gal. | 30" o.c. | 3 |
| 16 | Prunus cerasifera 'Thundercloud | Purple Leaf Plum | 8' height | As Shown | 1 |
| | | | | | |
| | | | | | |



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Epcon
Communities

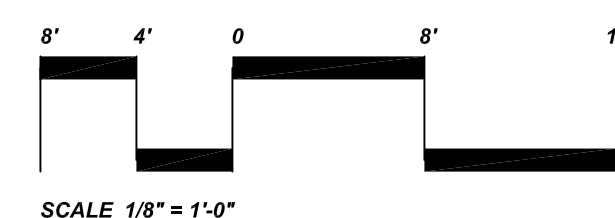
[illegible]

DATE: 3/17/2014
SCALE: AS SHOWN
JOB NUMBER: 14-12.1
DESIGNED BY: GRF
DRAWN BY: GRF

SHEET TITLE:

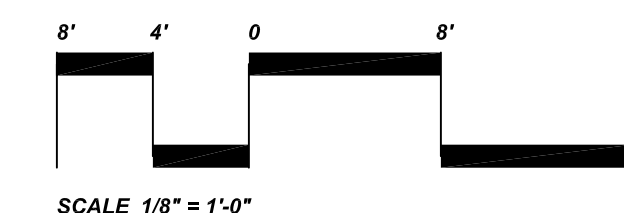
TYPICAL UNIT PLANTING PLANS

LA-1.3



Plant Legend - Portico

| KEY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | QUANTITY |
|-----|---|----------------------------|-----------|----------|----------|
| 1 | <i>Camellia japonica</i> | Japanese Camellia | 3 gal. | 36" o.c. | 2 |
| 2 | <i>Abelia x grandiflora</i> 'Kaleidoscope' | Kaleidoscope Abelia | 3 gal. | 30" o.c. | 9 |
| 3 | <i>Thuja occidentalis</i> 'Emerald Green' | 'Emerald Green' Arborvitae | 6' height | As Shown | 1 |
| 4 | <i>Prunus laurocerasus</i> 'Otto Luyken' | Otto Luyken Laurel | 3 gal. | 36" o.c. | 2 |
| 5 | <i>Loropetalum chinensis</i> 'Ruby' | Ruby Loropetalum | 3 gal. | 36" o.c. | 3 |
| 6 | <i>Gardenia jasminoides</i> 'August Beauty' | August Beauty Gardenia | 7 gal. | As Shown | 1 |
| 7 | <i>Ilex crenata</i> 'Soft Touch' | Soft Touch Holly | 3 gal. | 30" o.c. | 3 |
| 8 | <i>Viburnum awabuki</i> 'Chindo' | Chindo Viburnum | 7 gal. | As Shown | 1 |
| 9 | <i>Lagerstroemia indica</i> 'Catawba' | Catawba Crape Myrtle | 8' height | As Shown | 1 |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| 15 | <i>Azalea Encore</i> | Encore Azalea | 3 gal. | 30" o.c. | 3 |
| 16 | <i>Prunus cerasifera</i> 'Thundercloud' | Purple Leaf Plum | 8' | As Shown | 1 |
| | | | | | |
| | | | | | |



| Plant Legend - Promenade | | | | | |
|--------------------------|--------------------------------------|----------------------------|-----------|----------|----------|
| KEY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | QUANTITY |
| 1 | Camellia japonica | Japanese Camellia | 3 gal. | 36" o.c. | 6 |
| 2 | Abelia x grandiflora 'Kaleidoscope' | Kaleidoscope Abelia | 3 gal. | 30" o.c. | 12 |
| 3 | Thuja occidentalis 'Emerald Green' | 'Emerald Green' Arborvitae | 6' height | As Shown | 2 |
| 4 | Gardenia jasminoides 'Radicans' | Radicans Dwarf Gardenia | 3 gal. | 30" o.c. | 3 |
| 5 | Loropetalum chinensis 'Ruby' | Ruby Loropetalum | 3 gal. | 36" o.c. | 6 |
| 6 | Ilex cornuta 'Carissa' | Carissa Holly | 3 gal. | 36" o.c. | 3 |
| 7 | Gardenia jasminoides 'August Beauty' | August Beauty Gardenia | 7 gal. | As Shown | 1 |
| 8 | Magnolia soulangiana | Saucer Magnolia | 8' height | As Shown | 1 |
| 9 | Azalea Encore | Encore Azalea | 3 gal. | 30" o.c. | 4 |
| | | | | | |
| | | | | | |
| | | | | | |
| 15 | Azalea Encore | Encore Azalea | 3 gal. | 30" o.c. | 3 |
| 16 | Prunus cerasifera 'Thundercloud | Purple Leaf Plum | 8' height | As Shown | 1 |
| | | | | | |

NOTES:

1. UNDERGROUND UTILITY VERIFICATION
Landscape contractor to verify location of underground utilities before beginning work.

2. SOIL PREPARATION
Where existing vegetation remains in areas to be seeded, eradicate existing vegetation by having a licensed spray technician apply an approved herbicide; i.e., glyphosate (Roundup®), or tilling the weeds into the soil. Good pre-seeding weed control may require spraying two applications of glyphosate (at least two weeks apart). Close mowing two weeks prior to spraying is recommended to stimulate weed growth. Glyphosate must be applied to vegetative growth in order to kill undesirable plants and their roots. The second application is needed only if the first application is insufficient.

Test soil qualified laboratory tests and amend with lime and fertilizer as needed. Achieve a pH of at least 6.0

For heavy compacted clay soils - Organic matter must be added in order to prevent the clay from hardening after rain events, to the point where emergent seedlings will be unable to push through the soil surface. Organic matter, such as straw, compost, mulch, leaf litter, etc., must be added in order to increase soil organics to at least 1%. The organics must be worked into the top-most soil prior to planting using a tiller, harrow, disk, or similar implement. Cultivating the top 6" of soil will aid in root development of emergent seedlings, and will allow some percolation of rain water that would otherwise run off the surface with little to no infiltration, likely carrying the seed away with it.

If heavy soil conditions are encountered where percolation is not adequate to prevent ponding after a normal rainfall event then the following procedures supersede those illustrated in the accompanying details. Where subgrade does not allow for natural drainage through amendments or subsurface drainage, rootballs shall be set at a depth not to exceed 1/2 of the total rootball depth. Provide additional amendments or drainage as needed to ensure survival of the plant after consulting with landscape architect.

Tracking slopes with mechanized equipment should be done perpendicular to fall line to minimize runoff and erosion.

3. IRRIGATION
All new plant areas of site with the exception of street trees are to be irrigated as shown on drawings. See Irrigation drawings. Design-Build system design to be submitted to the landscape architect for review and approval prior to installation. Irrigation Contractor shall be licensed as required by the State in which the work is to be conducted.

4. PLANT MATERIAL STANDARDS
All plant material and planting standards specified shall meet the minimum standards for nursery stock- ANSI Z60.1-2004 or the County whichever is stricter. Any material with evidence of disease or pest infestations will be rejected. All rework will be at the expense of the Contractor. Substitutions will be permitted only upon prior approval by the Landscape Architect or Owner's Representative. Contractor shall be responsible for furnishing all seed tags and plant tags affirming origin and species. Plant tags shall not be removed prior to final inspection and acceptance. Contractor is responsible for the health of all plant material for a minimum of 30 days following final acceptance. If contractor is awarded a contract for maintenance then he/she shall be responsible for the health and/or replacement of all material as set forth by the maintenance contract.

5. MISCELLANEOUS NOTES
a. Landscape contractor shall submit a schedule of proposed plantings for all annual beds and planters providing for spring and fall plant rotations. Select plants to provide variety and unity.
b. Tree placement and landscape bed layout to be approved by landscape architect prior to installation.
c. All disturbed areas are to be stabilized with lawn, plantings, or mulch.
Mulch around all plants as specified. trees shall be mulched with pine straw except within 6' of buildings or as prohibited by local ordinances. shreaded hardwood bark mulch shall be used for all perennials and annual beds.
d. See SEEDING SPECIFICATIONS for seed mix and schedules.
e. See LANDSCAPE MAINTENANCE OUTLINE for additional specifications.

SEEDING SPECIFICATIONS AND SCHEDULES

Temporary Seeding:
All areas disturbed by construction will be stabilized with temporary seeding immediately following grading. Seeding will comply with the standards and specifications of the latest edition of the Erosion and Sediment Control Regulations for the State or jurisdiction in which the project is located. Seeded areas will be maintained in keeping with accepted practices and care.

Permanent Seeding:

STEEP SLOPE AREAS
August 15th - April 1st - Hydro Seed Steep Slope Areas (>2.5:1 H:V) with Sericea Lespedeza (*Lespedeza cuneata* Dumont') - 30 lbs/ac (un-hulled)+ Red Top Grass 2 lbs/ac + Pensacola Bahiagrass 50 lbs/ac + Kentucky 31 Fescue 50 lbs/ac + Annual rye 20lbs/ac (winter rye November 1st-February 15th) - hydro seed with NA Green HydracX2 mulch (or equal) and recommended soil amendments and inoculants.

April 1st - May 1st - Hydro Seed Steep Slope Areas (>2.5:1 H:V) with Sericea Lespedeza (*Lespedeza cuneata* Dumont') - 30lbs/ac (un-hulled)+ Red Top Grass 2 lbs/ac + Pensacola Bahiagrass 50 lbs/ac + Kentucky 31 Fescue 50 lbs/ac + Fox Tail Millet 20 lbs/ac - hydro seed with NA Green HydracX2 mulch (or equal) and recommended soil amendments and inoculants.

May 1st - August 15th - Hydro Seed Steep Slope Areas (>2.5:1 H:V) with Sericea Lespedeza (*Lespedeza cuneata* Dumont') - 30 lbs/ac (hulled)+ Red Top Grass 2 lbs/ac + Pensacola Bahiagrass 50 lbs/ac + Kentucky 31 Fescue 50 lbs/ac + Fox Tail Millet 20 lbs/ac - hydro seed with NA Green HydracX2 mulch (or equal) and recommended soil amendments and inoculants.

TURF AREAS - (reduce seeding rates by 35% for overseeding)
August 15th - April 1st
Cool Season Turf Grass - Seed with Kentucky 31 Fescue 100 lbs/ac + 75 lbs/ac Creeping Fescue (*Rubra rubra*) + Kentucky Bluegrass 10 lbs/ac; straw and tack all newly seeded areas not hydro seeded.
Sod - as noted

April 1st - May 1st
Cool Season Turf Grass - Seed with Kentucky 31 Fescue 100 lbs/ac + 75 lbs/ac Creeping Fescue (*Rubra rubra*) + Kentucky Bluegrass 10 lbs/ac; straw and tack all newly seeded areas not hydro seeded.
Sod - as noted

May 1st - August 15th
Warm Season Turf Grass - Sunport Improved Bermuda - 3 lbs/1,000 sf

NATIVE GRASSES AND WILDFLOWER AREAS
Seed Mixes (Available from John Deere Landscapes 704-823-0613 or Ernst Seed Company)
Native Grass Areas - Little Blue Stem (The Blues) 3 lbs/ac + Broomsedge (Silver Beauty) 3 lbs/ac +Side Oats Grama 3 lbs/ac + Prairie Dropseed 3 lbs/ac
Wildflower Areas - Southeastern Wildflower Mix - 24 lbs/ac

Seeding Schedule
- If project schedule requires seeding of Native Grass Areas prior to March 15th, then seed, straw and tack disturbed areas with annual rye at a rate of 300 lbs./ac.
- Seed Native Grass Areas in early spring as soon as average daytime temperatures reach 60-65 deg. Seed Wildflower Areas May 1st - July 1st.
- If temporary seeding is required as noted above, contractor shall eradicate cover grass as needed prior to seeding native grass and wildflower areas.

General Stabilization and Seeding Notes
- Prep and seed all areas disturbed by construction that are not seeded for Steep Slopes, Native Grass Areas or Wildflower Seed Areas, with Warm Season or Cool Season turf grasses as specified above.
- Do not cover seed more than 1/4 inch

LANDSCAPE MAINTENANCE OUTLINE

The following outline describes the basic elements of work that will be performed throughout the calendar year:

I. LAWNS - WARM SEASON TURF

A. Mowing
All lawns will be mowed as needed throughout the year in order to maintain a clean, neat appearance. Typically all lawns will be cut at a height of 2" for warm season grasses and 3"- 4" for cool season grasses.

B. Fertilization and Weed Control
February/March: All lawns will be treated with a pre-emergent herbicide for the prevention of annual weed grasses and broadleaf weeds.
March: All lawns will be treated with a high-density fertilizer to promote Spring plant growth and replace nutrients lost due to leaching during the Winter months.
May: All lawns will be treated with a post-emergent herbicide for control of broadleaf weeds and weed grasses, plus a slow-release fertilizer to maintain a healthy turf during the Summer months.
September: All lawns will have a Fall application of fertilizer to replace nutrients lost during the Summer months.
November: All lawns will be treated with a slow-release fertilizer with Iron-Plus to promote Winter hardiness.

C. Insects and Disease Control
All lawn areas will be monitored for infestation of insects or appearance of turf diseases. Due to the unpredictable nature of these problems, treatments will be performed on an "as needed" basis to prevent and control infestations. All insecticides/ fungicides will be applied under the supervision of a Certified Pesticide Applicator. Vertebrate pests such as deer, beaver, vols, and moles shall be monitored and reported to property manager when occurrences are noted.

II. EDGING
A. Lawns
All curbs and sidewalks will be edged, as needed, throughout the year in order to maintain a clean cut, crisp edge.

B. Shrub Beds
All bed lines will be edge cut once a year.

III. PLANTING
A. Need Control
March: all bed areas will be treated with a pre-emergent herbicide to control weed seed germination (Ex. Barricade, Snapshot, pendulum)

When needed, all beds will be treated with the selective post-emergent herbicide, (Ex. Finale, Roundup, Reward,) to control weed seeds, which have germinated.

Additional hand weeding and selective spraying of herbicides such as ROUND-UP will be performed as needed

All applications will be applied under the supervision of a licensed Certified Pesticide Applicator.

B. Fertilization
All evergreen shrub beds will be fertilized in the early Spring according to soil test results and plant /fertilizer recommendations.

All blooming trees and shrubs (i.e., azalea, rhododendron, dogwoods, redbud) will be fertilized with a complete analysis fertilizer 4 to 5 weeks after blooming.

Deciduous trees and shrubs except blooming species will be fertilized with a complete slow release fertilizer in the early Spring and two additional times during the growing season.

C. Pruning
All plantings will be pruned at the appropriate time of the year according to type / species. For example, Spring blooming trees and shrubs will be pruned after flowering while Summer blooming species will be pruned in Winter or early Spring

D. Insect and Disease Control
All plantings will be monitored for infestation of insect or appearance of disease. Once identified, chemical treatments will be applied. All applications will be performed under the supervision of a licensed Certified Pesticide Applicator.

IV. CLEAN-UP

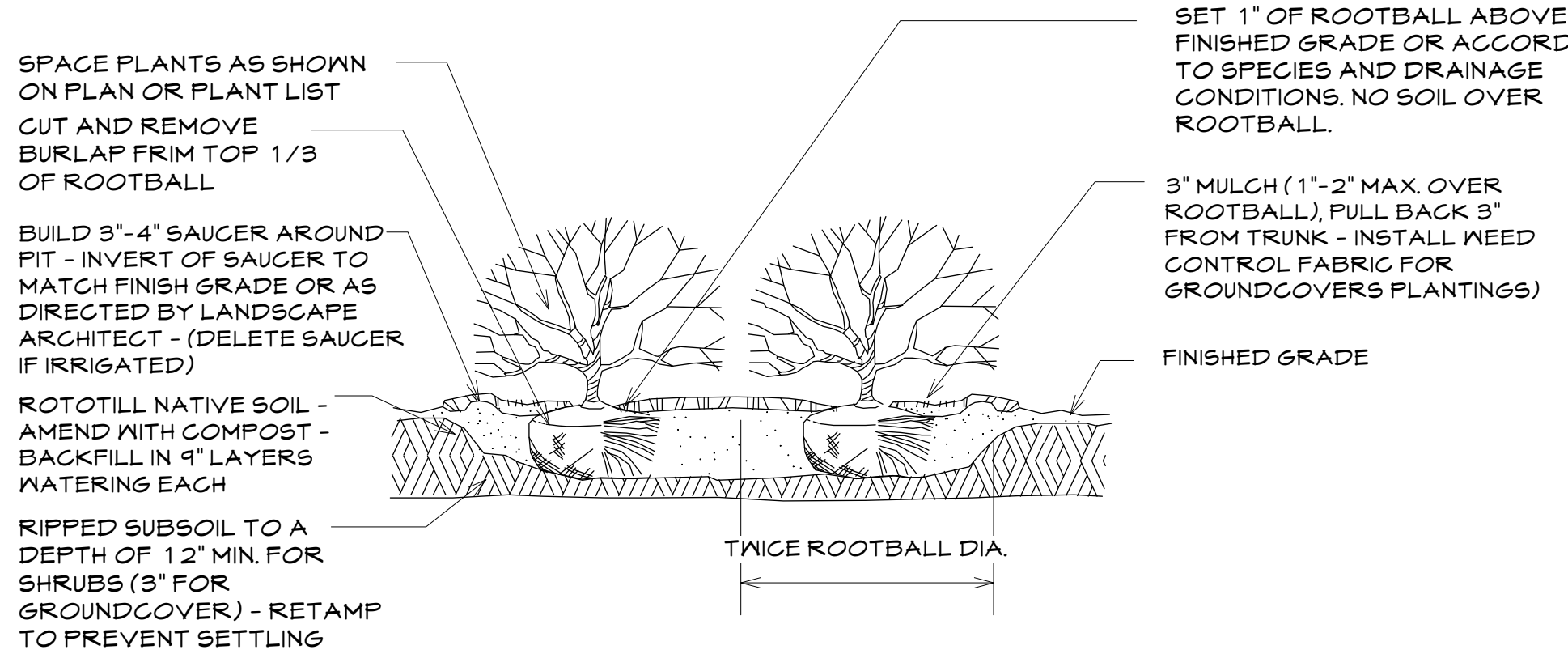
A. Grounds
All grounds will be policed on a bi-weekly basis.

Major damage due to high winds, ice, snow, or other unpredictable acts of nature is not included but shall be offered on an hourly basis. Contractor shall provide property manager with hourly rates for labor and equipment at the time of contract acceptance/renewal.

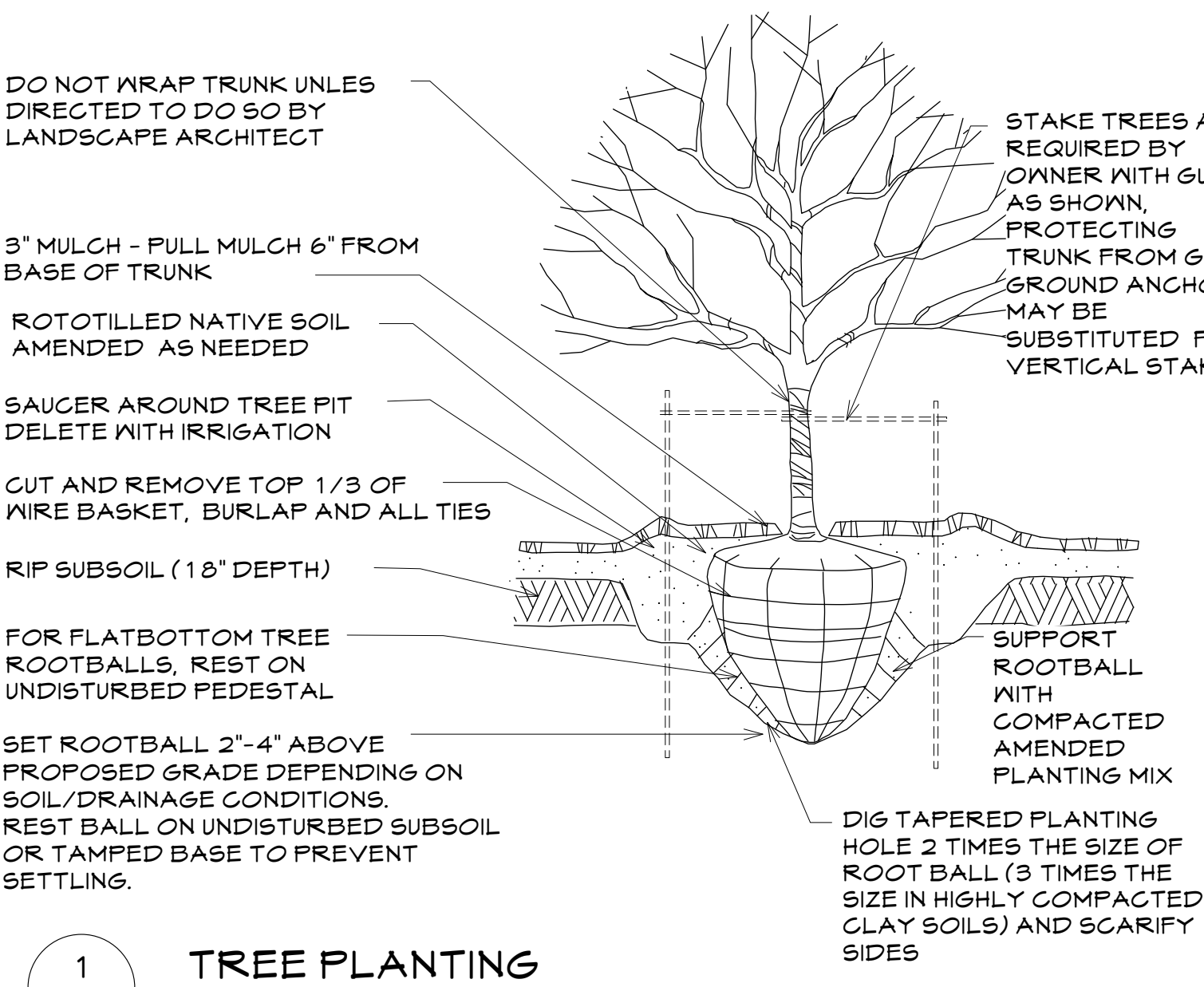
Leaf clean-up of walks, turf areas, shrub beds and other high visibility areas is to be provided weekly. Leaf cleanup in out lying natural areas is to be provided twice per year in the fall.

V. IRRIGATION (if provided)

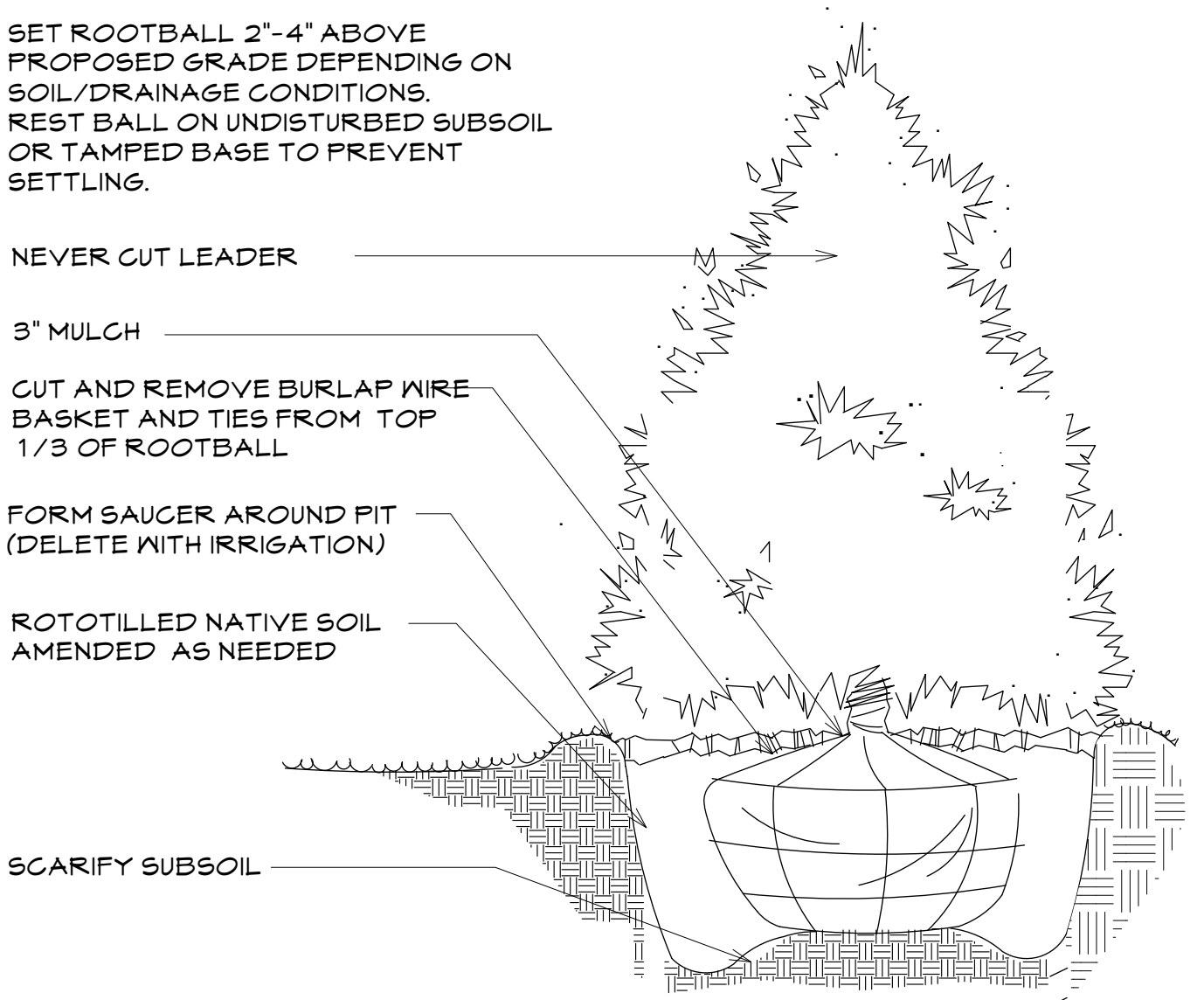
All irrigation will be monitored on a weekly basis to insure coverage per the irrigation design. Repairs made as needed. Cost for repairs shall be specified in Landscape Contract. Provisions shall be made to draindown in the fall to insure against freezing.



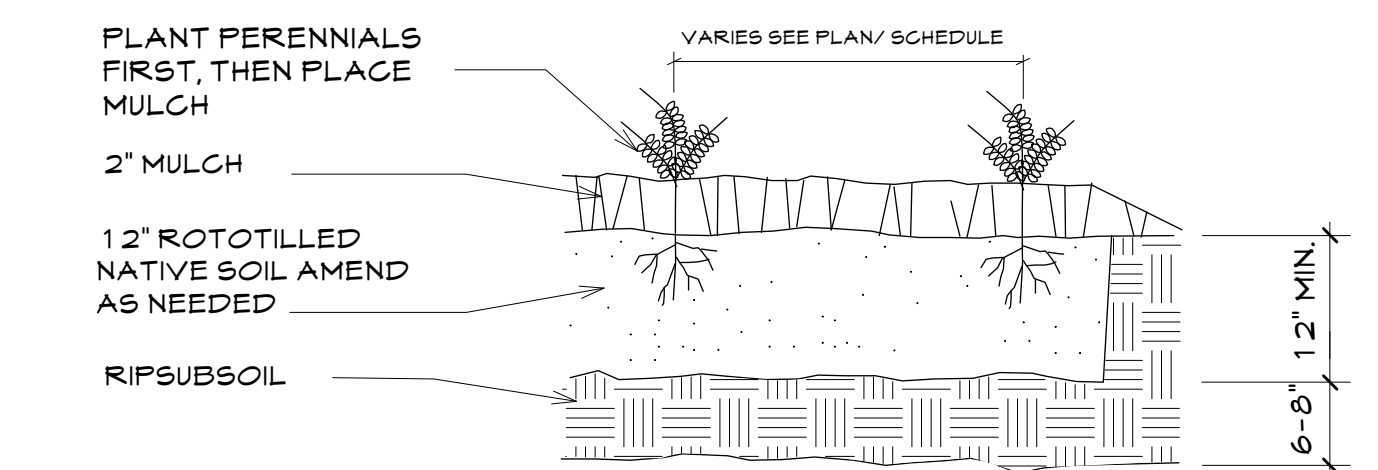
3 SHRUB PLANTING AND GROUNDCOVER PLANTINGS
LA- 1.1 N.T.S.



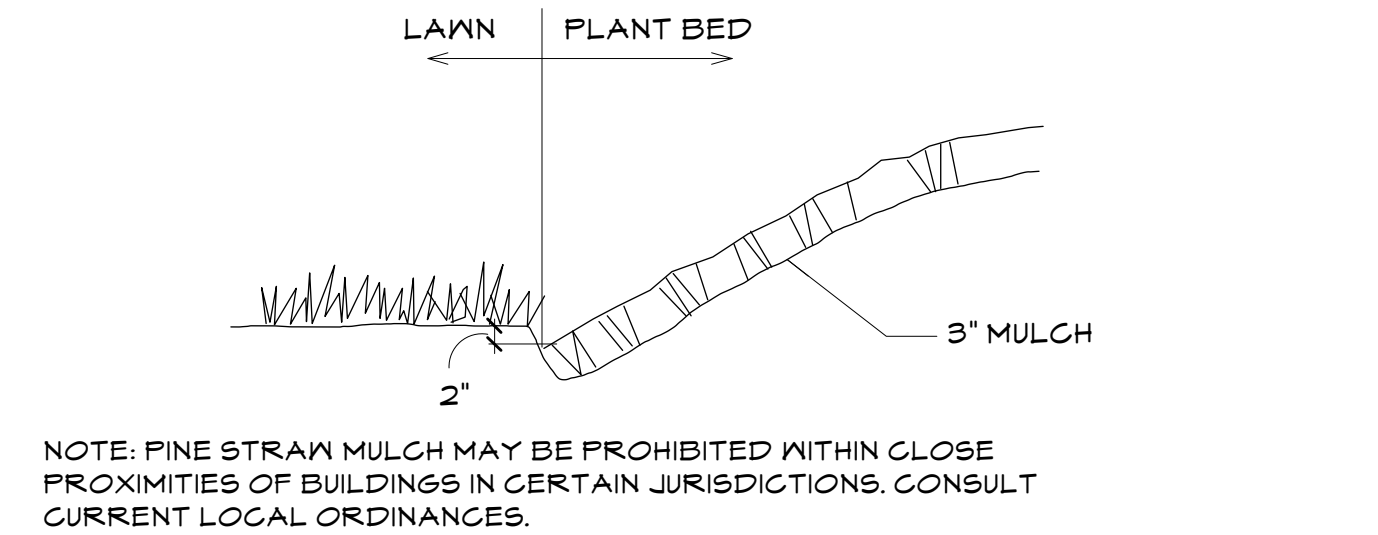
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LA- 1.1 N.T.S.



2 EVERGREEN TREE PLANTING
LA- 1.1 N.T.S.



4 PERENNIAL PLANTING
LA- 1.1 N.T.S.



5 MULCH EDGE
LA- 1.1 N.T.S.

PIN # 9870900457, 9870904109 & 9870911164

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Chapel Hill, NC 27517

Virginia Office:
274 Bolecourt Court
Boynton, Virginia 23017

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stmlandplan.com

SCOTT MURRAY
LAND PLANNING, INC.

Landscape Architecture | Environmental Design | Project Management

Developer:

Epcon
Communities

500 Stonehenge Parkway
Dublin, OH 43017

Project:

Courtyards of
Homestead
Chapel Hill, North Carolina

Drawing Title:

Planting,
Details and
Specifications

Engineering and Stormwater Consultant:

P.O. Box 14005
Research Triangle Park
NC 27709

2905 Meridian Parkway
Durham, NC 27713

MCADAMS

No.

Date:

Issue Notes:

Design Firm:

Scott Murray Land Planning, Inc.
1450 Environ Way Chapel Hill, NC 27517
252-213-9501 434-689-2925 (fax)
www.stmlandplan.com
smurray@stmlandplan.com

CAD File:

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Drawn By:
STM

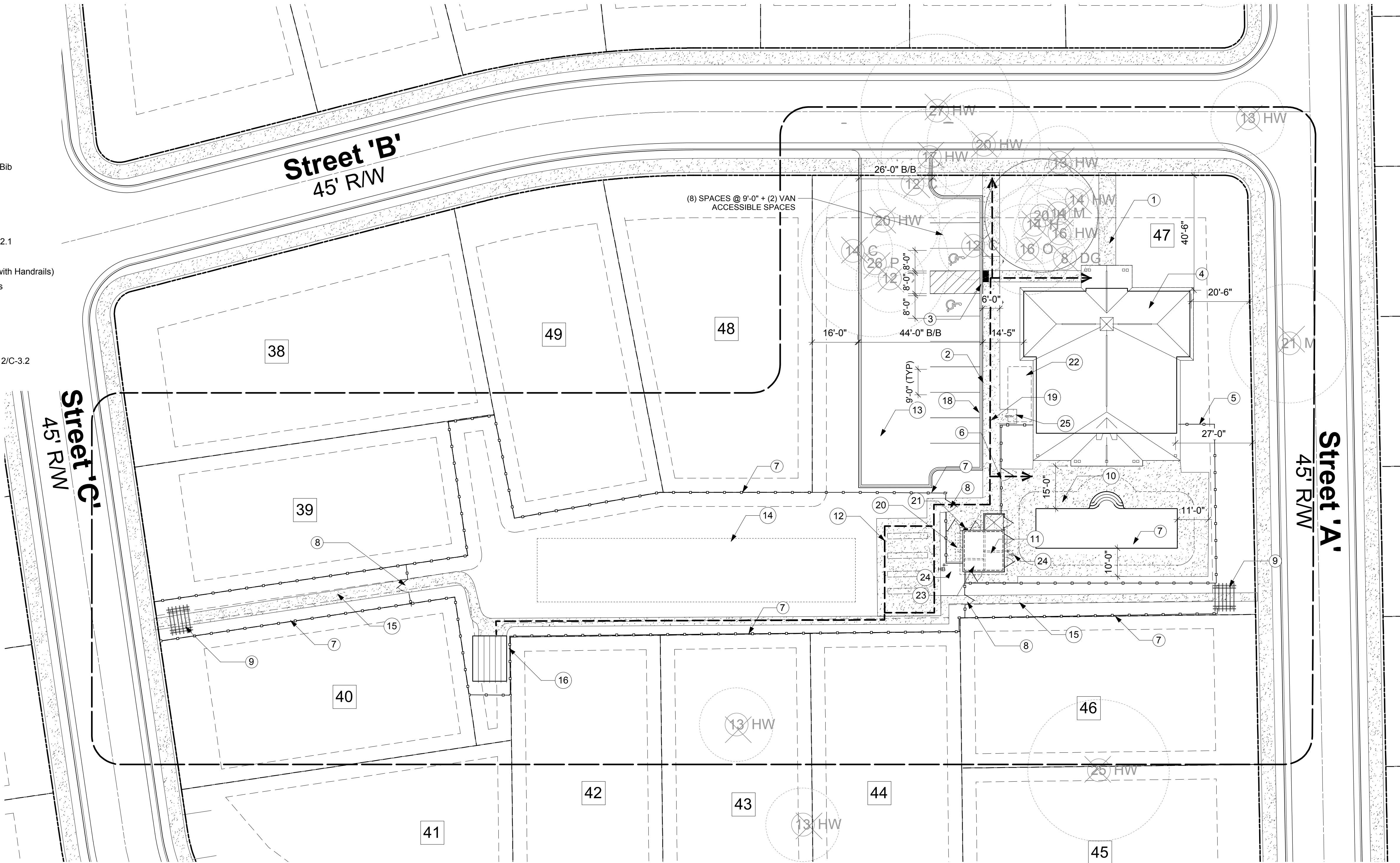
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LA-1.4

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Site Feature Callouts

- 1 4' Concrete Walkway
- 2 6' Concrete Walkway
- 3 ADA Depressed Curb & Ramp
- 4 Clubhouse
- 5 Pool Fence Enclosure - 4' Min. Ht
- 6 Self-Closing and Latching Gate
- 7 3' to 5' Aluminum Picket Fence - Stone Columns (optional)
- 8 Gated Entry
- 9 Trellis
- 10 Non-Slip Pool Deck
- 11 Pool Pump House
- 12 Accessible Route to Accessible Garden Beds (Raised), Tool Shed & Hose Bib
- 13 Asphalt Parking Area - See Detail 7/LA-2.1
- 14 Community Garden (vegetables, flowers/shrubs or lawn)
- 15 4'-0" Concrete Walk
- 16 Garden Tool Shed
- 17 Aluminum Picket Fence and Optional Stone Columns - See Details 4-6/LA-2.1
- 18 12" Concrete Curb & Gutter - See Detail 7/LA-2.1
- 19 Accessible Route (Max 2% Cross-slope/5% Slope or 8.33% Ramp Slope with Handrails)
- 20 Roll-Out Trash Bin Areas - (1) RollOut Container + (1) Roll-Out Recyclables
- 21 Meter Base or Sub-Panel
- 22 Service Area Electrical Meter + HVAC Units
- 23 Chemical Storage Room
- 24 Frostproof Yard Hydrant with Backflow Preventor
- 25 Bicycle Spaces on Washed Stone Pad - 6'-0" x 6'-0" (2 Spaces) See Detail 2/C-3.2



GENERAL NOTES, BATHER LOADING & FACILITIES

- 1. ALL FACILITIES SHALL COMPLY WITH SECTION .2500 OF TITLE 15A SUBCHAPTER 18A OF THE NORTH CAROLINA ADMINISTRATIVE CODE - PUBLIC SWIMMING POOLS
- 2. BATHER LOADING:
756 SF/15 SF/BATHER = 50 BATHERS (25 MEN + 25 WOMEN)
- 3. REQUIRED/PROVIDED SANITARY FACILITIES:
 - (1) MEN'S URINAL
 - (1) MEN'S WATER CLOSET
 - (1) MEN'S LAVATORY
 - (2) WOMEN'S WATER CLOSETS
 - (1) WOMEN'S LAVATORIES
 - (1) SHOWER

RECREATION SPACE: THE REQUIRED RECREATION SPACE (19,833 SF) IS MET AND EXCEEDED BY THE PROPOSED CLUB AND GARDEN (33,000 SF), THE NORTH PARK AREA (18,500 SF), AND THE CROW BRANCH CONSERVATION AREA TRAIL CONNECTION (400 LF).

THE CLUB AND LAP POOL PROVIDE INDOOR AND OUTDOOR SPACE FOR ACTIVITIES AND GATHERING. ALL FACILITIES ARE ADA ACCESSIBLE.

THE COMMUNITY GARDEN AREA PROVIDES OUTDOOR COMMUNITY SPACE FOR GARDENING. PROGRAMMED BY THE RESIDENTS IT MAY INCLUDE VEGETABLE GARDENS, FLOWERS, ROSES OR LAWN AREAS. IT WILL BE FULLY ENCLOSED BY A 3' FENCE TO PROVIDE FOR VISIBILITY FROM ADJACENT COURTYARDS. DEER CONTROL WILL BE PROVIDED BY THE USE OF MILORGANITE FERTILIZER AND SUPPLEMENTED BY THE ENCLOSURE CREATED BY THE ADJACENT HOMES AND A 4' OR 5' COURTYARD GATE CREATING A 5' BARRIER. IN AREAS NOT PROTECTED BY A 4' OR 5' COURTYARD ENCLOSURE, A 6' FENCE MAY BE USED.

PARKING, FLOOD HAZARD AND SURVEY NOTES

PARKING REQUIRED MIN./MAX.: NOT SPECIFIED BY LUMO, 10 SPACES PROPOSED (APPROXIMATELY 1 SP/300 SF INCLUDING 2 ADA ACCESSIBLE SPACES)
ADA ACCESSIBLE SP PROVIDED: 1 VAN + ADA ACCESSIBLE SPACES PROVIDED: 2 VAN
BICYCLE PARKING REQUIRED.: 2 SPACES (20% OF PARKING) **BICYCLE PARKING PROPOSED:** 2 CLASS-2 SPACES

Principal Office:
1450 Environ Way
Chapel Hill, NC 27517

Virginia Office:
274 Bolecourt Court
Boynton, Virginia 23917
252.213.9501
stmrandplan.com

SCOTT MURRAY
LAND PLANNING, INC.

Landscape Architecture | Environmental Design | Project Management

Developer:

Epcon
Communities

500 Stonehenge Parkway
Dublin, OH 43017

Project:

Courtyards of
Homestead
Chapel Hill, North Carolina

Drawing Title:

Club and
Garden
Site Plan

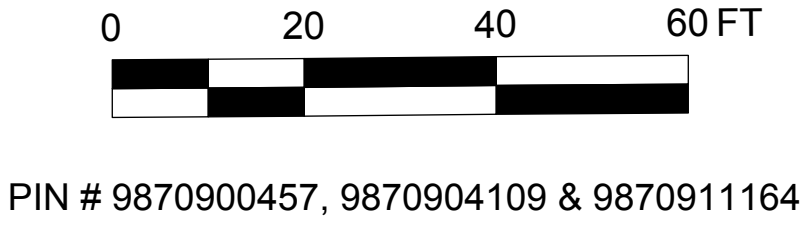
Engineering and Stormwater Consultant:


MCADAMS

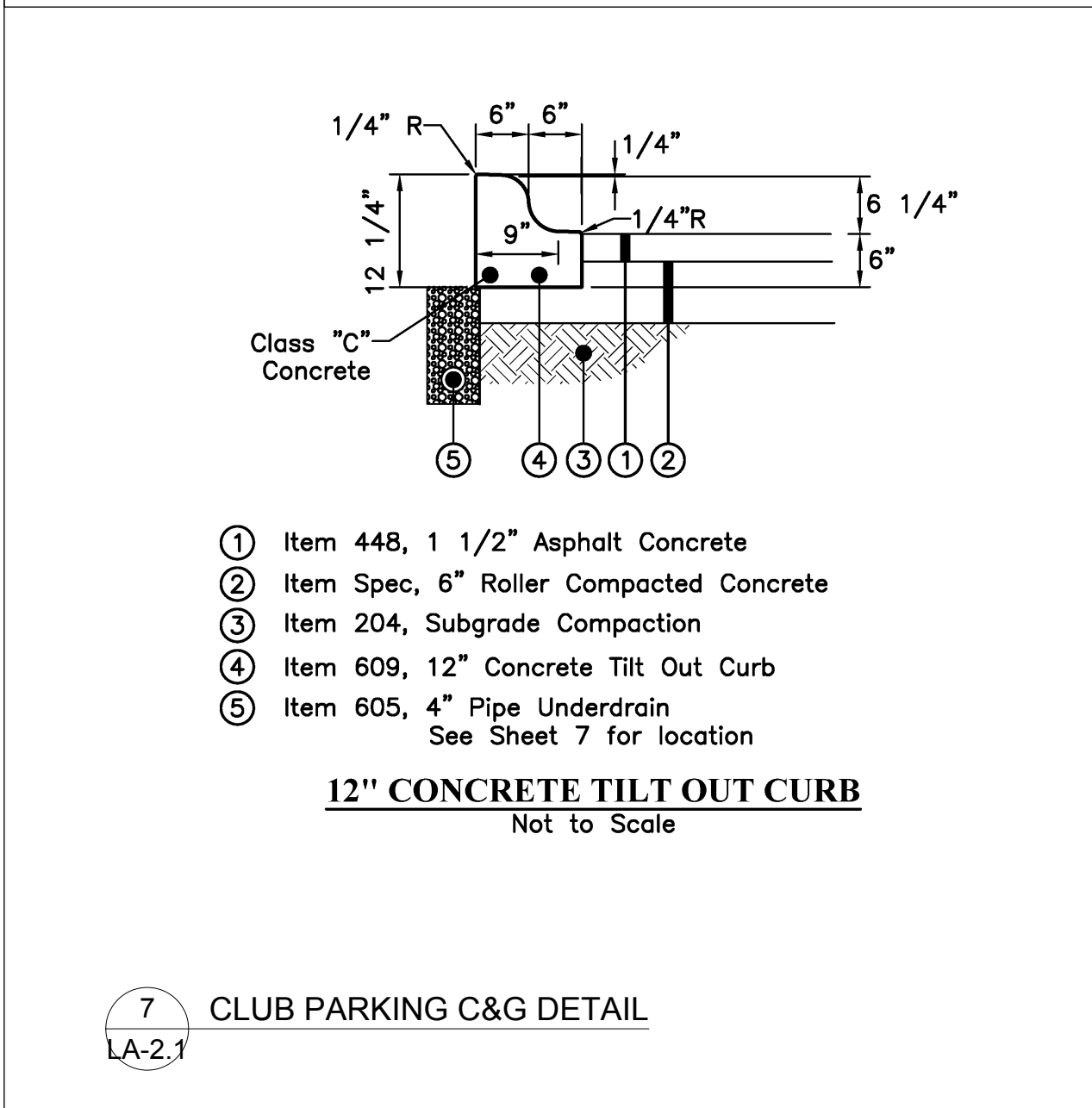
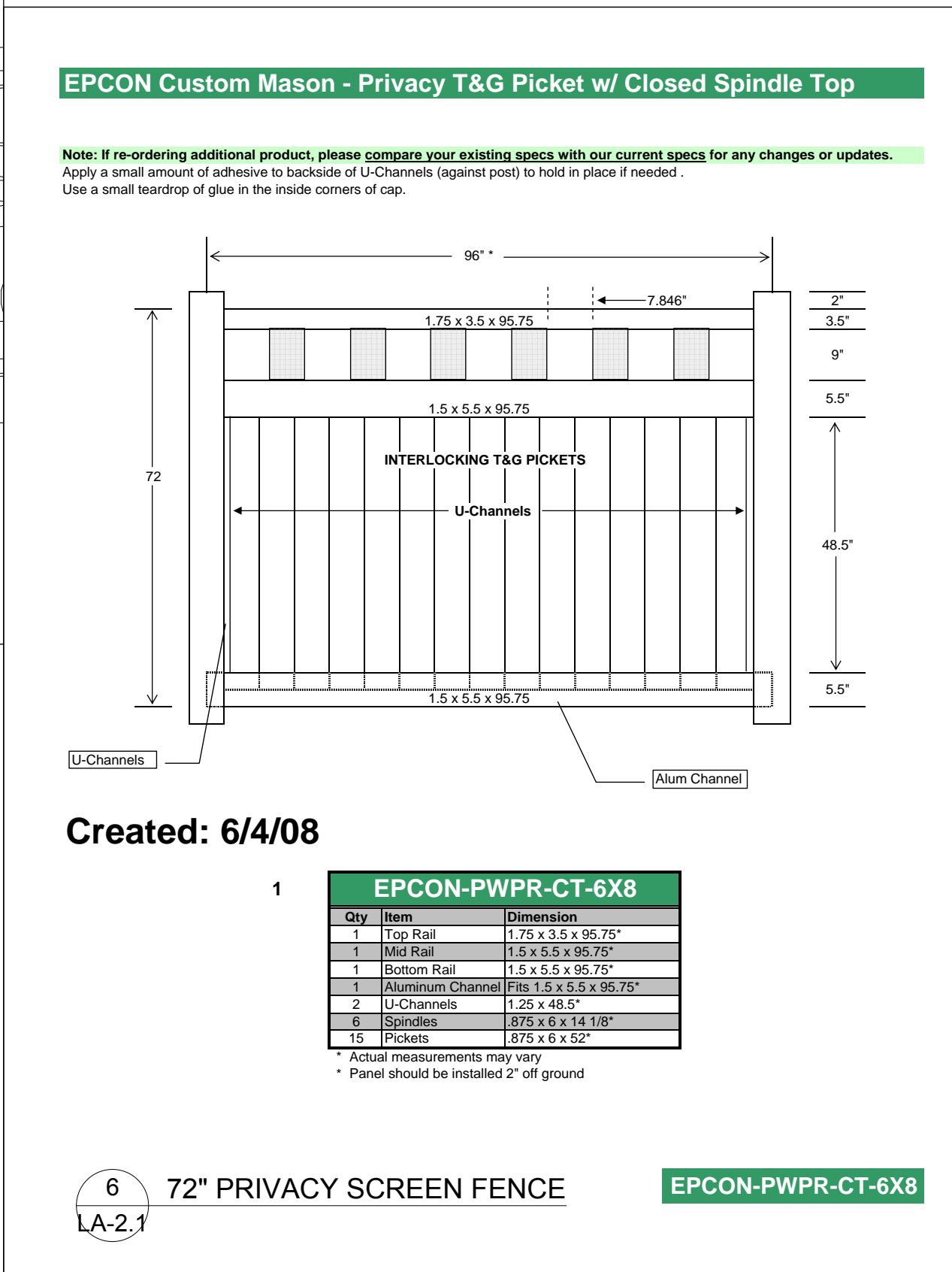
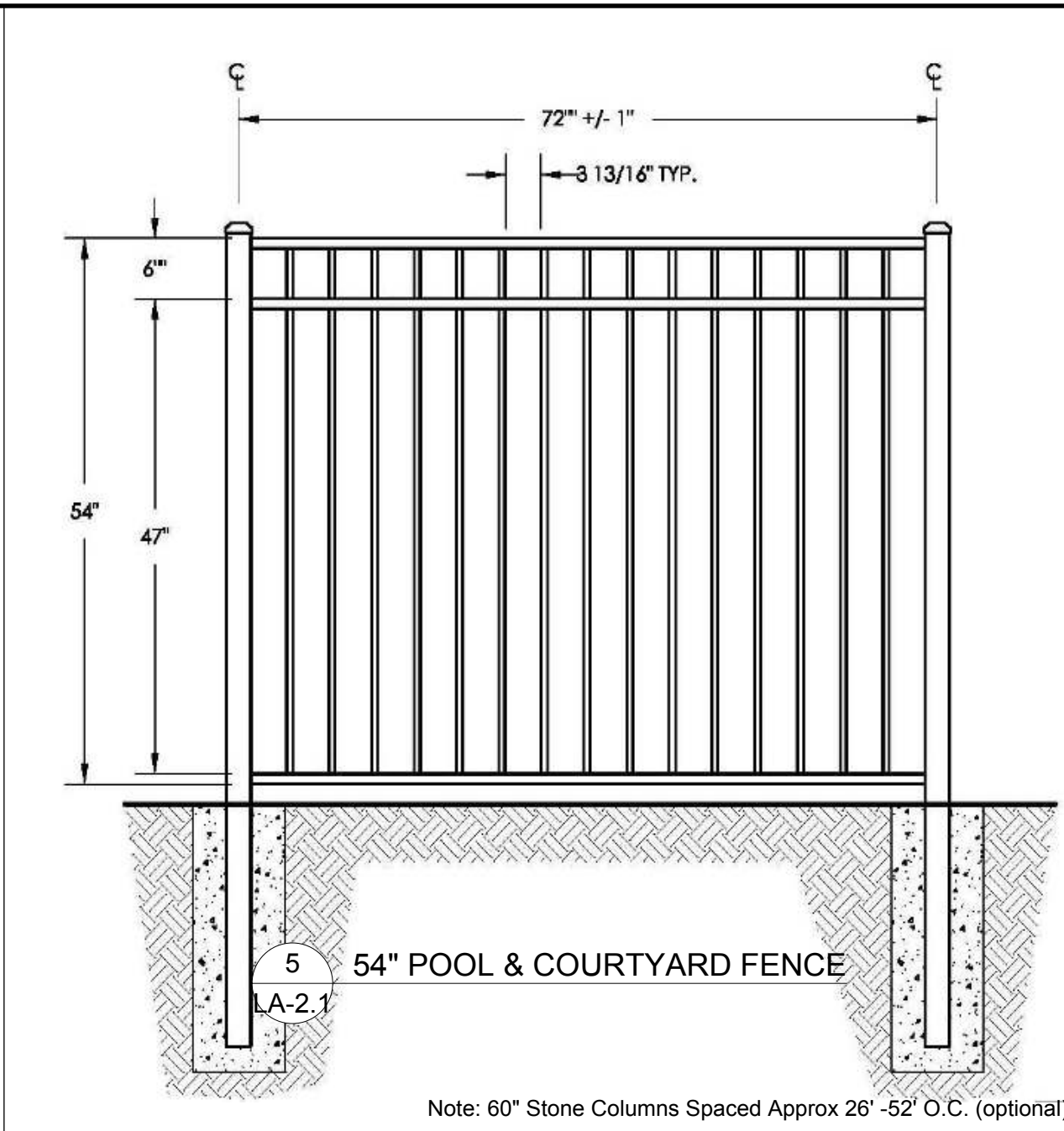
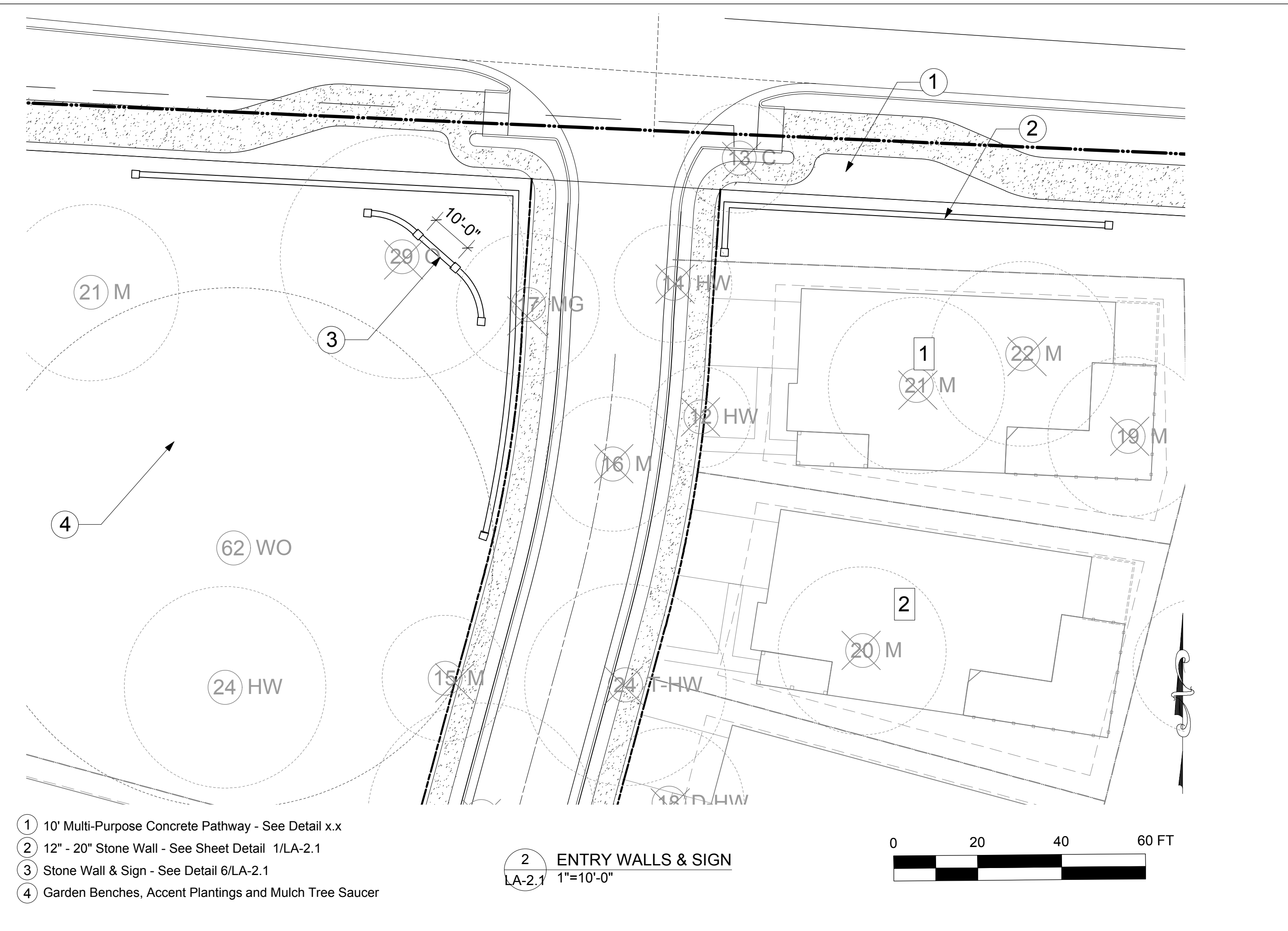
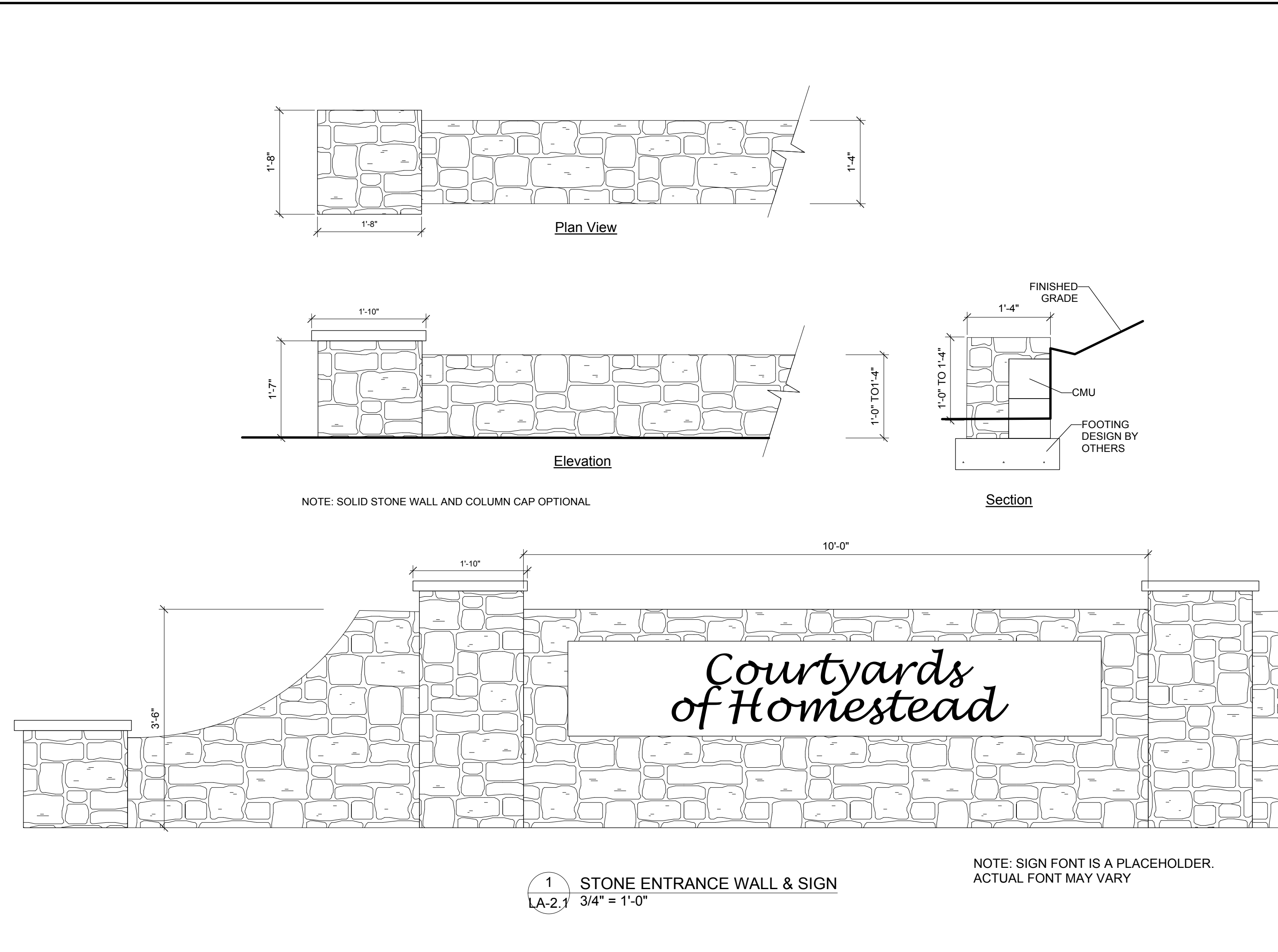
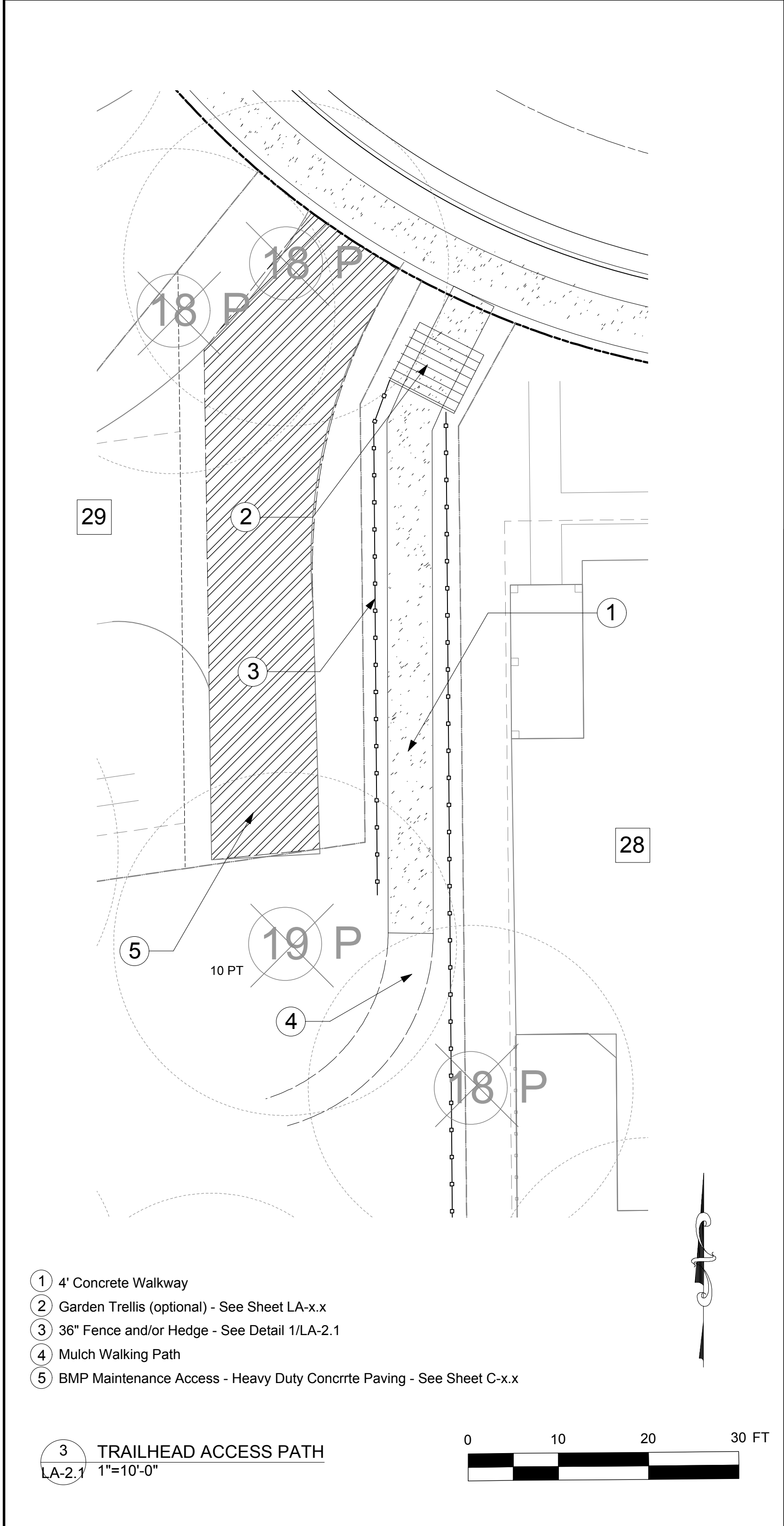
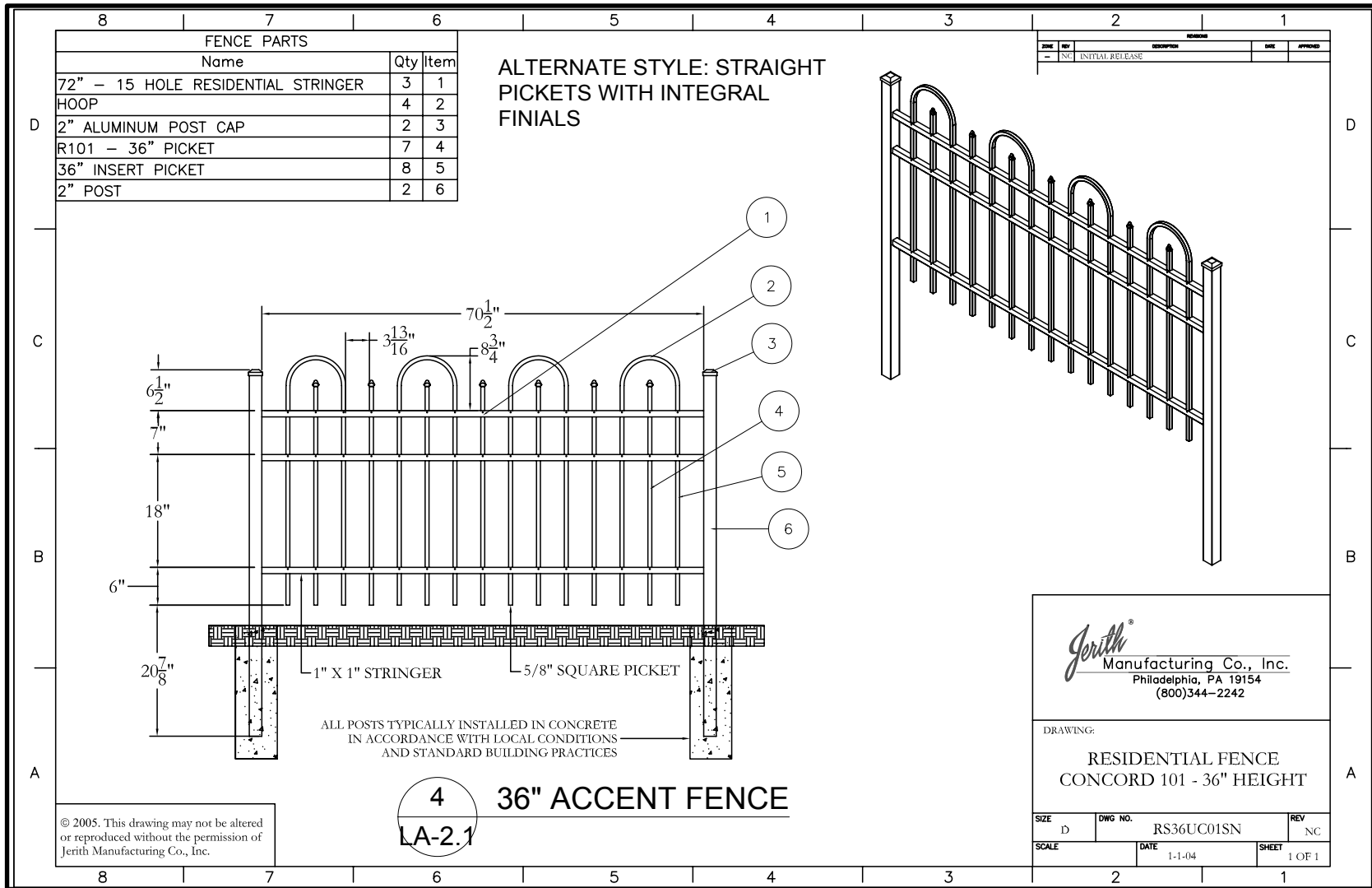
P.O. Box 14005
Research Triangle Park
NC 27709

2905 Meridian Parkway
Durham, NC 27713

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| No. | Date: | Issue Notes: |
| <div><div></div><div></div></div> | | |
| Design Firm: <div>Scott Murray Land Planning, Inc. 1450 Environ Way Chapel Hill, NC 27517 252-213-9501 434-689-2925 (fax) www.stmrandplan.com smurray@stmrandplan.com</div> | | |
| CAD File: | | |
| Scale: AS SHOWN | LA-2.0 | |
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| Drawn By: STM | | |
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PIN # 9870900457, 9870904109 & 9870911164



Principal Office:
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SCOTT MURRAY
LAND PLANNING, INC.

Landscape Architecture | Environmental Design | Project Management

Developer:

Epcon
Communities

500 Stonehenge Parkway
Dublin, OH 43017

Project:

Courtyards of
Homestead

Chapel Hill, North Carolina

Drawing Title:

Club
Details &
Other
Amenities

Engineering and Stormwater Consultant:

P.O. Box 14005
Research Triangle Park
NC 27709

2905 Meridian Parkway
Durham, NC 27713

MCADAMS

| No. | Date: | Issue Notes: |
|-----|-------|--------------|
| | | |

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1450 Environ Way Chapel Hill, NC 27517
252-213-9501 434-689-2925 (fax)
www.stmldplan.com
smurray@stmldplan.com

CAD File:

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STM

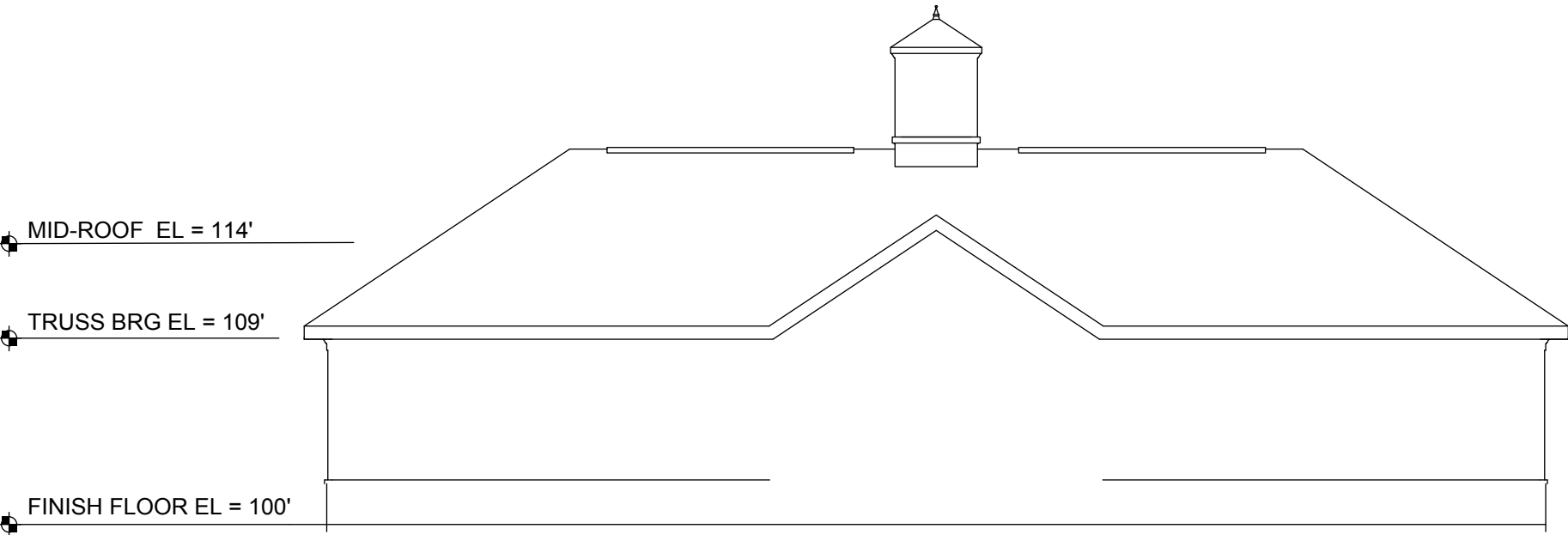
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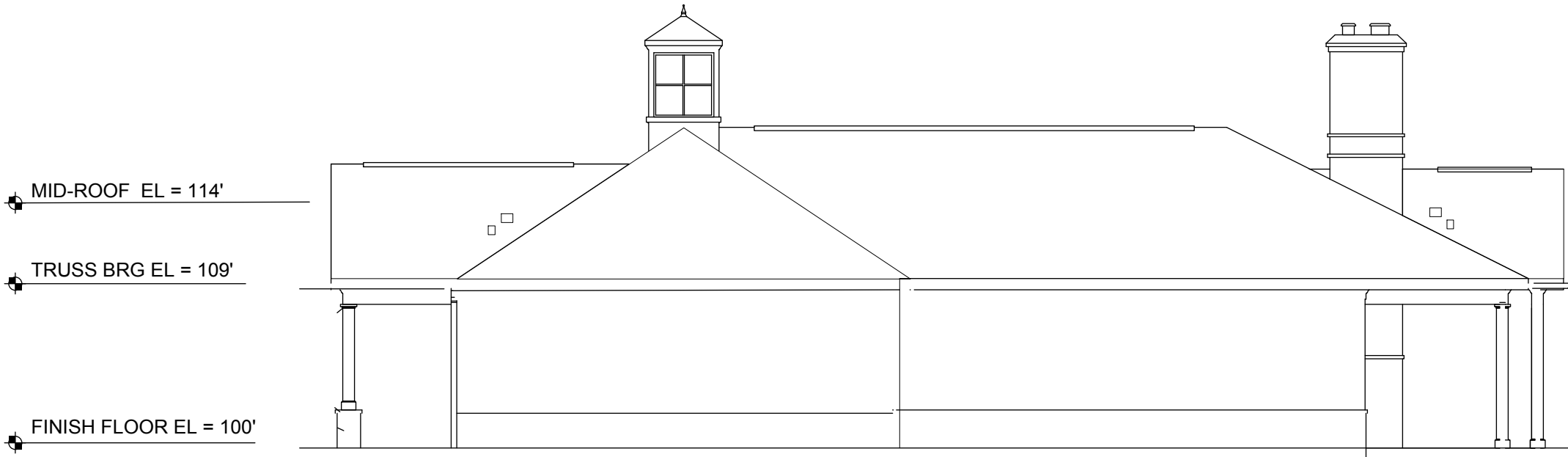
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50 MAX. SECONDARY BUILDING HEIGHT ALLOWED BY LUMO

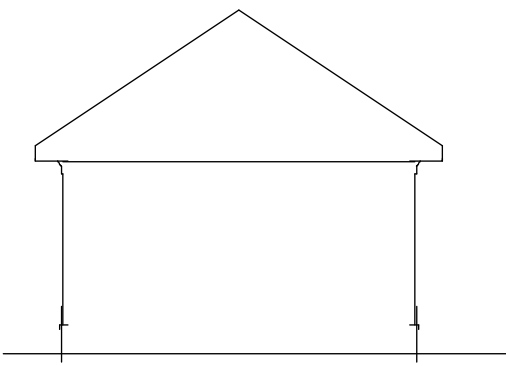
29' MAX. PRIMARY BUILDING HEIGHT ALLOWED BY LUMO



FRONT & REAR ELEVATION PROFILE
SCALE: 1/8"=1'-0"




SIDE ELEVATION PROFILE
SCALE: 1/8"=1'-0"



BATHHOUSE/PUMPHOUSE PROFILE
SCALE: 1/8"=1'-0"

PIN # 9870900457, 9870904109 & 9870911164



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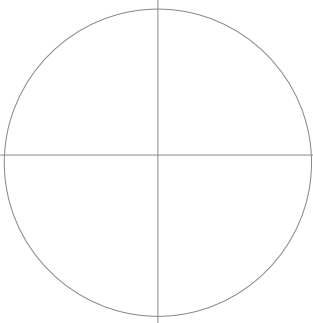
Drawing Title:

Clubhouse
Architectural
Envelope

Engineering and Stormwater Consultant:



P.O. Box 14005
Research Triangle Park
NC 27709
2905 Meridian Parkway
Durham, NC 27713

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|---|-------------|--------------|
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| No. | Date: | Issue Notes: |
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